

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number _____ Page _____

SUPPLEMENTARY LISTING RECORD

NRIS Reference Number: 88000384 Date Listed: 4/18/88

Victoria Place Historic District Maricopa AZ
Property Name County State

Multiple Name

This property is listed in the National Register of Historic Places in accordance with the attached nomination documentation subject to the following exceptions, exclusions, or amendments, notwithstanding the National Park Service certification included in the nomination documentation.

Linda McClelland
Signature of the Keeper

4/18/88
Date of Action

=====
Amended Items in Nomination:

The official resource count provided by Roger Brevoort of the AZ SHPO office during a 4/14/88 telephone conversation is 28 contributing buildings and two non-contributing buildings. The garages and sheds had not recieved sufficient evaluation to allow them to be classified. In order to establish this official count, only the primary buildings listed on the sketch map should be counted.

DISTRIBUTION:

- National Register property file
- Nominating Authority (without nomination attachment)

United States Department of the Interior
National Park Service

RECEIVED

MAR 07 1988

National Register of Historic Places
Registration Form

NATIONAL
REGISTER

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1. Name of Property

historic name Victoria Place Historic District
other names/site number N/A

2. Location

street & number 700 Block, East McKinley Street N/A not for publication
city, town Phoenix N/A vicinity
state Arizona code AZ county Maricopa code 013 zip code 85006

3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
<input checked="" type="checkbox"/> private	<input type="checkbox"/> building(s)	Contributing	Noncontributing
<input type="checkbox"/> public-local	<input checked="" type="checkbox"/> district	<u>28</u>	<u>2</u> buildings
<input type="checkbox"/> public-State	<input type="checkbox"/> site	_____	_____ sites
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	_____	_____ structures
	<input type="checkbox"/> object	<u>28</u>	<u>2</u> Total
Name of related multiple property listing: <u>N/A</u>		Number of contributing resources previously listed in the National Register <u>0</u>	

4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.

Shereen Berne 2/29/88
Signature of certifying official Date
Arizona State Historic Preservation Officer
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.

Signature of commenting or other official Date

State or Federal agency and bureau

5. National Park Service Certification

I, hereby, certify that this property is:

entered in the National Register.
 See continuation sheet.

determined eligible for the National Register. See continuation sheet.

determined not eligible for the National Register.

removed from the National Register.

other, (explain:)

Sinda McClelland 4/18/88

Signature of the Keeper Date of Action

6. Function or Use

Historic Functions (enter categories from instructions)

Domestic - Single Dwelling

Domestic - Multiple Dwelling

Domestic - Secondary Building

Current Functions (enter categories from instructions)

Domestic - Single Dwelling

Domestic - Multiple Dwelling

Domestic - Secondary Building

Vacant - Not in Use

7. Description

Architectural Classification

(enter categories from instructions)

Bungalow/Craftsman

Spanish Colonial Revival

Tudor Revival

Materials (enter categories from instructions)

foundation Concrete

walls Brick, stucco

roof Asphalt, wood shingle

other Spanish tile

Describe present and historic physical appearance.

SUMMARY

The Victoria Place Historic District includes 30 buildings, which comprise a streetscape of residential character with qualities which unify it as a street with its own identity. The size and configuration of the lots and the streets, as well as the size, spacing, and detailing of the houses reinforce this unity. Two developmental periods are evident on the street, which include examples of the residential architectural styles popular in Phoenix in the 1910s and 1920s. The condition of the properties is fair, despite some structural decay; integrity is high, despite minor cosmetic alterations. 28 of the 30 properties in the district contribute to its character.

PHYSICAL DESCRIPTION

Victoria Place includes properties on both sides of the 700 block of East McKinley Street, a linear east-west city street, one block long. The majority of dwellings in the district (26) front on McKinley Street. Two houses at the west end front on Seventh Street, and at the east end two identical and symmetrically placed duplexes, one on each side of McKinley Street, each face both Ninth and McKinley Streets. A total of 25 single family residences and 5 duplexes exist in the district. The district has a dense residential character unusual in Phoenix's older neighborhoods.

The houses are generally of similar size and spacing with the exception of two adjacent duplexes at mid block, each occupying a lot and a half, and the two duplexes at the east end. Nevertheless, these duplexes do not appear out of place on the street since their scale and spacing is only slightly different from the other properties; they actually tend to enliven the streetscape by relieving the monotony which would otherwise result, and by forming an effective terminus at the east end. The small 50 x 80 lots fronting on McKinley Street force the houses to have a uniform and unusually shallow setback from the front property line of about 25 feet. The street, as well, is unusually narrow at 25 feet wide. These characteristics establish the dense character of the neighborhood.

See continuation sheet

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Two clearly defined developmental and architectural periods are readily apparent on the street. The west end of the street, bordered on the east by VP-2-7 (727 E. McKinley) and VP-1-8 (734 E. McKinley), developed first, between 1913 and 1918. This section is made up entirely of houses in the Bungalow style. The houses of this period are further distinguished by their lack of an integral carport or porte-cochere. The remainder of the properties to the east were built between 1920 and 1930. This section is dominated by houses of the Spanish Colonial Revival style, although about one third of these houses are of the Bungalow Style. One house, the last one built in the subdivision, is of the Tudor Revival style (VP-2-8, 733-735 E. McKinley).

The original historic streetscape of 1913 was quite different from that which we see today. The street remained unpaved and lined with a row of ash trees down each side until about 1920. At this time, the street trees were removed and the present curbs and street paving were installed. Other changes from historic conditions include landscaping changes, non-historic paint schemes, and minor building modifications.

CONDITION

The residences are in generally fair condition. The only house with evident structural problems is VP-2-5 (721 E. McKinley), which is also the only dwelling on the district built of wood frame rather than brick. Other houses have overgrown plantings and are otherwise neglected, but are without obvious structural defects. Alterations of the properties include many minor door and window modifications, addition of security features, and some porch enclosures and additions. Several properties are undergoing intermittent restoration and repair by their owners.

PHYSICAL CONTEXT

The district is bounded on three sides by residential neighborhoods of a similar age as Victoria Place. The fourth side, on the west, was historically residential as well, but as Seventh Street has become a major thoroughfare this area has been rapidly changing to more and more commercial uses. At the northeast corner of Seventh Street and McKinley, on the original Lots 1 and 2, Block 1 of Victoria Place, is a large one story warehouse building. This land was originally developed with houses, but in 1929 the houses were removed and this building, then Saunders Grocery, was built. Since that time, the building has lost all traces of

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historic character. The visual terminus at the east end of the street is a large church building with a tower about 50 feet tall at the northeast corner of Ninth and McKinley Streets. This structure dominates the view to the east from the district.

In contrast to Victoria Place, the surrounding residential neighborhoods are not as visually cohesive. The original patterns of development were not as orderly both in the physical development and in its timing. These properties have had heavier alterations and more additions than Victoria Place. They have also been extensively redeveloped in recent years with intrusive residential rental units. Many properties have been demolished, interrupting the historic continuity. The characters of these areas are much less unified and have less overall integrity than Victoria Place, due to a more varied range of scales, spacings, setbacks, masses, and ages, as well as much greater differences in the individual character of the properties. Victoria Place is a district visually distinct within the adjacent streets due to its continuity of development.

CONTRIBUTING PROPERTIES

28 of the 30 properties within the Victoria Place District contribute to the character of the neighborhood. The attributes which contributing properties must possess include proper massing and scale, similar placement of buildings on the