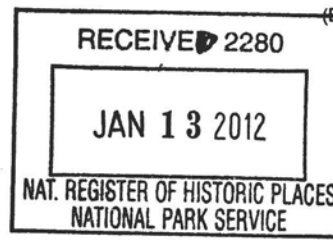


United States Department of the Interior  
National Park Service



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# National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).

### 1. Name of Property

historic name Bitting Building  
other names/site number 173-10885

### 2. Location

street & number 107 North Market Street  not for publication  
city or town Wichita  vicinity  
state Kansas code KS county Sedgwick code 173 zip code 67202

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this x nomination \_\_\_ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property x meets \_\_\_ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

national statewide x local

Patrick Elmer  
Signature of certifying official  
DSHPO  
Title

1-5-12  
Date  
State or Federal agency/bureau or Tribal Government

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register criteria.

Signature of commenting official  
Title

Date  
State or Federal agency/bureau or Tribal Government

### 4. National Park Service Certification

I, hereby, certify that this property is:

- entered in the National Register
- determined not eligible for the National Register
- other (explain:)
- determined eligible for the National Register
- removed from the National Register

For Edison H. Beall  
Signature of the Keeper

2-28-12  
Date of Action

**5. Classification**

**Ownership of Property**  
(Check as many boxes as apply)

|                                     |                  |
|-------------------------------------|------------------|
| <input checked="" type="checkbox"/> | private          |
| <input type="checkbox"/>            | public - Local   |
| <input type="checkbox"/>            | public - State   |
| <input type="checkbox"/>            | public - Federal |

**Category of Property**  
(Check only one box)

|                                     |             |
|-------------------------------------|-------------|
| <input checked="" type="checkbox"/> | building(s) |
| <input type="checkbox"/>            | district    |
| <input type="checkbox"/>            | site        |
| <input type="checkbox"/>            | structure   |
| <input type="checkbox"/>            | object      |

**Number of Resources within Property**  
(Do not include previously listed resources in the count.)

| Contributing | Noncontributing |              |
|--------------|-----------------|--------------|
| 1            |                 | buildings    |
|              |                 | district     |
|              |                 | site         |
|              |                 | structure    |
|              |                 | object       |
| 1            |                 | <b>Total</b> |

**Name of related multiple property listing**  
(Enter "N/A" if property is not part of a multiple property listing)

N/A

**Number of contributing resources previously listed in the National Register**

0

**6. Function or Use**

**Historic Functions**  
(Enter categories from instructions)

COMMERCE/TRADE/business

**Current Functions**  
(Enter categories from instructions)

VACANT/NOT IN USE

**7. Description**

**Architectural Classification**  
(Enter categories from instructions)

LATE 19<sup>TH</sup> & 20<sup>TH</sup> CENTURY AMERICAN  
MOVEMENTS/Chicago

**Materials**  
(Enter categories from instructions)

foundation: Stone: Granite

walls: Brick

Cast Stone

roof: Synthetic

other:

**Narrative Description**

See Attached Continuation Pages

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Bitting Building  
Sedgwick County, KS

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**Architectural Description**

The Bitting Building is located at 107 North Market Street within the central business district of Wichita, Kansas. The building was initially constructed as a four-story building in 1912, and in 1919 a seven-story addition was completed. In 1959, at a time when downtown Wichita was reinventing itself as a modern commercial district, the building underwent a major renovation and was modernized with mid-century materials. The renovation campaign included the installation of aluminum framed windows and storefronts, installation of granite panels at the base and replacement of the cornice and belt course with aluminum panels.

The interior of the building underwent major renovations in 1940 and 1960 and was continuously updated to meet the needs of changing tenants. The first floor includes the main lobby which features a terrazzo floor and granite wall paneling. The upper floors each have unique floor plans with modern corridors flanked by offices. Throughout the corridors and offices, the finishes are modern and indicative of changing tenants.

The subject building was continuously utilized as a tenant commercial building from its construction in 1912 though 2002 when the building was vacated. The building stands as an intact and representative example of an early 20<sup>th</sup> century office building transformed into a mid-century Modern Movement commercial building during the 1959 renovation campaign. Although the building dates from the early 20<sup>th</sup> century, it is representative of a mid-century Modern Movement commercial building and retains a high degree of integrity from the 1959 renovations.

Setting: The Bitting Building is centrally located in the Wichita central business district. The building is sited on the northwest corner of N. Market Street and E. Douglas Avenue. Directly to the west of the building is modern 10-story concrete parking garage. A modern parking garage and high-rise commercial building are located to the north of the subject building.

Site: The Bitting Building occupies a rectangular land parcel that fronts E. Douglas Avenue to the south and N. Market Street to the east with sidewalks separating the building facades from the street. The north elevation fronts a narrow alleyway while the west elevation abuts a modern parking garage.

Structure: The Bitting Building features a reinforced concrete structure with a brick curtain wall.

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Exterior: The Bitting Building exhibits the traditional design, materials and volume of an early 20<sup>th</sup> century high-rise with the architectural accoutrements of the mid-century Modernist Movement.

The Bitting Building exemplifies the form of a traditional commercial high-rise structure from the early 20<sup>th</sup> century. The rectangular shaped building has two primary elevations, east and south, and two secondary elevations. The primary elevations front East Douglas Avenue (south elevation) and North Market Street (east elevation) and have matching features and finishes. The south elevation is three bays in width and the east elevation extends nine bays. The elevations have a traditional base, shaft, cornice composition and are adorned with mid-century modern finishes. The base extends upward to the third floor and is finished in a mid-century Modernist motif. The columns are clad in black Amazon granite and the spandrels at the second and third floors are finished in fluted porcelainized aluminum panels. The storefronts on each elevation feature clear aluminum frames and extend upward to the spandrel above. The building's primary entrance is located within the center bay of the east elevation and has a double-leaf glazed aluminum door flanked with sidelights and topped with a glazed transom. At the second floor, the window bays each feature a tan terra cotta sill and white brick surrounds.

The shaft of the Bitting Building is finished in tan brick and features window bays recessed between the structural columns. The columns and spandrels are unadorned brick and the window bays feature cast stone sills. At the 11<sup>th</sup> floor, there is a projecting belt course and column capitals constructed of white brick. The windows at the 11<sup>th</sup> floor feature brick surrounds constructed of white brick that matches the belt course. The windows throughout the building are clear aluminum framed single-light units with an integral hopper unit which were installed during the 1959 renovation campaign. The Bitting Building is capped with a Modern Movement styled fluted, porcelainized aluminum cornice that was installed during the 1959 renovation campaign.

The secondary north elevation is constructed of beige brick and does not feature any ornamentation. Located at the center of the elevation is a modern metal fire escape. The west elevation is abutted by a modern parking garage and only the top two floors are exposed. The elevation is finished in beige brick and is utilitarian in design with no ornamentation.

Interior: The Bitting Building is 11 stories in height with a lobby and retail space on the first floor, and offices on the upper floors. Features and finishes from the 1959 renovations remain throughout much of the first floor and in areas on the upper floors.

The basement is utilitarian in character and was previously utilized as mechanical space.



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The first floor of the Bitting Building contains an entrance vestibule, lobby and commercial space. The lobby is accessed through the center bay on the east elevation. The entrance features an interior vestibule which is separated from the lobby by a modern glazed double-leaf door. Within the vestibule, the walls feature black Amazon granite paneling which matches the granite on the exterior. Above the granite wall paneling, the walls are mirrored. The vestibule features a terrazzo floor and acoustic tile ceiling.

The first floor lobby is L-shaped and provides access to the elevator bank and to the adjacent commercial spaces. The lobby contains features from the original construction period as well as features that were added in the 1959 renovation and later renovations. The lobby walls are finished in mirrored panels that were installed in the 1980 renovation campaign and feature a black granite base that was installed in the 1959 renovation. Located along the north wall is a glazed aluminum framed door which provides access into the adjacent commercial space, and an aluminum mail collection box which was installed during the 1959 renovation campaign. The elevator bank has two elevations which have metal surrounds. The lobby features a terrazzo floor and acoustic tile ceiling.

The commercial spaces on the first floor have undergone multiple renovation campaigns to meet the needs of changing tenants. The commercial spaces feature modern finishes including: carpeted and tiled floors, gypsum board walls and acoustic tile ceilings.

The 2<sup>nd</sup> through 11<sup>th</sup> floors were utilized as multi-tenant space throughout the history of the building. The subject building underwent a major renovation campaign in 1959 at which time the office floors were updated with modern materials. In 1980, the upper floors again were renovated and new finishes were installed. The office floors have been continuously renovated to meet the needs of changing tenants. In general, the office floors have a corridor in varying locations and are constructed of modern drywall. At the center of each floor is the elevator lobby. The lobbies are identical throughout and feature gypsum board and plaster walls finished with wallpaper and mirrored panels with carpeted floors and acoustic tile ceilings. Located along the south wall of the elevator lobbies is the building's primary stair which has metal treads and risers. Throughout the office floors, the corridor and demising walls are constructed of gypsum board and feature a multitude of modern finishes including: paint, wallpaper and wood laminate paneling. Ceilings within the corridors and offices are suspended acoustic tile and the floors are a combination of modern finishes including: carpet, composite tile and wood planking and parquet.

Overall, the building survives in fair condition. On the exterior, some sections of the black granite base on the east elevation are missing. Due to an extended period of vacancy, the interior

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of the building exhibits conditions of deterioration including water infiltration, vandalism and deferred maintenance. In certain locations, the acoustic ceilings and walls have been damaged.

Integrity: Constructed in 1912 with renovations in 1919, 1940 and 1959, the building characterizes the evolution of downtown office buildings and the typical pattern of renovations in twenty year increments. Designed in a classical vocabulary, the building had become tired by mid-century and was unable to compete with the newly erected modern office buildings on the surrounding blocks. In an attempt to maintain its stature as one of Wichita's most prominent office buildings, the owners of the building undertook an important renovation campaign.

The Bitting Building retains integrity as an early 20<sup>th</sup> century office building with mid-century modern treatments. On the exterior, the building retains the design and rhythm of the original building along with the tan brick which composes the shaft. The base, cornice and windows represent the mid-century Modernist style and complete the building's composition.

On the interior, throughout its history the building has been utilized for tenant office space and the offices have undergone multiple renovations to meet the evolving needs of the individual tenants. The main lobby retains the terrazzo floor, Amazon black granite and aluminum stylized mail collection box from the mid-century. On the upper floors, the elevator lobby and stair continue to define the public circulation with offices along the perimeter walls. Office finishes vary from floor to floor with some offices retaining mid-century wall paneling.

The period of significance captures the mid-century alterations which are an important part of the building's story in its attempt to maintain its stature as one of Wichita's premier office buildings. The mid-century renovations are integral to the story of the building and the response to the changing downtown commercial real estate market.

**8. Statement of Significance**

**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

**Criteria Considerations**

(Mark "x" in all the boxes that apply)

Property is:

- A Owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years old or achieving significance within the past 50 years.

**Areas of Significance**

(Enter categories from instructions)

COMMERCE

**Period of Significance**

1911-1961

**Significant Dates**

1911, 1959

**Significant Person**

(Complete only if Criterion B is marked above)

N/A

**Cultural Affiliation**

N/A

**Architect/Builder**

Unknown

**Narrative Statement of Significance**

See Attached Continuation Pages

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Continuation SheetSection number 8 Page 1Bitting Building  
Sedgwick County, KS**Summary**

The Bitting Building, located in downtown Wichita, Kansas, is eligible for listing in the National Register under Criterion A in the area of Commerce. The building is significant as a commercial resource illustrating the changing dynamics of the downtown office building during the mid-twentieth century. Specifically, the subject building characterizes the evolution of the downtown office building, designed in the early 20<sup>th</sup> century in a Classical vocabulary that had become tired by mid-century and unable to compete with the newly erected modern office buildings being completed in the surrounding blocks. Demolition at the time was not considered as the building bore the association with the Bitting Brothers who were of statewide renown. Rather, the owners undertook a comprehensive renovation in 1959, adding modern features to the exterior and renovating the interior so that the building could again offer Wichita's business community premier office space. The mid-century renovation of the Bitting Building represented a response to the changing dynamics of the downtown office real estate market which was witnessing a resurgence led by the transformation of the adjacent Fourth National Bank Building into a modern bank and office building. Office buildings that failed to reinvent themselves during the mid-century boom would fall victim to the wrecking ball or face sharp decline in the marketplace. The mid-century renovations undertaken on the Bitting Building allowed the building to re-assume its stature as one of the premier office buildings in the downtown core. The 1959 renovations are integral to the history of the Bitting Building as they allowed it to regain market share in the second half of the twentieth century and regain its stature as one of downtown Wichita's most historically significant office buildings. The period of significance spans from 1911 when the lower four stories of the subject building were constructed through 1961 in accordance with the National Park Service's 50 year guideline.

**History of the Building**

Prior to the construction of the current Bitting Building, two previous buildings of the same name were located on the subject site at the northwest corner of Douglas Avenue and Market Street. In 1878, a two-story wood framed building was constructed on the site by brothers A.W. and C.W. Bitting.<sup>1</sup> The Bitting brothers utilized the first floor of this building as a men's clothing store with leasable office space on the second floor. In 1886, the two-story structure was moved from the site and the Bittings hired local contractor W.H. Sternberg to construction a 4-story brick structure at the subject location. The second Bitting Building was the largest in the state when constructed was the first in the state to have an elevator.<sup>2</sup> The second Bitting Building was occupied on the first floor by the clothing store of Herman & Hess and the upper floors were

<sup>1</sup> "Kansas' Tallest Office Block Monument to Wichitans' Faith." *Wichita Eagle* 23 Mar. 1919: 2. Print.

<sup>2</sup> Ibid.

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leased as office space. On January 2, 1911, the second Bitting Building was consumed by a grand conflagration and was demolished by the end of the month.

Following the razing of the second Bitting Building, the Bitting brothers undertook construction of the subject building. Construction on the subject building began in the summer of 1911 as the site was excavated and footings were laid to support the building. When first constructed, the Bitting Building was only four stories in height, but was designed to accommodate a significant addition when demand became sufficient. The original four-story building was constructed of reinforced concrete faced with white and tan brick. The cornerstone of the building was laid on September 25, 1911 and the building opened for business in December.<sup>3</sup>

The Bitting Building was designed as a tenant office building with commercial space on the first and second floors. Both Bitting brothers maintained offices on the 4<sup>th</sup> floor, with A.W. Bitting operating a wholesale jewelry outfit and C.W. Bitting maintaining an insurance office. By 1915, with the construction of the adjacent Fourth National Bank Building, owner C.W. Bitting determined that the market was ripe and that it would be appropriate to construct an addition to the Bitting Building. Preliminary reports indicated that a four-story addition would be constructed.<sup>4</sup> Although the decision to enlarge the subject building was made in 1915, it was not until 1918 that plans were finalized. It was announced in April 1918 that the Bitting Building would be enlarged to 11 stories in height. The seven-story reinforced concrete addition was designed by the Kansas City architectural firm of Shepard, Farrar, and Wisler, which opened a Wichita office in the Bitting Building following the completion of the addition. The addition was planned to closely match the existing features and finishes of the extant 4-story building and was to utilize the existing lobby and elevator bank without any changes necessary.<sup>5</sup> The addition was to cost \$350-400 thousand in 1918 dollars and was to be finished in tan brick with a terra cotta cornice. As with the extant four floors, the new addition was to be leasable office space and originally included 220 office suites. When completed, the 11-story Bitting Building was considered the tallest building in the state of Kansas.<sup>6</sup>

At the time of construction, the city of Wichita was experiencing considerable growth and there was a dearth of leasable office space. Prior to the completion of the addition, half of the new office suites had already been spoken for.<sup>7</sup> The addition was completed in February of 1919 and was briskly occupied. In 1919, the lower two floors were "occupied by dealers in shoes, clothing, jewelry and cigars, maintaining separate stores facing on Douglas, while a restaurant

<sup>3</sup> *Wichita Beacon* 25 Sept. 1911: 42. Print.

<sup>4</sup> "Bitting Building to Be Enlarged." *Wichita Beacon* 23 Oct. 1915: 13. Print.

<sup>5</sup> "Bitting Building Is to Be Twelve Stories." *Wichita Beacon* 23 Apr. 1918: 12. Print.

<sup>6</sup> "Kansas' Tallest Office Block Monument to Wichitans' Faith." *Wichita Eagle* 23 Mar. 1919: 2. Print.

<sup>7</sup> "Bitting Building Is to Be Twelve Stories." *Wichita Beacon* 23 Apr. 1918: 12. Print.

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barber shop and office rooms face Market street.”<sup>8</sup> The office floors neared capacity with a multitude of tenants including: real estate offices, law offices, mortgage companies, doctors and dentists, jewelers, insurance companies, government offices, architecture firms, the Wichita Baseball Club, and petroleum corporations.<sup>9</sup> In 1926, the Western Union Corporation undertook the installation of a pneumatic tube system in Wichita. The system of tubes was utilized to send paper telegrams between the company’s main office and substations and the first line installed connected the main office at Topeka Avenue and First Street with the substation within the Bitting Building.<sup>10</sup>

Through the 1920s and early 1930s, the Bitting Building was fully occupied with an assortment of tenants. Although the building maintained tenants during the Great Depression, the mid-1930s was a transitional period. In October 1932, owner C.W. Bitting passed away at age 76 and, two years later, A.W. Bitting passed away at age 88. After the passing of the Bitting Brothers, the building went into foreclosure with a \$352,000 lien and was purchased by the New York Life Insurance Company at sheriff’s sale.<sup>11</sup> The Bitting estate later refinanced the property and regained title, but finally sold the property to New York Life Insurance Company for \$500,000 in May 1938.

In 1940, the New York Life Insurance Company undertook \$24,000 in renovations that included: a new entrance, installation of a stairway, remodeling of the lobby, closing of the northernmost elevator shaft and installation of a new elevator enclosure.<sup>12</sup> The Bitting Building was purchased a local firm, Commonwealth Building, Inc., in 1944 for \$500,000 at which time it was fully occupied.<sup>13</sup> Over the next decade, the building continued to be fully occupied with an assortment of tenants, though the occupant mix was in transition. While the building originally was occupied by a multitude of medical practices and assorted tenants, by 1950, a majority of building tenants were associated with the petroleum industry. Petroleum related tenants included: oil operators, geologists, drilling companies, real estate companies and surveyors.

By the mid-1950s, the Bitting Building was perceived as an “old building” and did not project a sense of modernity. At this time, the building’s systems were antiquated and most importantly, the building lacked mechanical air conditioning. Concurrently, the adjacent Fourth National Bank building (110 N. Market Street) of the same vintage was undergoing a complete renovation to create a “modern” office building. In 1959, the Bitting Building’s owner, Commonwealth

<sup>8</sup> "Kansas' Tallest Office Block Monument to Wichitans' Faith." *Wichita Eagle* 23 Mar. 1919: 2. Print.

<sup>9</sup> *Wichita City Directory, 1919*. Detroit, MI: R.L. Polk &, 1919. Print.

<sup>10</sup> "Pneumatic Tubes to Speed Service of Western Union." *Wichita Eagle* 18 Mar. 1926: 5. Print.

<sup>11</sup> "Refinance for Bitting Block." *Wichita Beacon* 10 Nov. 1937. Print.

<sup>12</sup> *Wichita Eagle* 5 Mar. 1940: 5. Print.

<sup>13</sup> "Bitting Building Is Sold." *Wichita Eagle* 2 Mar. 1944, Evening ed. Print.



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Building, Inc., undertook a \$400,000 renovation, designed by the local architecture firm Schaefer and Schirmer, to transform the building from a tired old building into a “modern” office building befitting the prestige of the Bitting moniker. Commonwealth Building retained prominent local contractors, Neely Construction to complete the renovations. At the time, Neely Construction was headed by John C. Neely Jr (1894-1985) who was born in Topeka and earned a degree in architecture in 1917 from the University of Illinois.<sup>14</sup> After completing his studies, Neely worked for the Fuller Construction Company at Camp Funston in Kansas. After a stint in Pennsylvania constructing warehouses, Neely joined the army and completed officer’s training school before relocating to Wichita and starting his construction company in 1922. Neely Construction had achieved considerable success by mid-century and worked on many prominent downtown commercial projects. While John Neely retired in 1980, his son John C. Neely III continues to operate Neely Construction Company today.

The anticipated mid-century transformation of the building generated considerable enthusiasm in the city and there were numerous articles in the local newspapers detailing the plans. When completed, the renovation which had included exterior and interior “improvement,” reestablished the Bitting Building as one of the finest office buildings in Wichita. On the exterior, the renovations included the replacement of the storefronts and main entrance, installation of a black Amazon granite base, installation of “energy efficient” aluminum framed windows and installation of porcelainized fluted aluminum spandrels at the base and cornice. The exterior renovations were completed in the mid-century Modernist style with the focus on sleek and “modern” materials including aluminum and granite. On the interior, the lobby and corridors were remodeled, new restrooms were installed and the building was retrofit with an integrated mechanical HVAC system.<sup>15</sup>

Following the renovation, the Bitting Building returned to its prominence and maintained an average occupancy in excess of 95 percent. The primary retail location on the first floor was occupied by Zale’s Jewelers until 1978 when the space was taken over by Trans World Airlines. In 1979, the Bitting Building was purchased by three Wichita “oilmen” who undertook a limited renovation campaign which refurbished the lobby and corridors throughout.<sup>16</sup> Throughout the 1980s and early 1990s the Bitting Building maintained an 80 percent occupancy rate, with most of the office space occupied by oil-related tenants. By the end of the 1990s, the Bitting Building had become a tired building. Aging systems and interior finishes, combined with a soft market

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<sup>14</sup> Kathy Morgan from the City of Wichita Planning Department confirmed that the 1959 renovations were completed by Neely Construction. Information on John Neely was included in Fred D. Wilson House, Wichita, Sedgwick County, Kansas, National Register Nomination, n.d.

<sup>15</sup> “Bitting Building Work to Start.” *Wichita Eagle* 1 Feb. 1959: 11A. Print.

<sup>16</sup> Bearth, Dan. “Bitting Building Is Purchased by 3 Wichita Oilmen.” *Wichita Eagle-Beacon* 24 July 1979. Print.



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led tenants to relocate elsewhere. The Bitting Building has remained vacant since its last tenant departed in 2002.

**Wichita – History and Development of the City**

Wichita is located at the confluence of the Little Arkansas and Big Arkansas Rivers, in the heart of the Arkansas Valley and today reigns as the largest city in Kansas.

In 1868, a chartered company from Topeka established a town at the junction of the two rivers and the city was incorporated two years later and became the county seat of Sedgwick County. The name Wichita was taken from the Wichita (Washita) Indians and is believed to mean “scattered lodges.” Wichita was the terminus of the famous Chisholm Trail, upon which as many as 700,000 head of cattle were driven in a single year from ranches in Texas to the railheads in Wichita.

Located in the heart of the winter wheat belt, the farms surrounding Wichita produced one-fifth of all wheat raised in the United States in the early 20<sup>th</sup> century.<sup>17</sup> The city was also the sixth largest grain market in the country and the fourth largest milling center. Wichita also reigned as the largest broom-corn market in the world. The expansion of the grain industry can be attributed, in part, to the fact that Wichita was one of the largest railroad centers in the southwest. In 1919, six railroads stopped in the city and over one hundred freight trains entered the city every day.<sup>18</sup>

The city was also pre-eminent as a livestock market and in the early twentieth century there were six packing houses. Wichita Union Stock Yards had grown to over 100 acres by 1960 and had a capacity of 20,000 cattle, 15,000 hogs, and 5,000 sheep.<sup>19</sup>

Wichita was also the center of considerable oil activity, being located in the heart of the Mid-Continent petroleum field. Many nationally-known oil companies maintained offices in Wichita as did independent operators and producers. Wichita boasted four refineries which served the new oil fields that were opening immediately adjacent to the city which were discovered in the 1910s.<sup>20</sup>

One of the city’s most important distinctions was a center for commercial aviation. Known as the “Birthplace of Commercial Aviation,” there were four commercial airplane factories in

<sup>17</sup> *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., 1939): 13-15.

<sup>18</sup> *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., 1939): 48.

<sup>19</sup> *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., 1959): x.

<sup>20</sup> *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., 1939): 13-15.

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addition to experimental plane factories. The aircraft corporations Stearman, Cessna, Mooney and Beechcraft were all founded in Wichita in the late 1920s and early 1930s. In the World War II years, when aircraft production was at its peak, there were eleven airports in the Wichita metropolitan region.

As a manufacturing center, Wichita flourished with a varied range of raw materials, dependable labor and abundant natural gas allowing for the establishment of factories with national distribution such as: Coleman Lamp & Stove Co., Mentholatum Co., Cudahy Packing Co., Dold Packing Co., Hayes Equipment Co., Clear Vision Pump Co., Stearman Aircraft Corp. and Beech Aircraft Co. among others. In 1939, Wichita boasted 238 manufacturers; by 1960 that number jumped to 615.<sup>21</sup>

Examination of population records demonstrates a consistent pattern of growth in Wichita throughout the early to mid twentieth century:<sup>22</sup>

| Year | Population | % +/-  |
|------|------------|--------|
| 1900 | 24,671     | 3.4%   |
| 1910 | 52,450     | 112.6% |
| 1920 | 72,217     | 37.7%  |
| 1930 | 111,110    | 53.9%  |
| 1940 | 114,966    | 3.5%   |
| 1950 | 168,279    | 46.4%  |
| 1960 | 254,698    | 51.4%  |

The steady rise in population reflected the commercial and industrial success of the city during the early to mid 20<sup>th</sup> century.

### **Bitting Brothers**

The building bears an important association with its builder, brothers C.W. and A.W. Bitting. C.W. and A.W. Bitting relocated from Pennsylvania to Wichita in 1876 and established a small clothing store. The Bitting Brothers grew their business substantially and relocated to a two-story brick building located at the northwest corner of the intersection of Douglas Avenue and Market Street in 1879. In 1886, the Bittings constructed a 4-story brick building at the

<sup>21</sup> *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., 1939 and 1959).

<sup>22</sup> Population information was derived from *Wichita City Directory*, (Detroit, MI: R.L. Polk & Co., various dates) and "Wichita, Kansas," *Wikipedia*, [http://en.wikipedia.org/wiki/Wichita,\\_Kansas](http://en.wikipedia.org/wiki/Wichita,_Kansas) accessed June 6, 2011.

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above-mentioned site which was utilized for their clothier shop with living quarters on the second floor and leasable office space above. Following a disastrous fire in January 1911, the Bittings constructed the lower four stories of the present Bitting Building, and completed the building in 1919.

The Bitting brothers were prominent not only in Wichita, but throughout the state of Kansas. From their arrival in 1876, when Wichita was but a small prairie town, the Bitting brothers ushered the modern city of Wichita into existence and C.W. was known as "one of Wichita's most substantial pioneer citizens."<sup>23</sup> As young men, the Bittings operated a well-respected clothier and expanded their operations to the corner of Douglas Avenue and Market Street, which most people of the day considered to be too far east to be successful. The Bittings proved the folly of their critics and saw the city expand eastward, and eventually erected the tallest building in the state of Kansas when the subject building reached 11 stories in height in 1919. Upon completion of the subject building, both brothers continued their business operations from that location, with C.W. operating an insurance business and A.W. operating a wholesale jewelry outfit. Although the brothers were equally acclaimed, C.W. was significantly active in the community and was a member of the Wichita Club and was known as "a community builder who will occupy an honored place in the city's history."<sup>24</sup> In honoring the Bittings following C.W.'s passing in 1932, it was said that: "The name Bitting has been associated with Wichita history almost since the city was founded and the Bittings are widely known in this territory."<sup>25</sup>

The Bitting Brothers were also significant as early entrepreneurs in Wichita. From their arrival in 1877, the Bittings established themselves as successful businessmen, first in the trade of clothing and dry goods and later in real estate development, wholesale jewelry and insurance. The Bittings were among the first in the lineage of businessmen in the city and represent the entrepreneurial spirit of the city of Wichita.

A.W. Bitting, formerly of Allentown, Pennsylvania, arrived in Wichita in June 1876 and quickly greeted the arrival of his brother C.W. in 1877 following his graduation from Muhlenberg College in Pennsylvania. Prior to the arrival of C.W., A.W. Bitting established a small men's clothing shop along the south side of West Douglas Avenue near Main Street. At the time of their arrival, Wichita was a burgeoning prairie town with a small downtown centered on Main Street. The Bittings clothing store was located at the locus of the city and did a significant business as the brothers were known to offer quality wares at fair prices.<sup>26</sup> Quickly outgrowing its quarters, the Bittings purchased a 25' corner lot at the northwest corner of Douglas Avenue

<sup>23</sup> "C.W. Bitting, Capitalist, Dies Here." *Wichita Eagle* 29 Oct. 1932. Print.

<sup>24</sup> "Death Claims Pioneer After Long Illness." *Wichita Beacon* 31 Oct. 1932. Print.

<sup>25</sup> "Funeral Services for C.W. Bitting Set for Monday." *Wichita Eagle* 20 Oct. 1932. Print.

<sup>26</sup> "Bitting Brothers." *Wichita Weekly Beacon* 17 Mar. 1886: 3. Print.

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and Market Street (location of subject building). The \$2,500 purchase included a one-story frame building which the Bittings sold and moved from the location. In its place, the Bittings constructed a two-story brick building which was “the biggest single building in Wichita at the time” and was the first in the city to be plumbed with gas fittings.<sup>27</sup> The new building housed not only the store, but the Bittings themselves, who made residence on the second floor which included an open library that was larger than the city library at the time. Upon completion of the new building, the store was known as “The Keystone Clothing House” and the Bittings expanded their stock to include not only men’s clothing but also children’s clothing, toys, rugs and trunks. At the time of construction, the new location was considered to be too far east of Main Street to succeed as “Everybody said we were going too far east. Our friends predicted we would not be able to coax any trade that far away from Main Street.”<sup>28</sup> While business was slow to take, the Bittings undertook a major advertising campaign with large-scale ads in the daily newspaper, broadside advertisements on the building, ads on the city streetcars and signboards throughout the “Southwest.” At this time, Wichita was positioned as the nexus of the “southwest,” with a population larger than Dallas and the states of Oklahoma, New Mexico, and Arizona not yet in existence. The Bittings were also trusted as reputable salesmen and were often visited by groups of Indians who traveled from their reservations in the Oklahoma Territory to shop at the Keystone Clothing House.<sup>29</sup>

The Bittings’ business grew steadily during the early 1880s and the firm expanded into the wholesale jobbing trade. Operations continued in the two-story building until 1886 when the Bittings purchased the adjoining lot to the west and razed the building in order to construct a new four-story edifice. The four-story building was constructed of brick with an iron frame and was utilized as the Keystone Clothing House on the first floor and offices on the upper floors. For the second time at the same location, the Bittings constructed the largest building in Wichita, and this time the largest building in the state. The second Bitting Building was noted as having the first elevator in the state and featured modern electric lighting and toilet facilities.<sup>30</sup> The Bittings continued to operate the Keystone Clothing House until 1898 when it was sold to Herman & Hess clothiers. Following the sale of the clothing store, A.W. Bitting established the “A.W. Bitting Wholesale Jewelry Company” and C.W. Bitting went into the insurance business.

In January 1911, the second Bitting Building fell victim to a ruinous conflagration and was razed days later. With typical Bitting gusto, the brothers chose to construct a “bigger and better” building constructed of reinforced concrete with the latest design features. While the new

<sup>27</sup> "Kansas' Tallest Office Block Monument to Wichitans' Faith." *Wichita Eagle* 23 Mar. 1919: 2. Print.

<sup>28</sup> Reed, John. "When Market Street Was Too Far East in Wichita." *Wichita Eagle* 10 July 1927. Print.

<sup>29</sup> Long, Richard M. *Wichita Century; a Pictorial History of Wichita, Kansas, 1870-1970*. Wichita, KS: Wichita Historical Museum Association in Cooperation with the Junior League of Wichita, 1969: 102.

<sup>30</sup> "Kansas' Tallest Office Block Monument to Wichitans' Faith." *Wichita Eagle* 23 Mar. 1919: 2. Print.

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building was only four-stories at first, the brothers constructed the building to accommodate a significant addition when financially prudent. As the intersection of Market and Douglas prospered and adjacent office buildings were constructed, the Bittings constructed an additional seven stories of office space in 1919, this time, constructing the tallest building in Kansas. Both Bittings located their businesses within the eponymous building and grew their fortunes through individual business ventures and profits accrued from the building's 100 percent occupancy.

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Over the next decades, the Bitting name was synonymous with the growth of Wichita and the primacy of the formerly “too far east” intersection of Douglas Avenue and Market Street. The Bittings invested in Wichita as young men and spent their lifetimes participating in its growth from small town to major Mid-west city. In a 1927 newspaper article titled *When Market Street was too far East in Wichita*, the Bitting Brothers were described as progressive leaders in the growth of Wichita as: “The Bittings were progressive. They were progressive 50 years ago, 40 years ago, and on down to the very last day they were in the clothing business at the corner of Market Street and Douglas Avenue.”<sup>31</sup> More than mere participants, the Bittings grew the city and constructed the three largest buildings in the city at their time of completion culminating with the subject building which was the tallest in the state when completed in 1919. C.W. Bitting remarked on the growth of Wichita that “It is an (odd) thing but my new buildings have always started more buildings. When my first four-story building was started, Wichita began to boom.”<sup>32</sup>

*The name of Bitting is known throughout Kansas and by everyone in Wichita for its association with the Bitting Building. The corner it occupies, one of the best in downtown Wichita, is indelibly linked with the two brothers from Pennsylvania and is the foundation upon which their personal fortunes always rested. – Wichita Beacon, October 31, 1932.*

Besides the notoriety and acclaim garnered from their building, the Bittings were also involved in additional business ventures and civic associations. C.W. Bitting was an organizer and director of the Farmers & Bankers Life Insurance Company and was widely known throughout Wichita for his association with “civic undertakings” and as “one of Wichita’s best known sportsmen.”<sup>33</sup>

The Bitting brothers, specifically C.W., were viewed as pioneers and civic leaders during the Wichita boom in the late 19<sup>th</sup> and early 20<sup>th</sup> century. The brothers were profiled in the *Wichita Weekly Beacon* in 1886 and again in the *Wichita Eagle* in 1919. At his passing in 1932, C.W. Bitting was remembered as a “capitalist, business leader, pioneer Wichita building and civic leader,” and “one of Wichita’s most substantial pioneer citizens.”<sup>34</sup> C.W. Bitting was involved in multiple civic groups including the Wichita Club, Old Settler’s Association of Sedgwick County, Pioneer’s Club, Wesley Hospital Board, and the Masonic Temple where he was a former commander. Mr. Bitting was also a benefactor for the greater Wichita community and was

<sup>31</sup> Reed, John. “When Market Street Was Too Far East in Wichita.” *Wichita Eagle* 10 July 1927. Print.

<sup>32</sup> “Bitting Building Is to Be Twelve Stories.” *Wichita Beacon* 23 Apr. 1918: 12. Print.

<sup>33</sup> “C.W. Bitting, Capitalist, Dies Here.” *Wichita Eagle* 29 Oct. 1932. Print., “Funeral Services for C.W. Bitting Set for Monday.” *Wichita Eagle* 30 Oct. 1932. Print.

<sup>34</sup> *Ibid.*



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president of the citizen's organization which funded and constructed the city's auditorium in 1894. The Bittings were integral to the growth and success of the city of Wichita as an early center of commerce in what was then considered the southwest region of the country and their name endures with the Bitting Building, their crowning achievement in the city.

The Bitting Building is the only extant commercial building that bears an association with the Bitting Brothers.

**Criterion A – Commerce**

The Bitting Building is significant under Criterion A for commerce as a representative example of an early to mid-20<sup>th</sup> century office building in downtown Wichita. Following its enlargement in 1919, the subject building was the tallest building in the state of Kansas and registered a 100 percent occupancy rate. Although the Bitting Building underwent multiple ownership changes in the late 1930s and early 1940s, the building remaining fully occupied.

By the 1950s, the Bitting Building was considered a tired building and did not have the modern appearance and features that maintained existing and attracted new tenants. As with its contemporary neighbor, the Fourth National Bank Building, the Bitting Building underwent a significant renovation campaign in 1959 to restore the building to its prominent position amongst Wichita office buildings. The 1950s was a period of strong growth in Wichita, bolstered by the booming oil industry, and the existing downtown office buildings from the boom of three decades prior were being renovated and "modernized." Following its renovation, which combined the classic form and features of the 1910s era high-rise, with mid-century modern design elements and state of the art HVAC and electrical systems, the Bitting Building returned to its position as one of the top office buildings in Wichita.

**East Douglas Avenue – The White Way**

Wichita was originally incorporated as a village in 1870 and was later incorporated as a city in 1886. When first incorporated, the center of the city was established at the intersection of Main and Douglas streets on a large plot of land formed by the holdings of town founders Darius Munger and William Greiffenstein. At the time, Munger owned land to the north of Douglas Avenue, while Greiffenstein owned land to the east of Main Street. While Munger lobbied to direct the commercial development of downtown Wichita northward on Main Street, Greiffenstein aided by businessman James Mead, secured the construction of a bridge crossing the Arkansas River on Douglas Avenue. Additionally, Greiffenstein provides lots free of charge to businessmen willing to immediately construct buildings on East Douglas Avenue and he was



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able to lure the post office, county offices and the Wichita Savings Bank as anchors during the 1880s.<sup>35</sup>

During the mid-1880s, Wichita underwent a real estate and population boom with 28 commercial buildings constructed in 1885, and the population growing at over 1,000 residents per month.<sup>36</sup> Along East Douglas Avenue, two and three-story brick commercial buildings proliferated, aided by the construction of railroad facilities to the east. The boom of the 1880s gave way to the bust of the 1890s as the real estate bubble burst and population fell. The city's growth remained stagnant until the early years of the 20<sup>th</sup> century, when a nearly three decade period of growth and prosperity ensued.

The first decades of the 20<sup>th</sup> century were witness to the growth of East Douglas Avenue into one of the preeminent commercial streets of the era. At the eastern end of Douglas Avenue, industry and jobbing houses grew, taking advantage of the multiple railroad lines which made Wichita a hub of commerce. During this decade electric lights were installed on Douglas Avenue and became affectionately known as the "White Way."<sup>37</sup> By the second decade of the 20<sup>th</sup> century, growth of the burgeoning aircraft industry and the discovery of oil further bolstered Wichita's economic prowess and the city outpaced Topeka as the largest in the state. Along with the growth of these industries came ancillary growth including services and related businesses. As the city's industrial base grew, leasable office space was at a premium and was generally located on East Douglas Avenue within buildings constructed during the previous boom period of the 1880s.

Unprecedented demand for professional office space precipitated a major building campaign in which multiple "high-rise" tenant office buildings were constructed within the East Douglas Avenue area between 1910 and 1930 when the Great Depression halted commercial growth. In 1910, two 10-story tenant office buildings, the Beacon Building and Schweiter Building were constructed at the intersection of Main Street and Douglas Avenue. The Bitting Building was constructed at the corner of Market Street and Douglas Avenue as a four-story building in 1911 and later received a seven-story addition in 1919 which rendered it the tallest building in Kansas at the time. In 1916, the six-story Fourth National Bank Building was constructed adjacent to the subject building and in 1919 the seven-story Wheeler-Kelly-Hagny Building was constructed at 120 South Market Street.

<sup>35</sup> Wolfenbarger, Deon. "East Douglas Avenue Historic District." *National Register of Historic Places Registration Form*. February 2003: Section 8, Page 23.

<sup>36</sup> Wolfenbarger: 28.

<sup>37</sup> Wolfenbarger, Deon. "East Douglas Avenue Historic District." *National Register of Historic Places Registration Form*. February 2003: Section 8, Page 33.

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Commercial growth within the East Douglas area flourished in the 1920s as the 10-story First National Bank building was constructed in 1922 at the intersection of Douglas Avenue and Main Street. In 1926, the 14-story Union National Bank Building and the 11-story Brown Building were completed at the southeast and southwest corners of the intersection of East Douglas Avenue and South Broadway Street. Large-scale commercial development of the boom era concluded with the construction of the eight-story Ellis-Singleton Building on South Broadway Street and the Central Building at Douglas Avenue and Main Street in 1929.

The aforementioned “high-rise” commercial buildings constructed during the 20 year period between 1910 and 1930 represent the unprecedented growth witnessed in Wichita and was paralleled by the construction of hotels, residences and smaller commercial buildings. As was typical of commercial buildings from the period, these buildings were developed with retail space on the first and often second floor, with tenant office suites on the upper floors. Generally, the offices were small and city directories of the era list a myriad of tenants in each of these buildings. During this period, each building has a similar manifest of tenants including: medical offices, lawyers, real estate offices, mortgage, banking and insurance offices and a rapidly increasing amount of petroleum-related companies.

East Douglas Avenue – Post-World War II

Unable to escape the deadly combination of the Great Depression and the Dust Bowl, the economy of Wichita stagnated and the growth of East Douglas Avenue and its surrounds halted. Buildings including the Bitting Building and the Brown Building were foreclosed upon as the economy waned.<sup>38</sup> It was not until the onset of World War II that the economy of Wichita rebounded. During the war, the city’s aircraft manufacturing facilities reached the double digits and plentiful work induced workers to relocate to Wichita in droves with a nearly 100 percent population increase per year.<sup>39</sup> This population explosion made Wichita a dense, bustling city but this was soon to end as increased automobile use led to development outside downtown. As was typical throughout the country, the city of Wichita looked to accommodate the automobile, and downtown was slowly transformed from pedestrian-oriented to automobile dependent. Older buildings were demolished to provide parking for shoppers and office workers, and buildings including the Bitting Building, Fourth National Bank, Beacon Building and Central Building were remodeled to exude a “modern” image which was meant to retain businesses from relocating to the auto-friendly suburbs.

<sup>38</sup> Ford, Susan Jezak. “Brown Building.” *National Register of Historic Places Registration Form*. February 2007: Section 8, Page 6.

<sup>39</sup> Wolfenbarger, Deon. “East Douglas Avenue Historic District.” *National Register of Historic Places Registration Form*. February 2003: Section 8, Page 41.

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Although the 1950s was a time of hope for the rebirth of downtown, specifically East Douglas Avenue and its surround blocks, the building renovation campaigns and heavy handed urban renewal projects hollowed out the area and left many of the formerly productive commercial buildings chronically under-occupied or vacant. Although much of the formerly grand White Way has been demolished, a limited number of buildings from the city's heyday, including the Bitting Building, remain as a testament to the economic might of Wichita's past.

Bitting Building

The lower four floors of the Bitting Building were constructed in 1911 with the first two floors utilized for retail and a restaurant and the upper two floors utilized as leasable office space. In 1919, the building was expanded with seven additional floors of leasable office space. The Bitting Building was constructed at a time when downtown Wichita was expanding rapidly and professional office space was at a premium. Following the construction of the addition in 1919, the Bitting Building was the tallest building in the state and had 220 leasable office suites. Following the expansion, the building was 100 percent occupied with stores and a restaurant on the first two floors and including: real estate offices, law offices, mortgage companies, doctors and dentists, jewelers, insurance companies, government offices, architecture firms, the Wichita Baseball Club, and petroleum corporations.<sup>40</sup> In 1926, the Western Union Corporation undertook the installation of a pneumatic tube system in Wichita. The system of tubes was utilized to send paper telegrams between the company's main office and substations and the first line installed connected the main office at Topeka Avenue and First Street with the substation within the Bitting Building.<sup>41</sup>

The Bitting Building remained fully occupied throughout the 1920s though it was adversely affected by the Great Depression when occupancy fell and the building went into foreclosure. Following its purchase by the New York Life Insurance company, the building underwent a renovation in 1940 and was once again fully tenanted by 1944 when it was sold to a local ownership group.<sup>42</sup> At the time of sale, the subject building had 44 occupants including Western Union telegraph, jewelers, mortgage and real estate companies, medical offices and a significant amount of petroleum firms.

Although the Bitting Building remained productive throughout the next decade, the impacts of urban renewal, proliferation of the automobile, as described previously, and modernization of the adjacent Fourth National Bank Building catalyzed Commonwealth Bld. Inc. to undertake a

<sup>40</sup> *Wichita City Directory, 1919*. Detroit, MI: R.L. Polk &, 1919. Print.

<sup>41</sup> "Pneumatic Tubes to Speed Service of Western Union." *Wichita Eagle* 18 Mar. 1926: 5. Print.

<sup>42</sup> "Bitting Building Is Sold." *Wichita Eagle* 2 Mar. 1944, Evening ed. Print.

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modernization campaign on the Bitting Building. Following the modernization, the building was able to provide its tenants the modern conveniences demanded including mechanical air conditioning and modern restroom facilities as well as a modern and progressive exterior appearance. The renewed Bitting Building maintained occupancy in excess of 95 percent with much of the building occupied by petroleum related companies including Texaco which occupied the entire sixth floor. The Bitting Building remained a multi-tenant building through the 1960s and 1970s and remained highly productive with occupancy in excess of 80 percent in 1980. Following its rebranding as the "Oil Trade Center" in 1980, the subject building's tenant manifest was dominated by petroleum related businesses including: geologists, surveyors and production corporations but a collection of other tenants including political offices, accountants, lawyers and a jeweler remained.<sup>43</sup> For its entire existence until it was vacated due to ownership issues in 2002, the Bitting Building remained a productive and diverse tenant office building, just as it was when completed by the C.W. and A.W. Bitting in 1919.

**Conclusion**

The Bitting Building is significant under Criterion A in the area of Commerce. When constructed, the building was renowned as the tallest in the state and is the only surviving building that is associated with the Bitting Brothers who were known throughout the Midwest as successful merchants and real estate moguls. The success of the Bitting Brothers was attributed to their pioneering spirit which led them to establish an upscale clothing store ahead of the competition and their ability to anticipate growing real estate markets. The building is significant as a commercial resource illustrating the changing dynamics of the downtown office building during the mid-twentieth century. Specifically, the building characterizes the evolution of the downtown office building, designed in the early 20<sup>th</sup> century in a Classical vocabulary that had become tired by mid-century and unable to compete with the newly erected modern office buildings being completed in the surrounding blocks. In 1959, the Bitting Building underwent a major renovation which added modern features to the exterior and renovated the interior so that the building could again offer Wichita's business community premier office space. The mid-century renovation of the Bitting Building represented a response to the changing dynamics of the downtown office real estate market which was witnessing a resurgence led by the transformation of the adjacent Fourth National Bank Building into a modern bank and office building. The 1959 renovations are integral to the history of the building as they allowed the building to regain its market share in the second half of the twentieth century and regain its stature as one of downtown Wichita's most important historically significant office buildings.

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<sup>43</sup> *Wichita City Directory*. Detroit, MI: R.L. Polk &, 1991. Print.

**9. Major Bibliographical References**

See Attached Continuation Pages

**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67 has been Requested)
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # \_\_\_\_\_
- recorded by Historic American Engineering Record # \_\_\_\_\_

**Primary location of additional data:**

- State Historic Preservation Office
  - Other State agency
  - Federal agency
  - Local government
  - University
  - Other
- Name of repository: **Kansas Historical Society**

Historic Resources Survey Number (if assigned): \_\_\_\_\_

**10. Geographical Data**

**Acreage of Property** .13  
(Do not include previously listed resource acreage)

**UTM References**

(Place additional UTM references on a continuation sheet)

1 14 646660 4172100  
Zone Easting Northing

2 \_\_\_\_\_  
Zone Easting Northing

3 \_\_\_\_\_  
Zone Easting Northing

4 \_\_\_\_\_  
Zone Easting Northing

**Verbal Boundary Description** (describe the boundaries of the property)

The nominated property is described as follows (according to Sedgwick County property records): E 20 1/2 FT LOT 106-ALL LOT 108 DOUGLAS AVE. GREIFFENSTEIN'S ORIGINAL TOWN ADD. The Sedgwick County Tax Parcel number 124200140701700.

**Boundary Justification** (explain why the boundaries were selected)

The nominated property includes the entire parcel historically associated with the Bitting Building.

**11. Form Prepared By**

name/title Nick Kraus

organization Heritage Consulting Group date December 19, 2011

street & number 15 W Highland Avenue telephone 215-248-1260

city or town Philadelphia state PA zip code 19118

e-mail \_\_\_\_\_

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**Additional Documentation**

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Submit the following items with the completed form:

- **Maps:** A **USGS map** (7.5 or 15 minute series) indicating the property's location.  
A **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Continuation Sheets**
- **Additional items:** (Historic images, maps, etc.)

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**Photographs:**

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**See Attached Continuation Pages**

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**Property Owner:**

(complete this item at the request of the SHPO or FPO)

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name DGL Investments  
street & number 14025 23<sup>rd</sup> Avenue N telephone \_\_\_\_\_  
city or town Plymouth state MN zip code 55447-4922

**Paperwork Reduction Act Statement:** This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 18 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

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**PHOTOGRAPH LIST**

Bitting Building  
Sedgwick County, Kansas  
Nick Kraus  
Heritage Consulting Group, May 2011

Digital Photographs  
Photo Printer: Epson Stylus Pro 4800  
Photo Paper: Epson Premium Glossy Paper  
Ink: Epson Ultra Chrome K3

| <b>Photo #</b> | <b>View</b>  |
|----------------|--|
| 1              | Looking North at South Elevation                                 |
| 2              | Looking Northwest at South and East Elevations                   |
| 3              | Looking West at East Elevation and Main Entrance                 |
| 4              | Looking Southwest at East and North Elevations                   |
| 5              | 1 <sup>st</sup> Floor Elevator Lobby, Looking West               |
| 6              | 2 <sup>nd</sup> Floor Stair, Looking South                       |
| 7              | 7 <sup>th</sup> Floor Elevator Lobby, Looking West               |
| 8              | 7 <sup>th</sup> Floor Corridor, Looking South                    |
| 9              | 7 <sup>th</sup> Floor Office, Looking East                       |
| 10             | 7 <sup>th</sup> Floor Southeast Corner Office, Looking Southeast |

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National Register of Historic Places  
Continuation Sheet

Section number \_\_\_\_\_ Page \_\_\_\_\_

Bitting Building  
Sedgwick County, KS

Wichita Eagle 23 Mar. 1919: 2. Kansas' Tallest Office Block Monument to Wichita's Faith

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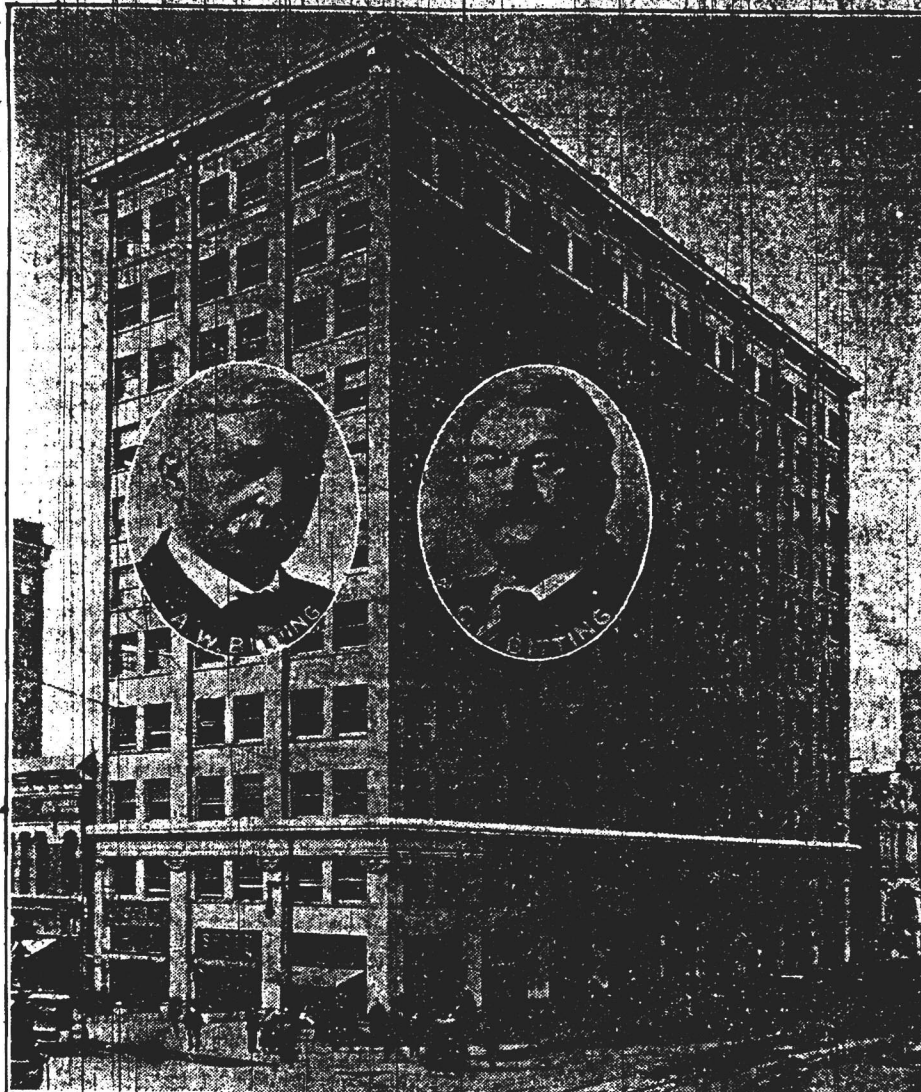
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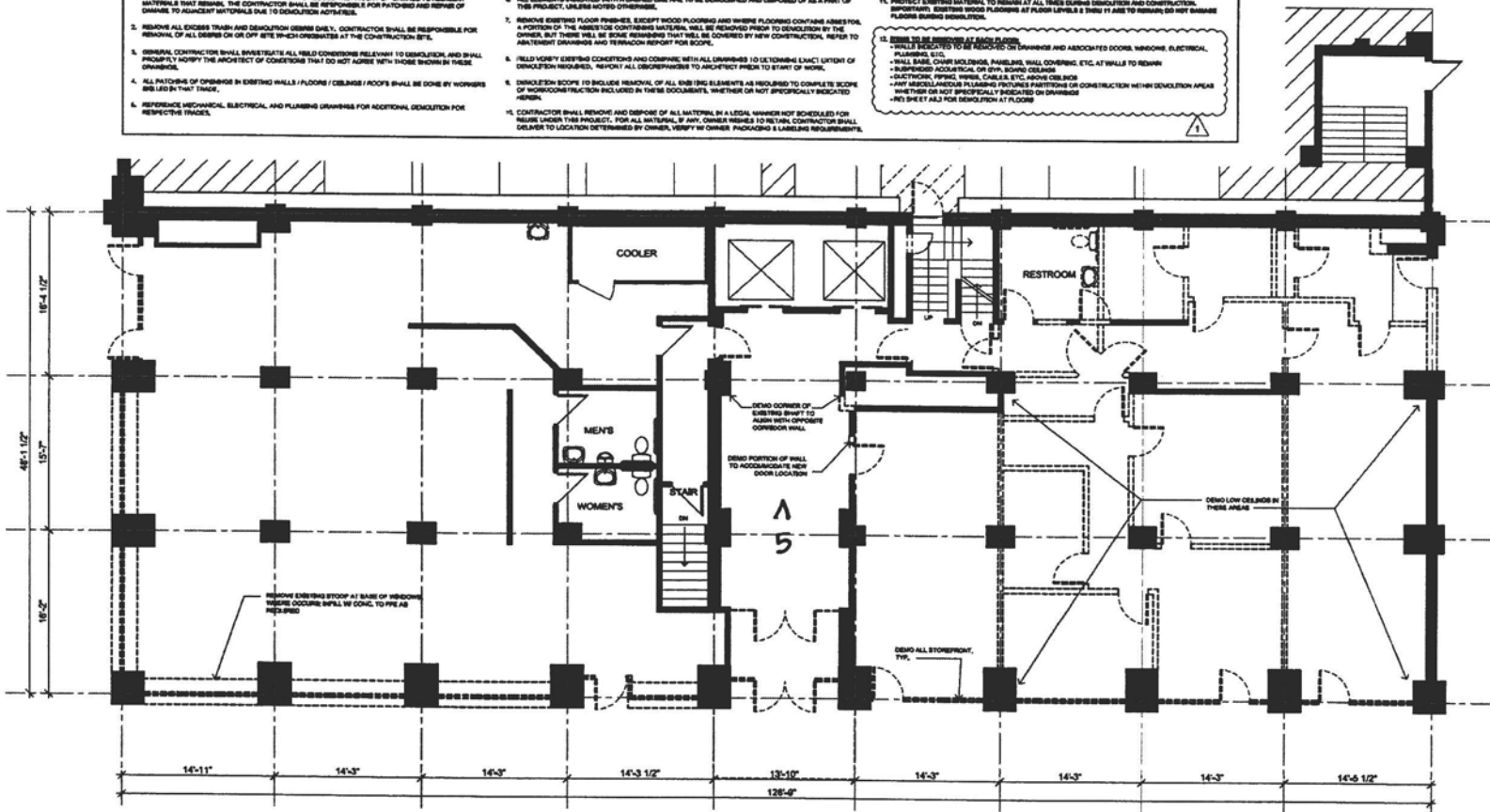
Eleven-story Bitting Building at Northwest Intersection of Market Street with Douglas Ave. and the Bitting Brothers, Joint Owners. —Photos, Pottenger-Whittier  
With the completion of the Bitting which was replaced by another after a occupied as a clothing store, main-  
block, a magnificent eleven story fire, the present building has arisen tained by A. W. and C. W. Bitting  
business building at Market and with its eleven stories under the firm name of Bitting Brothers.

# **Bitting Building**

## **Photo Key**

**DEMOLITION GENERAL NOTES**

- DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
- REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
- GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
- ALL PATCHING OF CRACKS IN EXISTING WALLS / FLOORS / CEILINGS / ROOFS SHALL BE DONE BY WORKERS BELONGING TO THAT TRADE.
- REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
- ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
- REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ADHESION. A PORTION OF THE ADHESIVE CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ALL TRASH DRAWINGS AND TIERDOWN REPORT FOR SCOPE.
- FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
- DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL SHIP LIFT ELEMENTS AS INDICATED TO COMPLETE SCOPE OF RECONSTRUCTION INCLUDED IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO REUSE, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY IN OWNER PACKAGING & LABELING REQUIREMENTS.
- PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. SPORTSMAN, EXISTING WOOD FLOORING AT FLOOR LEVELS & TRIM IT AIMS TO REUSE, DO NOT DAMAGE FLOORING DURING DEMOLITION.
- ITEMS TO BE PROTECTED AT EACH FLOOR:
  - WALLS REQUIRED TO BE REMOVED OR DAMAGED AND ASSOCIATED SOCIAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, OVER MOLDING, PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN
  - SUSPENDED ACoustICAL OR GYP. BOARD CEILING
  - ELECTRICAL, PIPING, WIRING, CABLES, ETC. ABOVE CEILING
  - ANY MISCELLANEOUS PLUMBING FIXTURES OR CONSTRUCTION ITEMS DEMOLITION AREAS WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - REF SHEET A4.3 FOR DEMOLITION AT FLOORS



**LEGEND**

|  |                         |  |                         |
|--|-------------------------|--|-------------------------|
|  | EXL. DOOR TO REMAIN     |  | EXL. WALL TO REMAIN     |
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**1ST FLOOR DEMO PLAN**

CIVILS REVIEWED 26 OCT 2009  
 CITY PERMITS 19 OCT 2009  
 NO PERMITS 19 OCT 2009  
 PL. AL. 2009  
 PROJECT ISSUE 21 MAY 2009  
 REVISION 21 MAY 2009  
 PROJECT 10 APR 2009

FIRST FLOOR DEMO PLAN

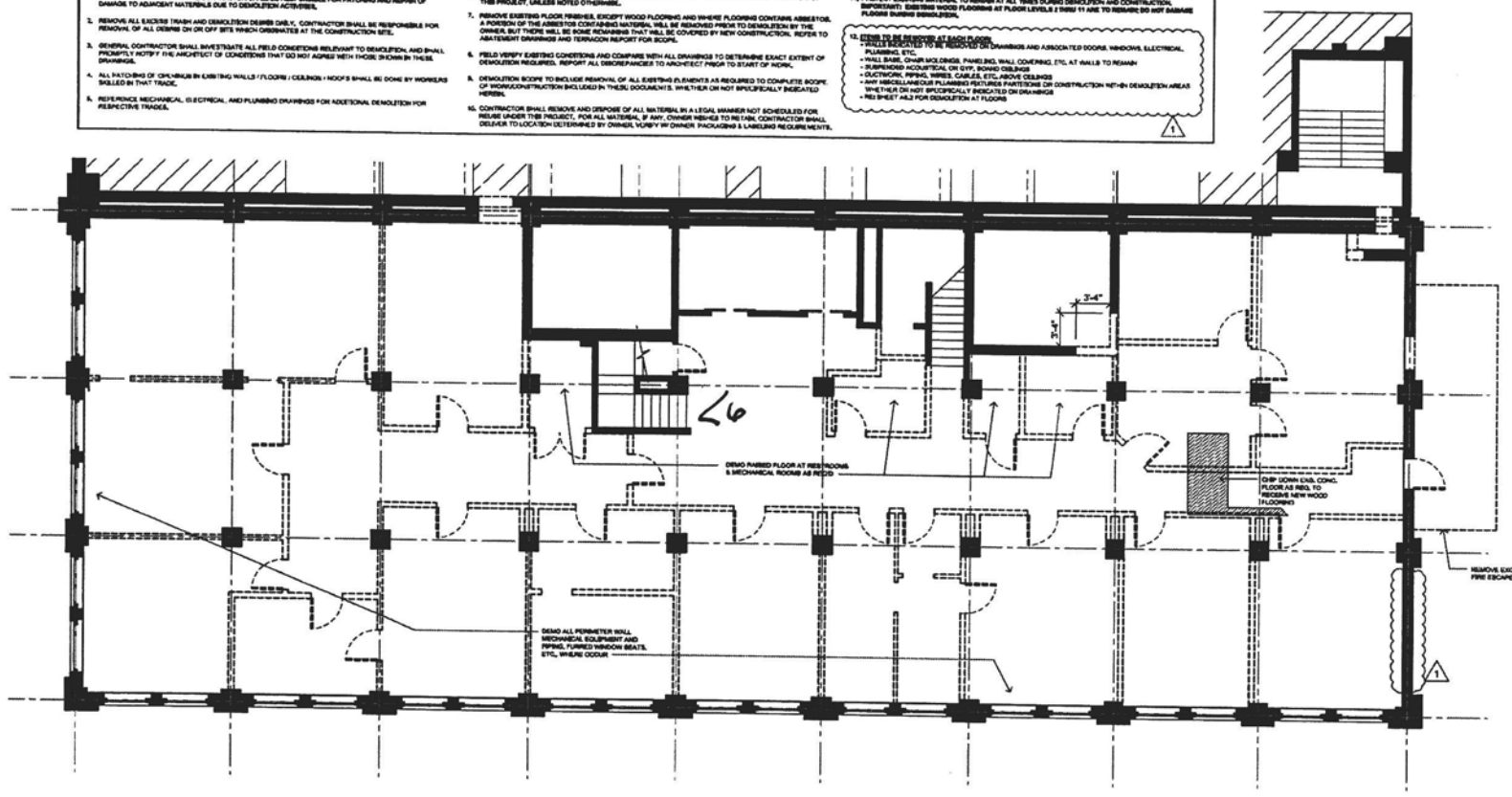
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**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXISTING FINISH AND DEMOLITION DEBRIS ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DRINKING OR OFF SITE WHICH OBSERVES AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHING OF CRACKS IN EXISTING WALLS / FLOORS / CEILING / ROOF SHALL BE DONE BY WORKERS SKILLED IN THAT TRADE.
5. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS, A PORTION OF THE ASBESTOS CONTAINING MATERIAL SHALL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINS THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ABATEMENT DRAWINGS AND TERRAZZO REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF NEW CONSTRUCTION INCLUDED IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIALS IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIALS IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY BY OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. REPORT ANY EXISTING WOOD FLOORING AT FLOOR LEVELS 1 thru 11 ARE TO REMAIN DO NOT DAMAGE PLUMBING FINISH REMOVAL.

**12. ITEMS TO BE REMOVED AT EACH FLOOR**

- WALL PANEL, OTHER WOOD/GRG PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN
- SURFACED ACOUSTICAL OR GYP. BOARD CEILING
- ELECTRICAL PIPING, WIRING, CABLES, ETC. ABOVE CEILING
- ANY MISCELLANEOUS PLUMBING FIXTURES OR CONSTRUCTION LEFT-IN DEMOLITION AREAS
- SHEET OR NOT SPECIFICALLY INDICATED OR OTHERWISE
- REINFORCING BARS FOR DEMOLITION AT FLOORS



**LEGEND**

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|  | EXIST. DOOR TO REMAIN     |  | EXIST. WALL TO REMAIN     |
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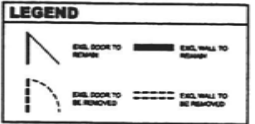
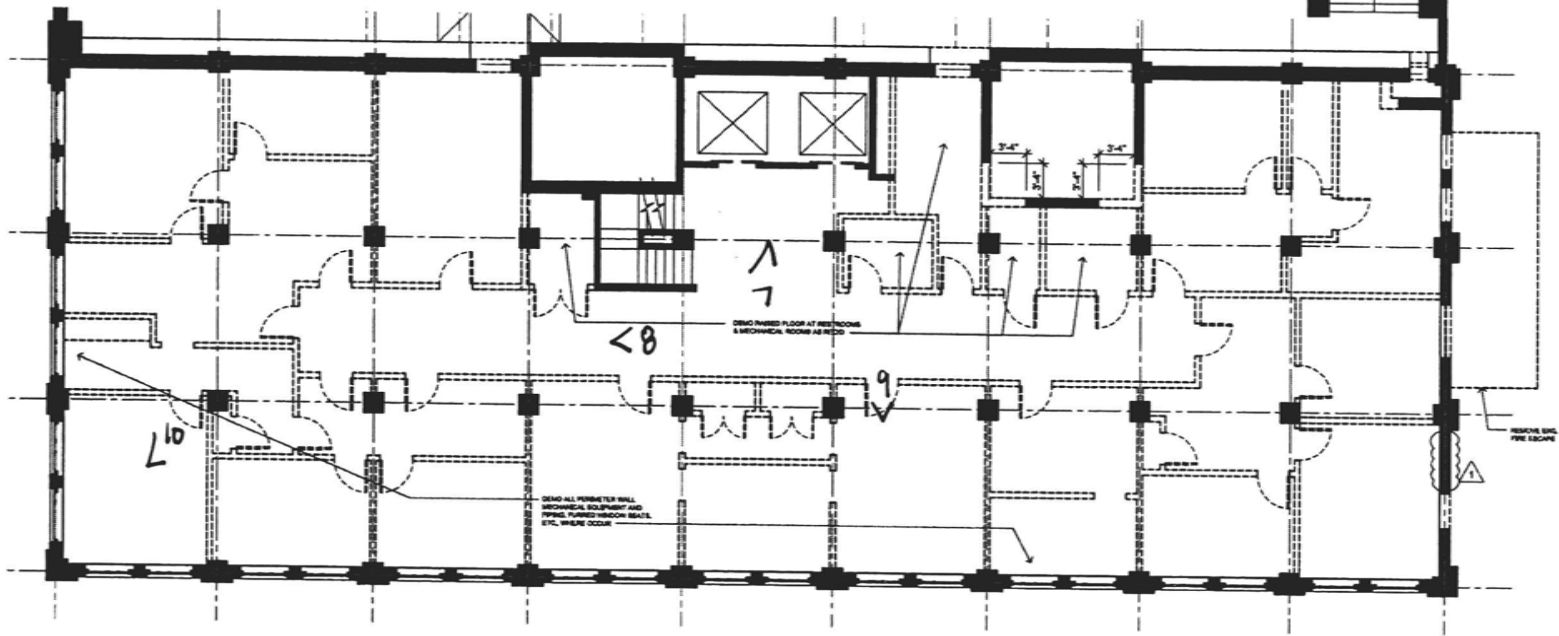
**2ND FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT STRUCTURE THAT REMAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TRASH ON OR OFF SITE WHICH ORIGINATES AT THE DEMOLITION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELAYANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL FINISHING OF OPENINGS IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKMAN SKILLED IN THAT TRADE.
5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THE PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS, A PORTION OF THE ASBESTOS CONTAINING MATERIAL SHALL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINS THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ASBESTOS REMOVAL AND TREATMENT REPORT FOR DETAILS.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF RECONSTRUCTION INCLUDING, BUT NOT LIMITED TO, THESE OCCURRENCE, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SOBBLETT FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY IN OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. APPROXIMATE EXISTING WOOD FLOORING AT FLOOR LEVELS 1 THRU 11 ARE TO REMAIN DO NOT REMOVE FLOOR FINISHES EXISTING.

**ITEMS TO BE REMOVED AT EACH FLOOR:**

- WALLS BASE, CORNER MOLDING, HANDLING, WALL COVERING, ETC. AT WALLS TO REMAIN
- APPROXIMATE ACoustICAL OR STY, SOUND CEILING
- CEILING, PIPING, WIRING, CHASIS, ETC ABOVE CEILING
- ANY MISCELLANEOUS PLUMBING FIXTURES PARTITIONS OR CONSTRUCTION WITHIN DEMOLITION AREAS
- WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
- SEE SHEET #12 FOR DEMOLITION AT FLOORING



**7TH FLOOR DEMO PLAN**



# **Bitting Building**

## **Site Plan**

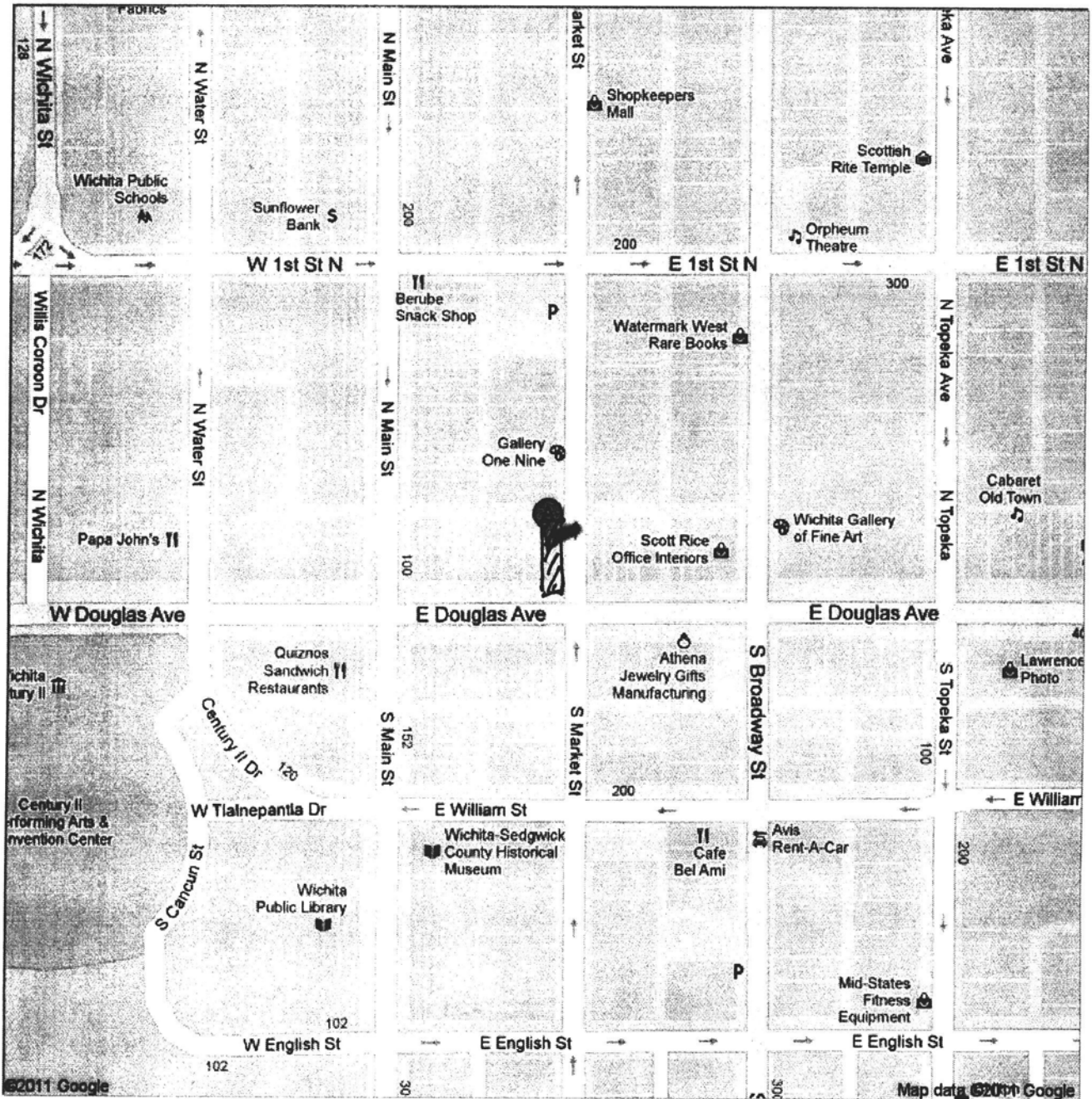
# Google maps

Address 107 N Market St  
Wichita, KS 67202

Get Google Maps on your phone



Text the word "GMAPS" to 466453



**Bitting Building**

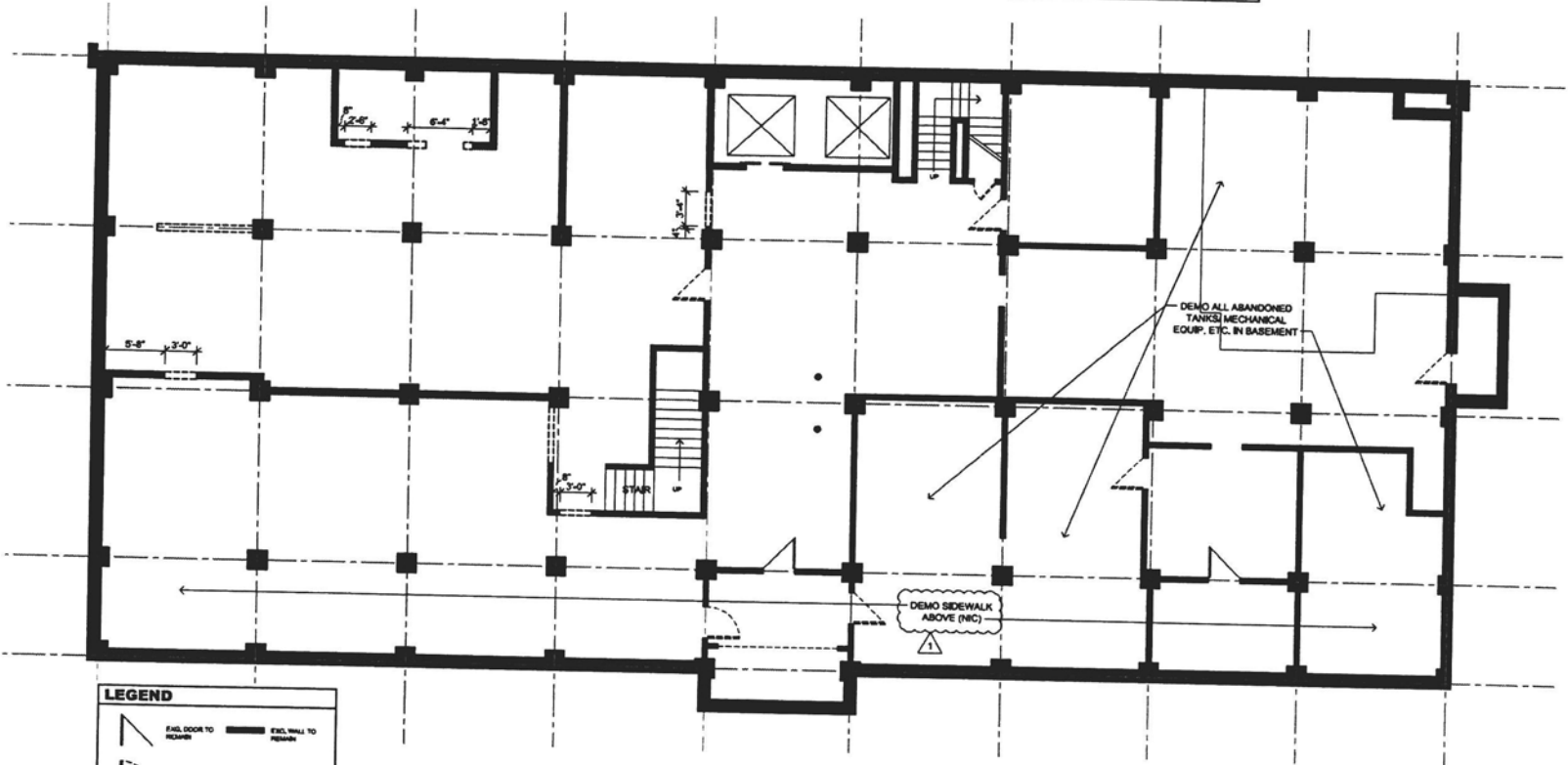
**Floor Plans**

**Existing Conditions**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH ORIGINATED AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHING OF CRACKS IN EXISTING WALLS / FLOORS / CEILING / ROOF SHALL BE DONE BY WORKERS SKILLED IN THAT TRADE.
5. REFERENCED MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTES OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND VINYL FLOORING CONTAINING ASBESTOS, A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE MAINTENANCE SUPERVISOR AND FURNISH REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY ANY OTHER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. IMPORTANT: EXISTING WOOD FLOORING AT FLOOR LEVELS 2 THRU 11 ARE TO REMAIN DO NOT DAMAGE FLOORS DURING DEMOLITION.

- TO BE DEMOLISHED AS SHOWN HEREIN:**
- WALLS SCHEDULED TO BE REMOVED ON UNFINISHED AND ASSOCIATED SOONERS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, CHAIR BOLDS, PANELS, WALL COVERING, ETC. AT WALLS TO REMAIN
  - SURFACES ACROUSTICAL OR GYP. BOARD CEILING
  - DUCTWORK, PIPING, RISER, CHUTES, ETC. ABOVE CEILING
  - ANY UNDESIRABLE PLUMBING REMAINS PARTITION OR CONSTRUCTION WITHIN DEMOLITION AREA
  - WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - SEE SHEET 143 FOR DEMOLITION AT FLOOR



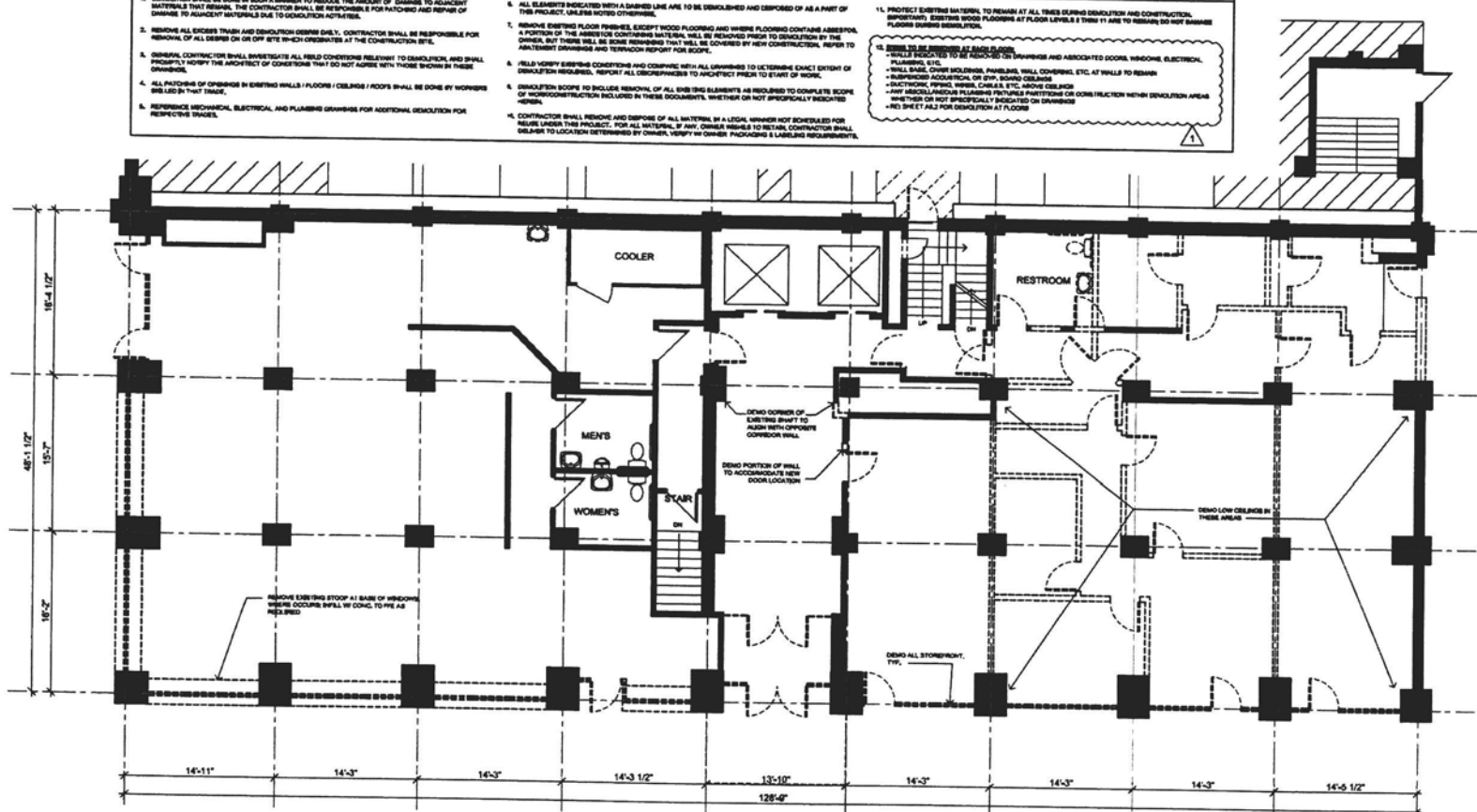
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|  | EXL. WALL TO REMAIN |  | EXL. WALL TO BE REMOVED |
|  | EXL. DOOR TO REMAIN |  | EXL. DOOR TO BE REMOVED |

**BASEMENT DEMO PLAN**

**DEMOLITION GENERAL NOTES**

- DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
- REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
- GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
- ALL PATCHES OF DAMAGE IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKERS EMPLOYED BY THAT TRADE.
- REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
- ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
- REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO AIRBENT DRAWINGS AND TERRAZZO REPORT FOR SCOPE.
- FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
- DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF NEW CONSTRUCTION INCLUDED IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A MANNER NOT SPECIFIED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIALS, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY BY OWNER PACKAGING & LABELING REQUIREMENTS.
- PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. REPAIRS TO EXISTING WOOD FLOORING AT FLOOR LEVELS & THIN 11 ARE TO REMAIN TO NOT BEHIND FLOORS DURING DEMOLITION.
- ITEMS TO BE REMOVED AT FLOOR LEVEL:
  - WALL BASE, COVER MOLDINGS, PANELING, WALL COVERINGS, ETC. AT WALLS TO REMAIN
  - DISPOSABLE ACoustICAL OR GYP. BOARD CEILING
  - DIRECTORY, PHONE, WIRING, CABLES, ETC. ABOVE CEILING
  - ANY MISCELLANEOUS PLUMBING FIXTURES PARTITIONS OR CONSTRUCTION WITHIN DEMOLITION AREAS WHETHER OR NOT SPECIFICALLY INDICATED OR DRAWINGS
  - NO SHEET PILE FOR DEMOLITION AT FLOOR



**LEGEND**

|  |                          |  |                          |
|--|--------------------------|--|--------------------------|
|  | EXIS. DOOR TO REMAIN     |  | EXIS. WALL TO REMAIN     |
|  | EXIS. DOOR TO BE REMOVED |  | EXIS. WALL TO BE REMOVED |

**1ST FLOOR DEMO PLAN**

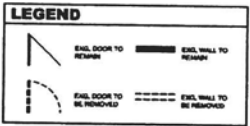
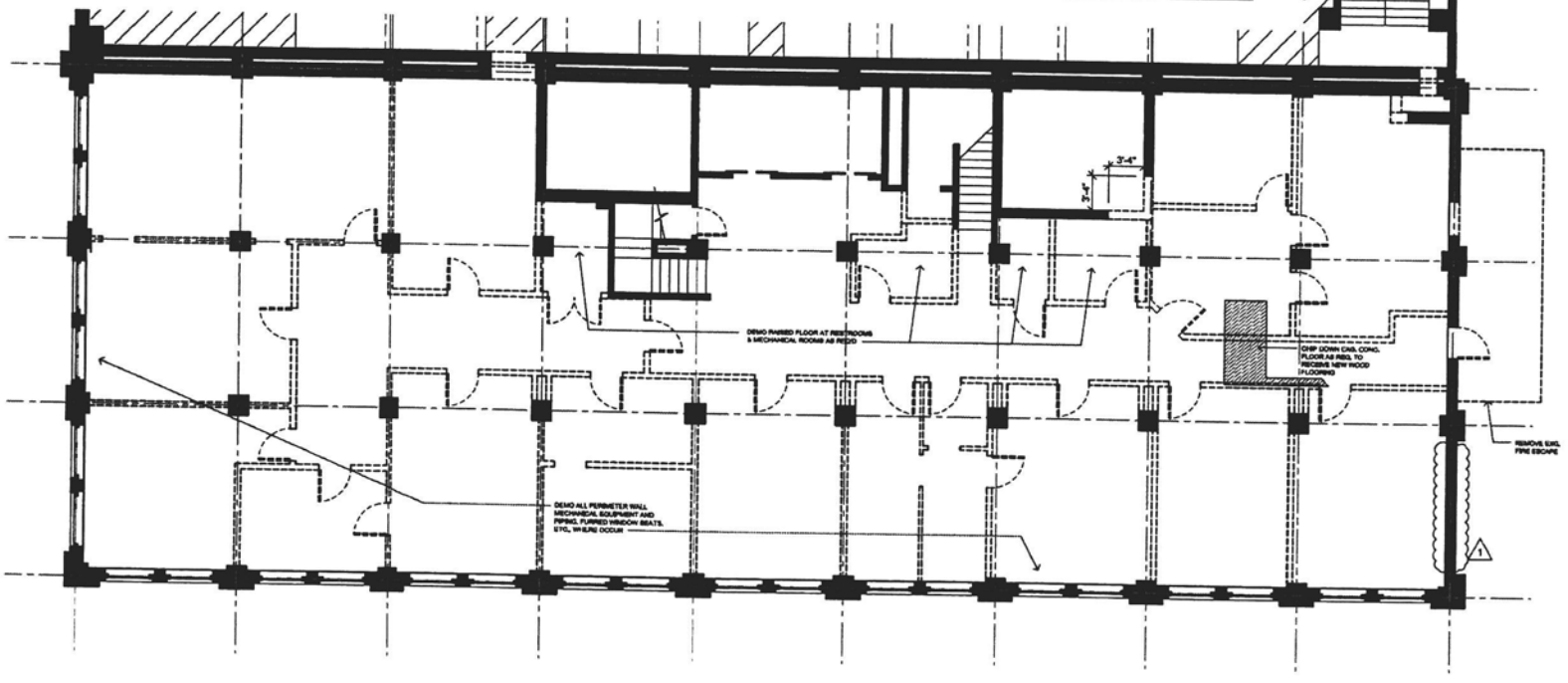
CITY/STATE REVIEWED  
 28 OCT 2009  
 CITY REVISIONS  
 18 OCT 2009  
 HLD ISSUE  
 27 JUL 2009  
 PRELIM ISSUE  
 21 MAY 2008  
 REVISION  
 28 MAY 2008  
 PRELIM  
 19 APR 2009

FIRST FLOOR DEMO PLAN

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OBSERVATES AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHING OF CRACKS IN EXISTING WALLS / FLOORS / CEILING / ROOF SHALL BE DONE BY WORKMAN SHOWN IN THIS TRAIL.
5. REFERENCING MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS DESIGNATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND REMOVED AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISH, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO AIR-TIGHT ENVELOPE AND TERSION REPORT FOR SCOPE.
8. FIELD VISUALLY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DEPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER INTENDS TO REUSE, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, NOTIFY OF OWNER, PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. ESPECIALLY, EXISTING WOOD FLOORING AT FLOOR LEVELS 2 THRU 11 ARE TO REMAIN; DO NOT DAMAGE FLOORING SURFACES BEHIND THEM.

- 12. ITEMS TO BE REMOVED AT EACH FLOOR:**
- WALLS DESIGNATED TO BE REMOVED OR DAMAGED AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, CORNER HOLDINGS, PANELING, WALL CONTROLS, ETC. AT WALLS TO REMAIN
  - SUSPENDED ACoustICAL OR GYP BOARD CEILING
  - ELECTRICAL, PIPING, WIRING, CABLES, ETC. ABOVE CEILING
  - ANY MECHANICAL/PLUMBING ROUTING PARTITIONS OR CONSTRUCTION NET-IN DEMOLITION AREAS - WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - SEE SHEET #11 FOR DEMOLITION AT FLOOR

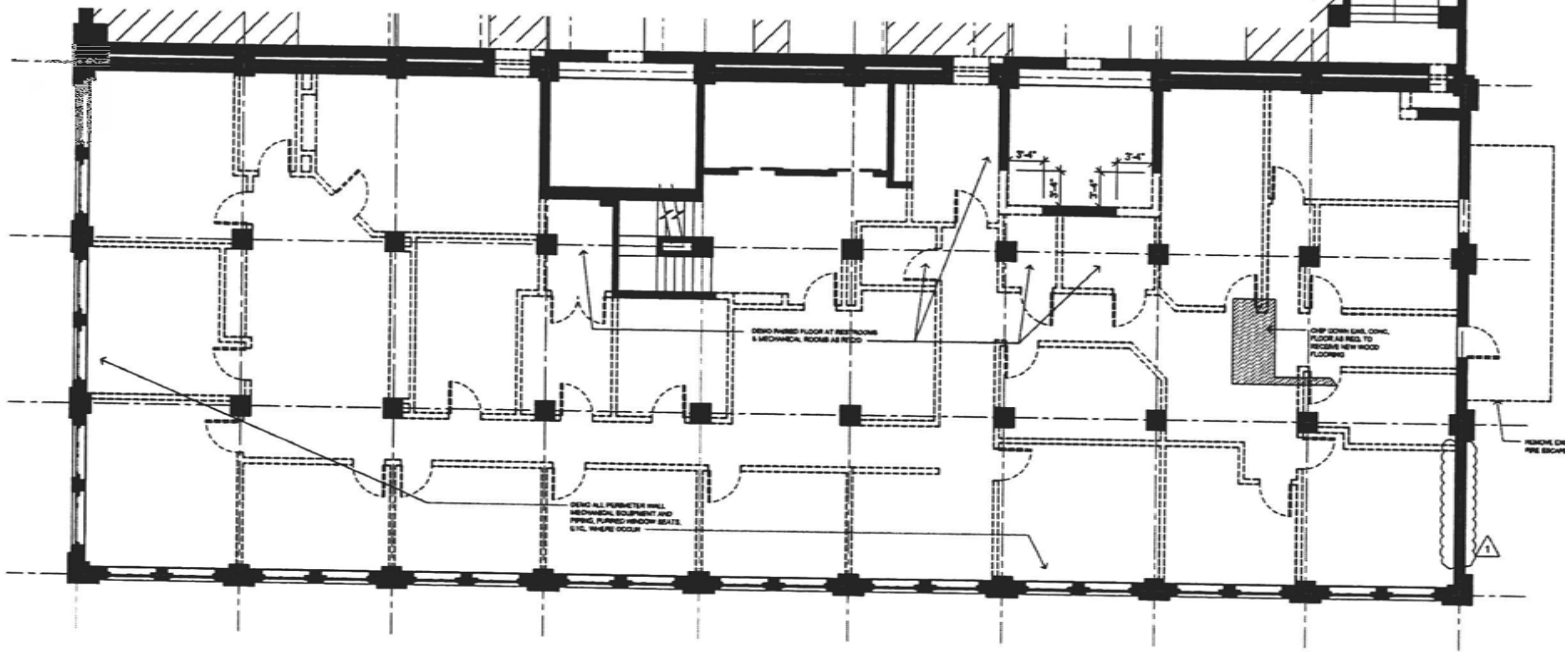


**2ND FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO MINIMIZE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TIMBER AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH ORIGINATES AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PORTIONS OF OPERABLE IN EXISTING WALLS / FLOORS / CEILINGS / ROOFS SHALL BE DONE BY WORKMEN SKILLED IN THAT TRADE.
5. CONFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR "TYPICAL TRADES".
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THE PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS, A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ASBESTOS REMOVAL AND TISSUE REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF RECONSTRUCTION INCLUDES IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THE PROJECT. TOP ALL MATERIAL, IF ANY, OWNED HEREIN TO REMAIN. CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY W/ OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, ESPECIALLY EXISTING WOOD FLOORING AT FLOOR LEVELS & TIME IT USE TO REMOVE DO NOT EXISTING FLOORING DURING DEMOLITION.

IT ITEMS TO BE REMOVED AT BUILDING PERMITS SHALL BE REMOVED BY DEMOLITION AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.  
 - WALL BRICK, CONCRETE MASONRY, PANELING, WALL COVERINGS, ETC. AT WALLS TO REMAIN  
 - SURFACES: MASONRY, GIPS, OR GIPS, BRICKS, CEILING  
 - CEILING, PANEL, WIRE, CABLE, ETC ABOVE CEILING  
 - ANY MECHANICAL, ELECTRICAL, PLUMBING FEATURES PARTITION OR CONSTRUCTION WITH DEMOLITION WORK  
 - SEE THIS OR ACT SPECIFICALLY INDICATED ON DRAWINGS  
 - SEE SHEET ALL FOR DEMOLITION AT FLOOR



**LEGEND**

|  |                           |  |                           |
|--|---------------------------|--|---------------------------|
|  | EXIST. DOOR TO REMAIN     |  | EXIST. WALL TO REMOVE     |
|  | EXIST. DOOR TO BE REMOVED |  | EXIST. WALL TO BE REMOVED |

**3RD FLOOR DEMO PLAN**

DATE: 10/20/2010  
 CITY: WICHITA, KS  
 PROJECT: EXCHANGE PLACE APARTMENTS  
 DRAWING: 3RD FLOOR DEMO PLAN  
 SCALE: AS SHOWN

THIRD FLOOR DEMO PLAN

**D1.3**

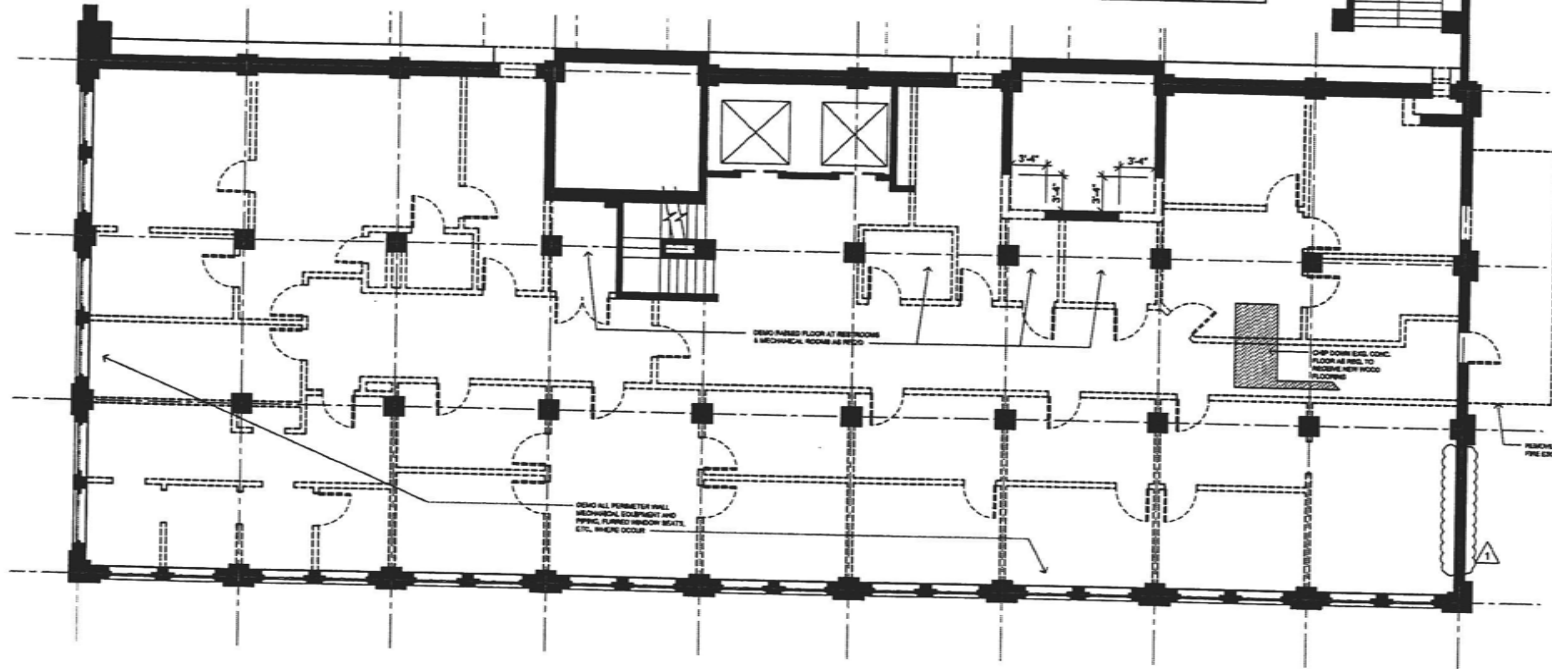


**DEMOLITION GENERAL NOTES**

- DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
- REMOVE ALL EXCESS TRIM AND DEMOLITION DEBRIS SH-1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
- GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELATANT TO DEMOLITION AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
- ALL PATCHING OF OPENINGS IN EXISTING WALLS / FLOORS / CEILINGS / ROOFS SHALL BE DONE BY WORKERS SKILLED IN THIS TRADE.
- REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
- ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
- REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WIRE FLOORING CONTAINING ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ASBESTOS DRAWINGS AND TOWN/COUNTY REPORT FOR SCOPE.
- FIELD VERIFY EXISTING CONCRETE AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXIST OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
- DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF WORK/CONSTRUCTION INCLUDED IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT ALLOWED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO REUSE, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY IN OWNER PACKAGING & LABELING REQUIREMENTS.
- PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, INCLUDING EXISTING WOOD FLOORING AT FLOORLEVELS & TRIM 11 ARE TO REMAIN IN ALL EXISTING FLOORING DEMOLITION.

**14. ITEMS TO BE REMOVED AT EACH PLACE:**

- WALLS TO BE REMOVED ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- WALLS TO BE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- REMOVE CHOP DOWN ON LIVING AND APPROX 100 DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.



**LEGEND**

|  |                           |  |                           |
|--|---------------------------|--|---------------------------|
|  | EXIST. DOOR TO REMAIN     |  | EXIST. WALL TO REMAIN     |
|  | EXIST. DOOR TO BE REMOVED |  | EXIST. WALL TO BE REMOVED |

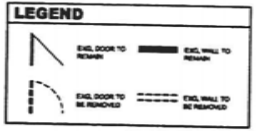
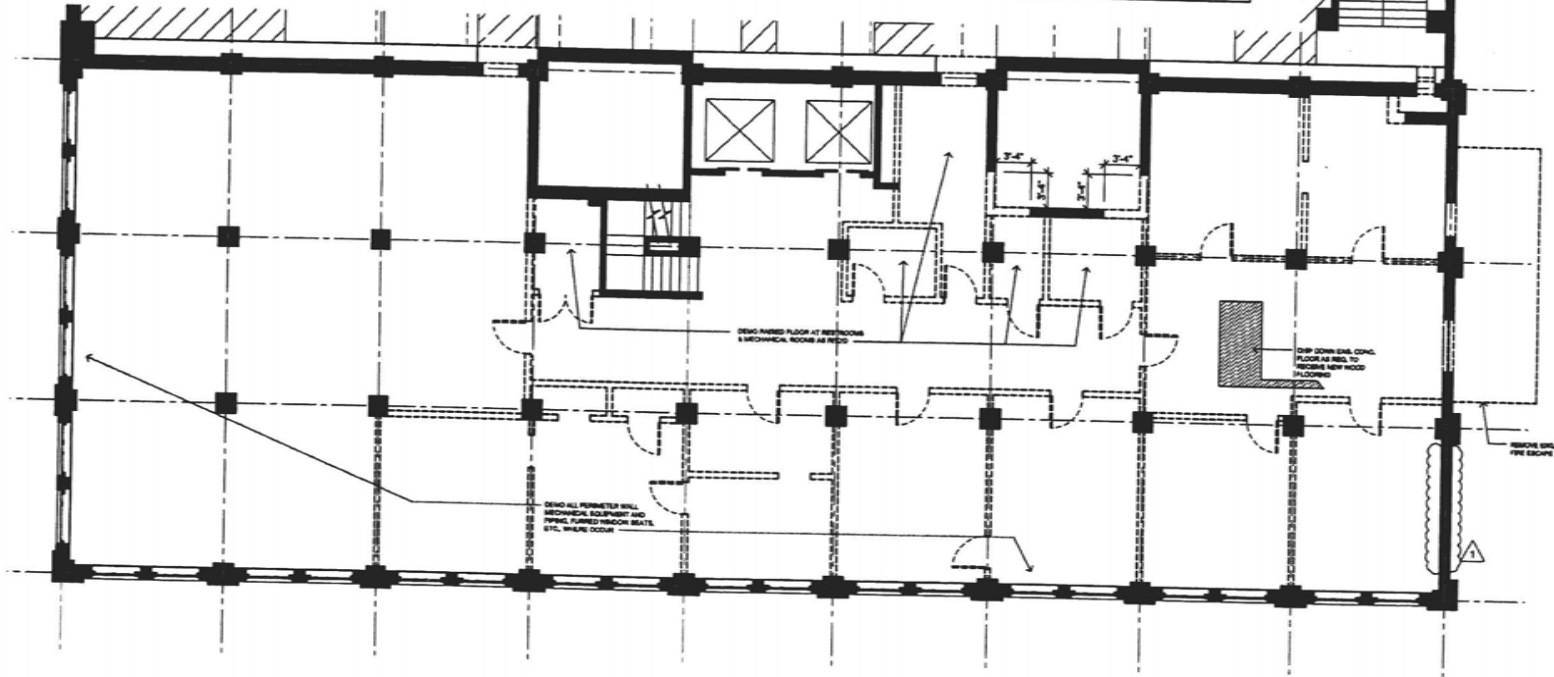
**4TH FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION AND SHALL PROVIDE A COPY OF THE ARCHITECT'S COMMENTS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL WORKING OF OPENINGS IN EXISTING WALLS / FLOORS / CEILING / ROOF SHALL BE DONE BY WORKING BELIEVED IN THAT TRADE.
5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DEPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIALS WILL BE REMOVED PRIOR TO DEMOLITION BY THE ARCHITECT'S DESIGN AND TECHNICAL REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DEPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY W/ OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. EXISTING EXTERIOR FLOORING AT FLOOR LEVELS 1 THRU 11 ARE TO REMAIN DO NOT REMOVE EXTERIOR FINISHES DEMOLITION.

**TO BE DEMOLISHED AT DEMOLITION:**

- WALLS TO BE DEMOLISHED AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- WALL PANEL, OVER MOLDING, PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN
- SUMPINGS, INSULATION, OR VTY. SOUND DEADENING
- DUCTWORK, PIPING, WIRING, CABLES, ETC. ABOVE CEILING
- ANY STRUCTURAL FLOORING SYSTEMS OR PARTITIONS OR CONSTRUCTION WITHIN DEMOLITION AREA WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
- DO NOT REMOVE EXISTING AT FLOORING



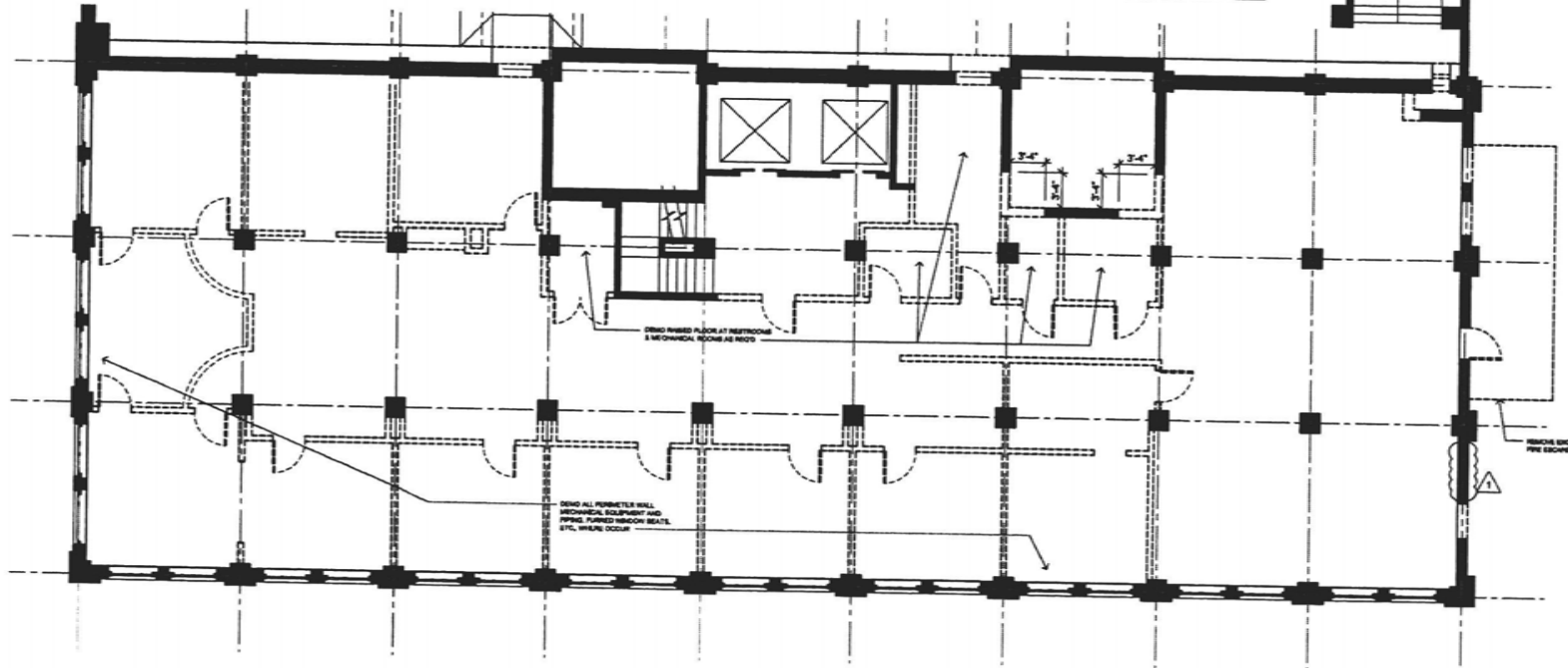
**5TH FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT STRUCTURES THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT STRUCTURES DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHING OF OPENINGS IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKMAN SHOWN IN THIS TRUCK.
5. REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THE PROJECT. UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINS THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ASBESTOS SURVEY AND TYPHOGRAPH REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DIMENSIONS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS INDICATED TO COMPLETE SCOPE OF NEW CONSTRUCTION INCLUDED IN THESE DOCUMENTS, WHETHER OR NOT SPECIFICALLY INDICATED HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THE PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VIEW IN OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. SPECIFICALLY, EXISTING WOOD FLOORING AT FLOOR LEVELS 1 THRU 11 ARE TO REMAIN DO NOT DAMAGE FLOORING DURING DEMOLITION.

**12. ITEMS TO BE REMOVED AT DEMOLITION:**

- WALLS INDICATED TO BE DEMOLISHED
- UNASSIGNED AND UNASSIGNED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
- WALL SHALE, CHIFF, MOLDING, PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN
- UNASSIGNED ACCESSORIES ON THE EXISTING CEILING
- UNASSIGNED PIPING, WIRES, CABLES, ETC. ABOVE CEILING
- ANY MECHANICAL AND PLUMBING RELATED MATERIALS OR CONSTRUCTION WITHIN DEMOLITION AREAS WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS ARE SHOWN HERE FOR DEMOLITION AT FLOOR



**LEGEND**

|  |                       |  |                           |
|--|-----------------------|--|---------------------------|
|  | EXIST. WALL TO REMAIN |  | EXIST. WALL TO BE REMOVED |
|  | EXIST. DOOR TO REMAIN |  | EXIST. DOOR TO BE REMOVED |

**6TH FLOOR DEMO PLAN**

DATE: 26 OCT 2009  
 CITY: WICHITA, KS  
 15 OCT 2009  
 14 OCT 2009  
 17 JUL 2009  
 PRECISE SCALE 1/4" = 1'-0"  
 REVISED 22 MAY 2009  
 PRECISE 15 APR 2009

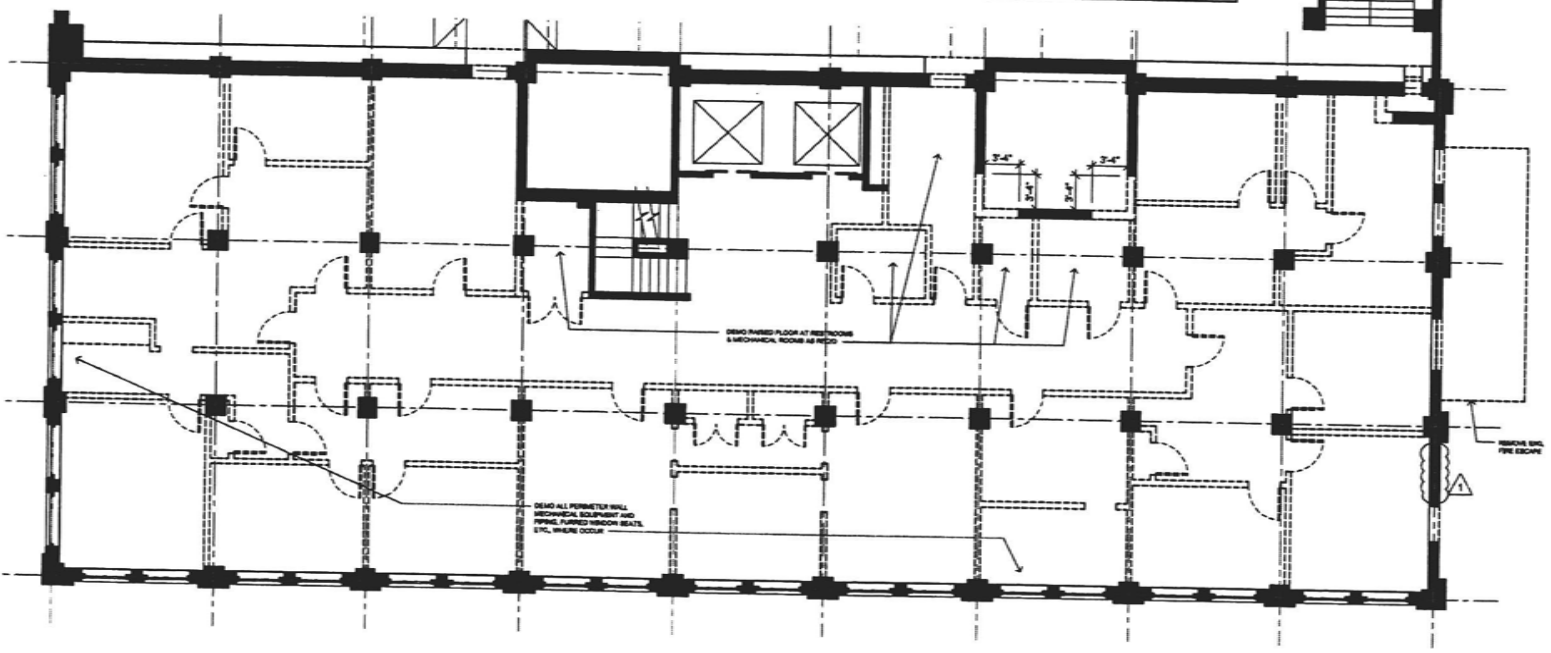
SIXTH FLOOR DEMO PLAN

**D1.6**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DEBRIS TO REMOVAL WITHIN THE CITY LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PACKING AND REPAIR OF DEBRIS TO ADJACENT AREAS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OBTAINS AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELATANT TO DEMOLITION AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHING OF OPENINGS IN EXISTING WALLS / FLOORS / CEILING / ROOF SHALL BE DONE BY WORKMAN SHOWN IN THIS TRUCK.
5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL SUBMITTALS PROTECTED WITH A SHIMMED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THE PROJECT UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND MARBLE FLOORING CONTAINING ASBESTOS. A PORTION OF THE REMOVING CONTAINMENT MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ADJUSTMENT DRAWINGS AND TRACKING REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF APP. OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY BY OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. SUPPORTIVE EXISTING WOOD FLOORING AT FLOOR LEVELS & TRIM IS ARE TO REMAIN SO NOT DAMAGE FLOORING SURFACE BELOWS.

**ITEMS TO BE REMOVED AT DEMOLITION:**  
 SHALL BE PROTECTED TO BE REMOVED AT DEMOLITION AND ASSOCIATED SCORE, WIRING, ELECTRICAL, PLUMBING, ETC.  
 - WALL PANEL, GYPSUM BOARD, PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN  
 - BURNISHED ALUMINUM, OR STEEL SCORING CHANNELS  
 - DUCTWORK, PIPING, WELDS, CABLES, ETC. ABOVE CEILING  
 - ANY MISCELLANEOUS PLUMBING FITTINGS HANGING OR CONSTRUCTION WITHIN OCCUPATION AREA  
 - WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS  
 - NO HOLEY ALLOW FOR DEMOLITION AT FLOORING



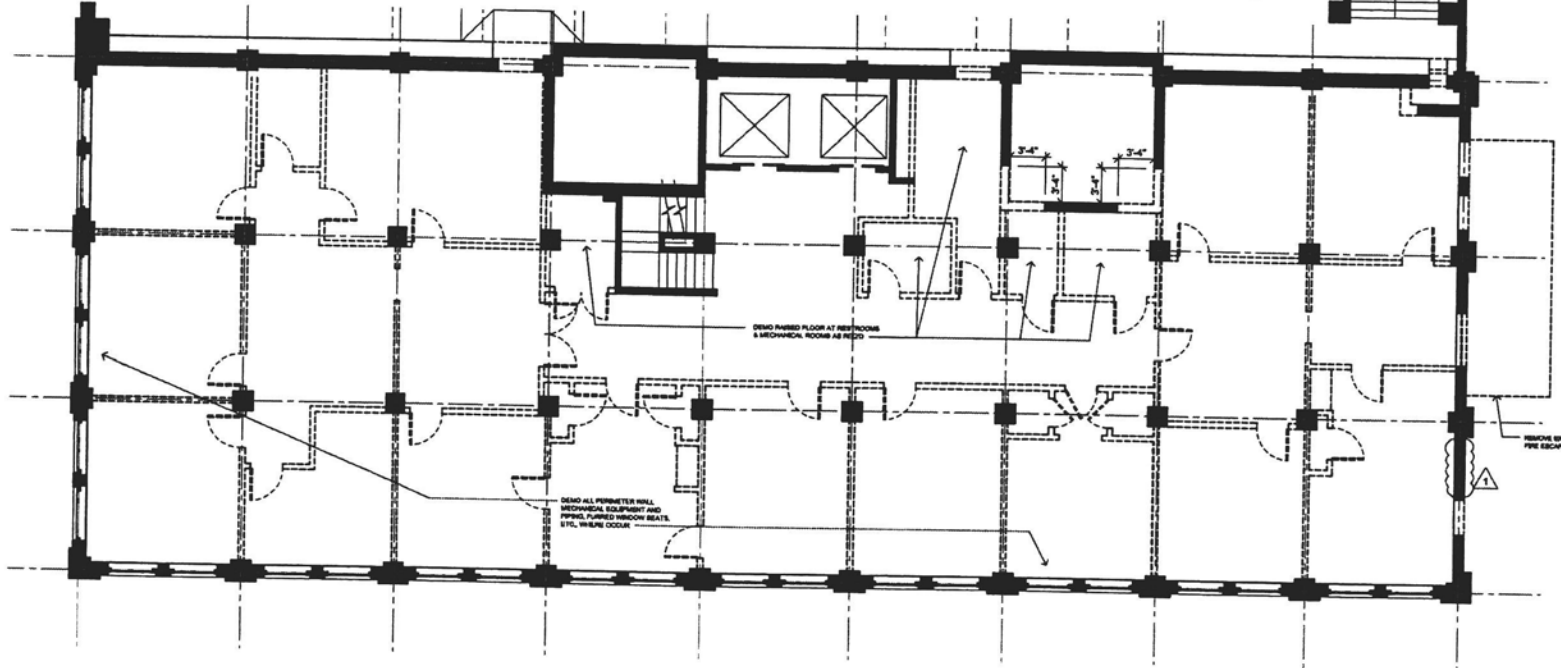
| LEGEND |                              |
|--------|------------------------------|
|        | EXIST. WALL TO REMAIN        |
|        | EXIST. WALL TO BE DEMOLISHED |
|        | EXIST. WALL TO BE REFINISHED |

**7TH FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH ORIGINATES AT THE CONSTRUCTION SITE.
3. ORIGINAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELATIVE TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PORTIONS OF CRACKS IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKERS EMPLOYED BY THAT TRADE.
5. REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES EXCEPT WOOD FLOORING AND WAREHOUSE FLOORING CONTAINING ARSENIC. A PORTION OF THE ARSENIC CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO MECHANICAL DRAWINGS AND TURNKEY REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO BE TRUING EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY AN OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. REPAIR/REPLACE EXISTING WOOD FLOORING AT FLOOR LEVELS 1 THRU 11 ARE TO REMAIN SO NOT DAMAGE FLOORS SUPER REBUILDS.

- ALL ITEMS TO BE REMOVED AT EACH FLOOR:**
- WALLS INDICATED TO BE REMOVED ON DRAWINGS AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, OTHER MOLDING, PANELING, WALL COVERSING, ETC. AT WALLS TO REMAIN
  - BUSINESS ADVERTISING OR ANY SOURCE CEILING
  - DUCTWORK, PIPING, WIRELS, CHUTES, ETC. ABOVE CEILING
  - ANY UNDESIRABLE PLUMBING FIXTURES OR CONSTRUCTION WITHIN DEMOLITION AREAS WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - NO SHEET METAL FOR DEMOLITION AT FLOORS



**LEGEND**

|  |                      |  |                          |
|--|----------------------|--|--------------------------|
|  | EXIS. WALL TO REMAIN |  | EXIS. WALL TO BE REMOVED |
|  | EXIS. DOOR TO REMAIN |  | EXIS. DOOR TO BE REMOVED |

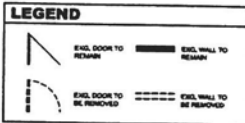
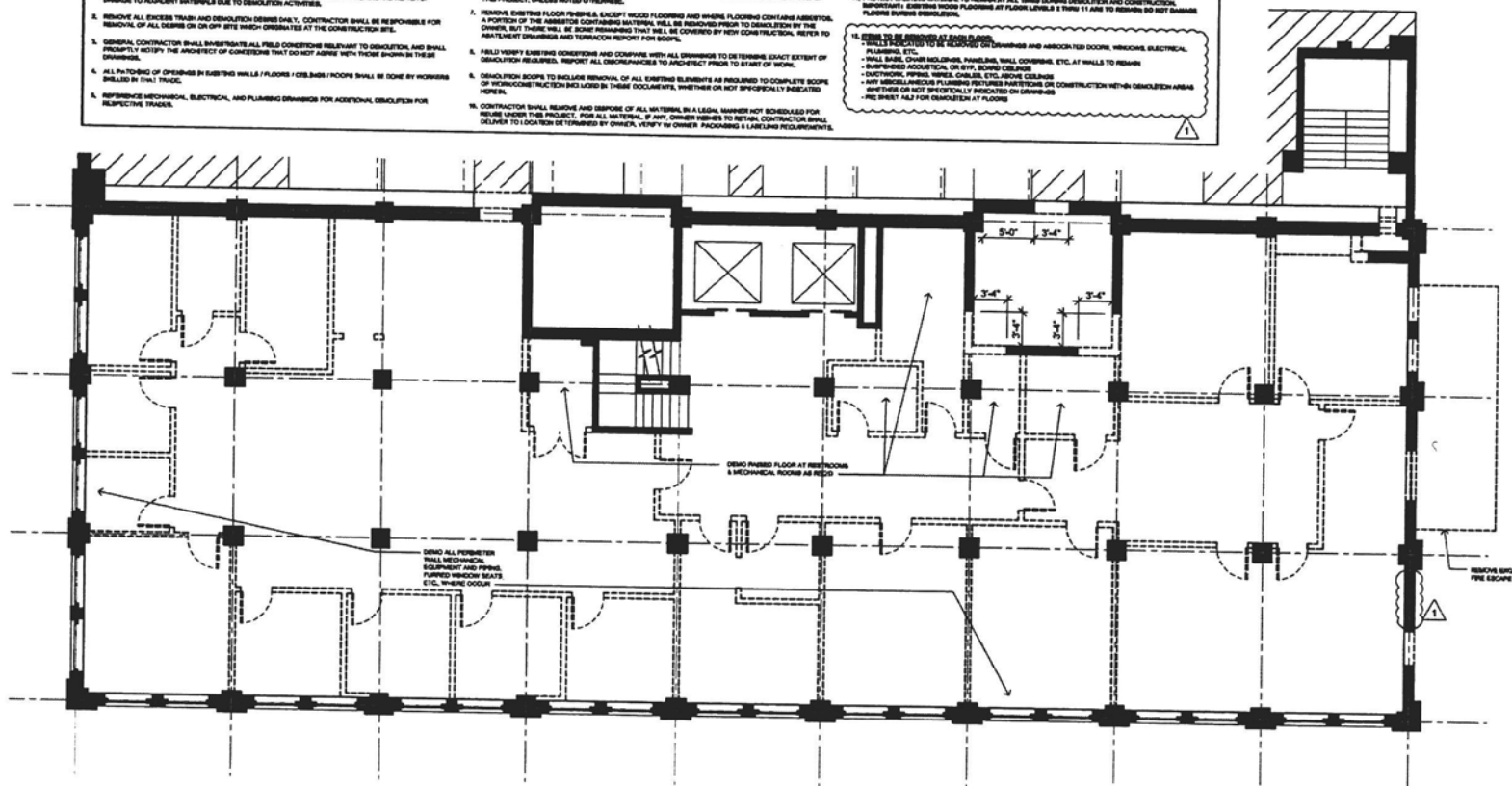
**8TH FLOOR DEMO PLAN**

CITY/COUNTY REVIEWERS  
 26 OCT 2010  
 CITY ENGINEER  
 16 OCT 2010  
 H.O. BRUE  
 27 JUL 2010  
 PROJECT ENGINEER  
 27 JULY 2010  
 PREPARED  
 25 MAY 2010  
 PROJECT NO.  
 10-074-2010

EIGHTH FLOOR DEMO PLAN

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURRED AT THE CONSTRUCTION SITE.
3. GENERAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT APPEAR ON THESE DRAWINGS.
4. ALL PORTIONS OF FINISHES IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKING INSIDE IN THAT TRADE.
5. REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ASBESTOS REMOVAL AND TURNBACK REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND CORROBORATE WITH ALL OWNERS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE HEREIN.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY AN OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION, ESPECIALLY EXISTING WOOD FLOORING AT FLOORLEVELS & THOSE 11 ARE TO REMAIN SO NOT DAMAGE FLOORING SURFACE PRESERVE.
12. ITEMS TO BE REMOVED AT EACH FLOOR:
  - WALLS RELATED TO BE REMOVED ON DRAWINGS AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, CHAIR MOLDS, PANELING, WALL CORNICES, ETC. AT WALLS TO REMAIN
  - FINISHES ADJACENT TO ANY REMOVED CEILING
  - DUCTWORK, PIPING, WIRELS, CHASES, ETC. ABOVE CEILING
  - HAVE MISCELLANEOUS PLUMBING FITTINGS OR CONSTRUCTION WITHIN DEMOLITION AREA WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - SEE SHEET 11.1 FOR DEMOLITION AT FLOORS

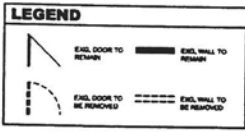
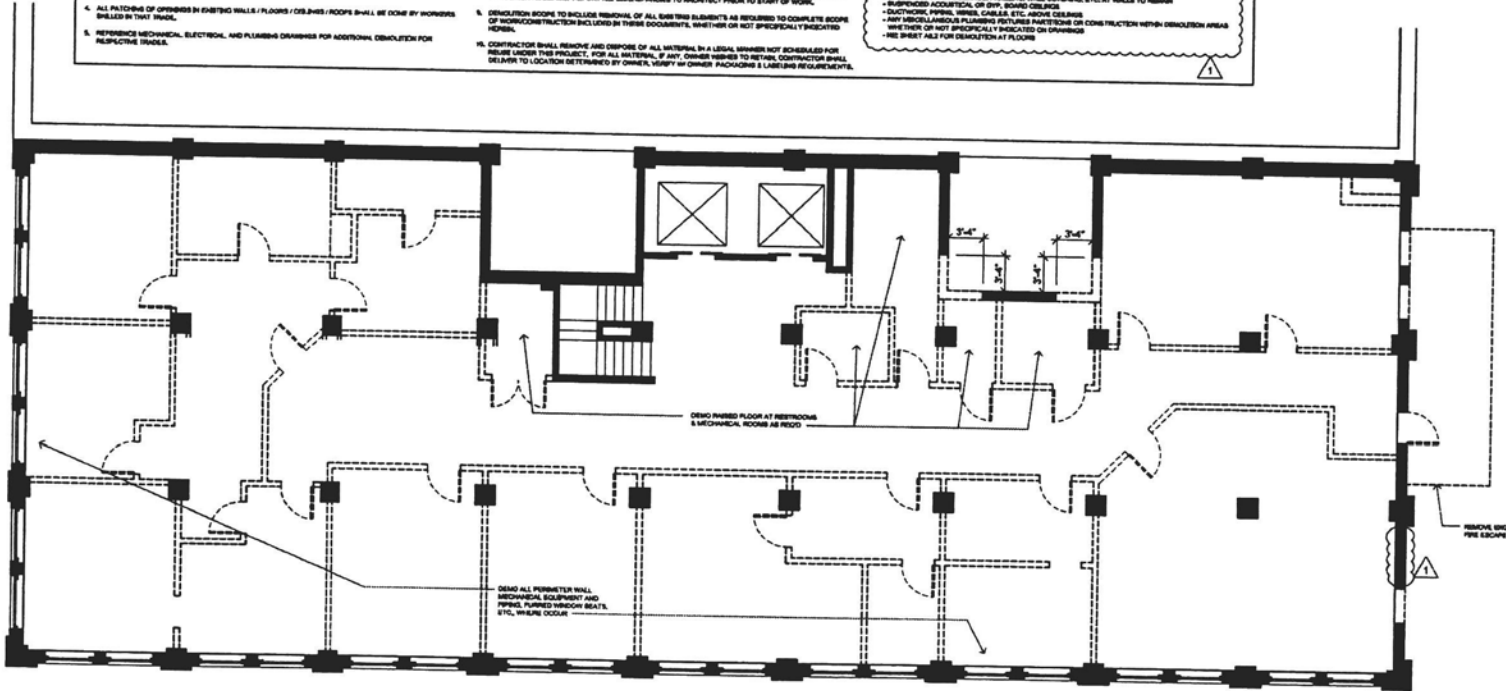


**9TH FLOOR DEMO PLAN**

**DEMOLITION GENERAL NOTES**

1. DEMOLITION SHALL BE DONE IN SUCH A MANNER TO REDUCE THE AMOUNT OF DAMAGE TO ADJACENT MATERIALS THAT REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIR OF DAMAGE TO ADJACENT MATERIALS DUE TO DEMOLITION ACTIVITIES.
2. REMOVE ALL EXCESS TRASH AND DEMOLITION DEBRIS DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS ON OR OFF SITE WHICH OCCURS AT THE CONSTRUCTION SITE.
3. ORIGINAL CONTRACTOR SHALL INVESTIGATE ALL FIELD CONDITIONS RELEVANT TO DEMOLITION, AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF CONDITIONS THAT DO NOT AGREE WITH THOSE SHOWN IN THESE DRAWINGS.
4. ALL PATCHES OF OPENINGS IN EXISTING WALLS / FLOORS / CEILING / ROOFS SHALL BE DONE BY WORKMEN SKILLED IN THAT TRADE.
5. REFERENCE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION FOR RESPECTIVE TRADES.
6. ALL ELEMENTS INDICATED WITH A DASHED LINE ARE TO BE DEMOLISHED AND DISPOSED OF AS A PART OF THIS PROJECT, UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING FLOOR FINISHES, EXCEPT WOOD FLOORING AND WHERE FLOORING CONTAINS ASBESTOS. A PORTION OF THE ASBESTOS CONTAINING MATERIAL WILL BE REMOVED PRIOR TO DEMOLITION BY THE OWNER, BUT THERE WILL BE SOME REMAINING THAT WILL BE COVERED BY NEW CONSTRUCTION. REFER TO ANASTASIOS DRAWINGS AND TRIVEDIAN REPORT FOR SCOPE.
8. FIELD VERIFY EXISTING CONDITIONS AND COMPARE WITH ALL DRAWINGS TO DETERMINE EXACT EXTENT OF DEMOLITION REQUIRED. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK.
9. DEMOLITION SCOPE TO INCLUDE REMOVAL OF ALL EXISTING ELEMENTS AS REQUIRED TO COMPLETE SCOPE OF WORK.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MATERIAL IN A LEGAL MANNER NOT SCHEDULED FOR REUSE UNDER THIS PROJECT. FOR ALL MATERIAL, IF ANY, OWNER WISHES TO RETAIN, CONTRACTOR SHALL DELIVER TO LOCATION DETERMINED BY OWNER, VERIFY BY OWNER PACKAGING & LABELING REQUIREMENTS.
11. PROTECT EXISTING MATERIAL TO REMAIN AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. ESPECIALLY EXISTING WOOD FLOORING AT FLOOR LEVELS IF THEY ARE TO REMAIN DO NOT DAMAGE FLOORING DURING DEMOLITION.

- 12. ITEMS TO BE REMOVED OR REFINISHED:**
- WALLS TO BE REMOVED OR REFINISHED AND ASSOCIATED DOORS, WINDOWS, ELECTRICAL, PLUMBING, ETC.
  - WALL BASE, CHAIR MOLDINGS, PANELING, WALL COVERING, ETC. AT WALLS TO REMAIN
  - SUBMERGED ACROUSTICAL OR GYM BOARD CEILING
  - DUCTWORK, PIPING, WIRING, CABLES, ETC. ABOVE CEILING
  - ANY ARCHITECTURAL PLUMBING RETURN MANIFOLDS OR CONSTRUCTION WITH DEMOLITION AREAS WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS
  - SEE SHEET ALL FOR DEMOLITION AT FLOOR



**10TH FLOOR DEMO PLAN**



UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES  
EVALUATION/RETURN SHEET

REQUESTED ACTION: NOMINATION

PROPERTY Bitting Building  
NAME:

MULTIPLE  
NAME:

STATE & COUNTY: KANSAS, Sedgwick

DATE RECEIVED: 1/13/12                      DATE OF PENDING LIST: 2/06/12  
DATE OF 16TH DAY: 2/21/12                      DATE OF 45TH DAY: 2/28/12  
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 12000046

REASONS FOR REVIEW:

APPEAL: N    DATA PROBLEM: N    LANDSCAPE: N    LESS THAN 50 YEARS: N  
OTHER: N    PDIL: N    PERIOD: N    PROGRAM UNAPPROVED: N  
REQUEST: N    SAMPLE: N    SLR DRAFT: N    NATIONAL: N

COMMENT WAIVER: N

ACCEPT     RETURN     REJECT    2-28-12 DATE

ABSTRACT/SUMMARY COMMENTS:

**Entered in  
The National Register  
of  
Historic Places**

RECOM./CRITERIA \_\_\_\_\_

REVIEWER \_\_\_\_\_ DISCIPLINE \_\_\_\_\_

TELEPHONE \_\_\_\_\_ DATE \_\_\_\_\_

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.





PARKING GARAGE

NO LEFT TURN

Market

Douglas



OIL TRADE  
CENTER

FOR LEASE  
RETAIL SPACE  
200-1000

FOR LEASE  
RETAIL SPACE  
200-1000

771 7100





ERS  
UI





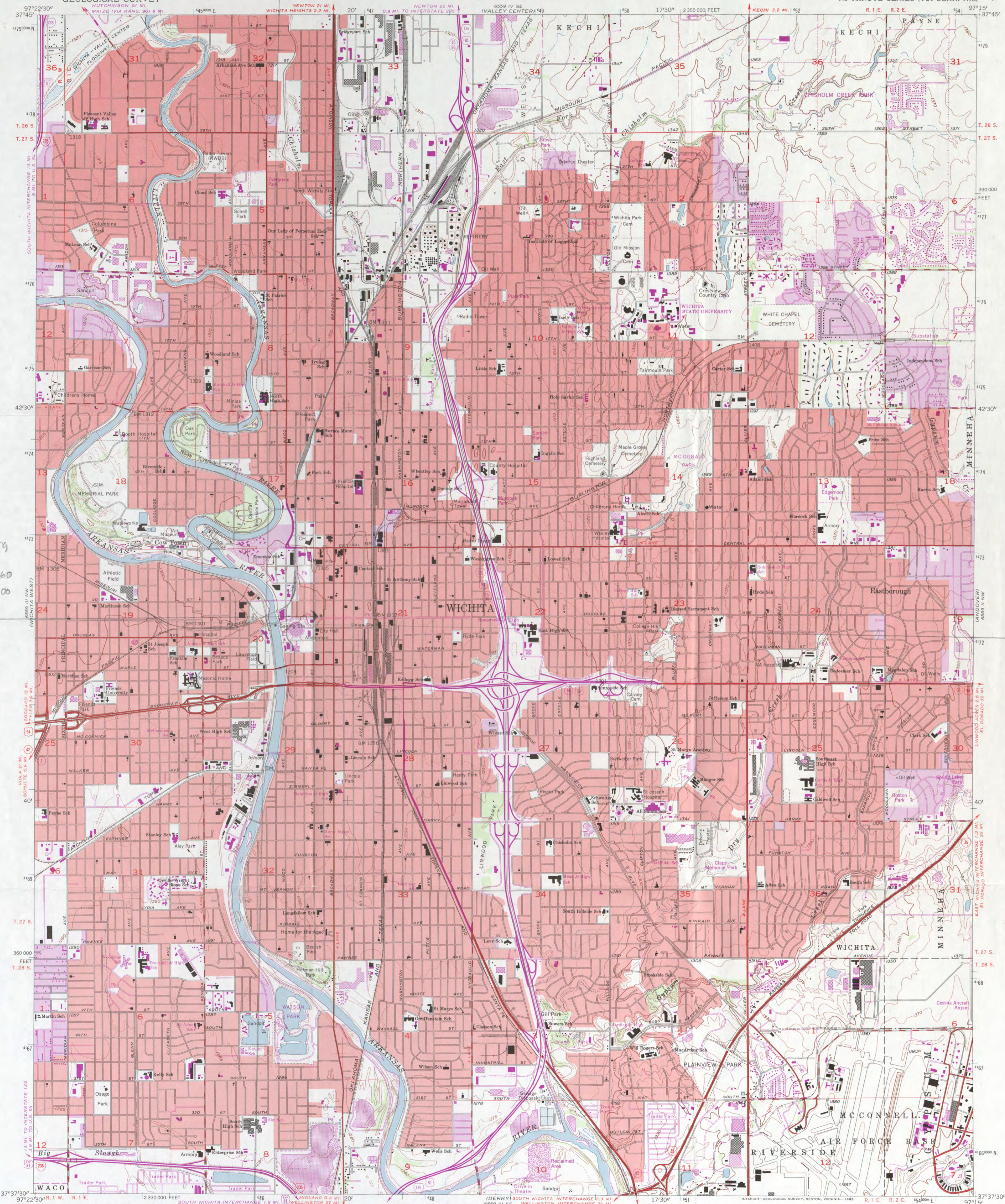






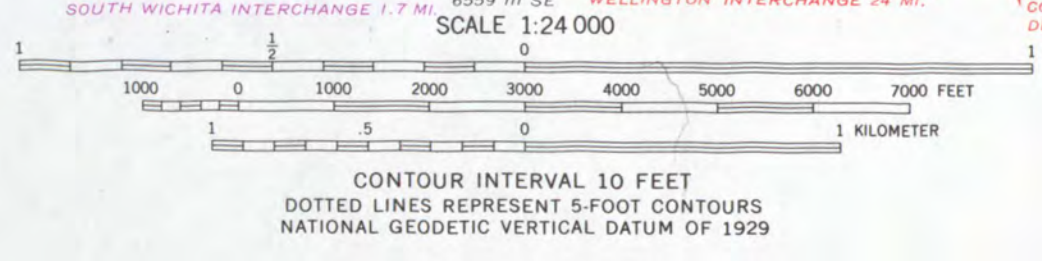
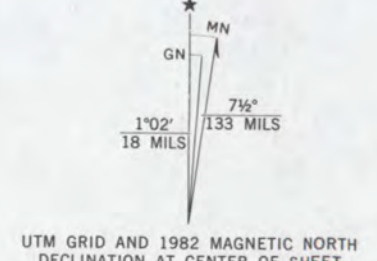






Bitling Building  
Zone 4  
Easting 04260  
Northing 412100

Mapped, edited, and published by the Geological Survey in cooperation with State of Kansas agencies  
Control by USGS and USC&GS  
Culture and drainage in part compiled from aerial photographs taken 1954. Topography by planetable surveys 1940-1941  
Revised 1961. In cooperation with the City of Wichita  
Polyconic projection. 1927 North American datum  
10,000-foot grid based on Kansas coordinate system, south zone  
1000-meter Universal Transverse Mercator grid ticks, zone 14, shown in blue  
Red tint indicates areas in which only national landmarks are shown  
To place on the predicted North American Datum 1983  
move the projection lines 27 meters east as shown by  
dashed corner ticks  
There may be private inholdings within the boundaries of  
the National or State reservations shown on this map



ROAD CLASSIFICATION

|                  |                 |
|------------------|-----------------|
| Heavy-duty       | Light-duty      |
| Medium-duty      | Unimproved dirt |
| Interstate Route | U.S. Route      |
|                  | State Route     |

THIS MAP COMPLEYS WITH NATIONAL MAP STANDARDS  
FOR SALE BY U. S. GEOLOGICAL SURVEY, DENVER, COLORADO 80225, OR RESTON, VIRGINIA 22092  
AND STATE GEOLOGICAL SURVEY, LAWRENCE, KANSAS 66044  
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

Revisions shown in purple compiled from aerial  
photographs taken 1980 and other sources  
This information not field checked. Map edited 1982  
Purple tint indicates extension of urban area

WICHITA EAST, KANS.  
N3737.5-W9715.7.5  
1961  
PHOTOREVISED 1982  
DMA 6559 III NE—SERIES 5V87





6425 SW 6<sup>th</sup> Avenue  
Topeka, KS 66615



phone: 785-272-8681  
fax: 785-272-8682  
cultural\_resources@kshs.org

Kansas Historical Society

RECEIVED 2280

Sam Brownback, Governor  
Jennie Chinn, Executive Director

JAN 13 2012

NAT. REGISTER OF HISTORIC PLACES  
NATIONAL PARK SERVICE

January 6, 2012

Carol Shull  
National Register of Historic Places  
National Park Service  
1201 Eye Street, N. W.  
8<sup>th</sup> Floor (MS 2280)  
Washington, DC 20005

Dear Ms. Shull:

Please find enclosed the following National Register documents:

- Bitting Building – Wichita, Sedgwick County (new nomination)
- Lake of the Forest – Wyandotte County (nomination amendment – additional information)
- I.O.O.F. Lodge – Alton, Osborne County (request for removal due to building collapse)

Please do not hesitate to contact me if you have any questions. I may be reached at 785-272-8681 ext. 216 or smartin@kshs.org.

Sincerely yours,

Sarah J. Martin  
National Register Coordinator

Enclosures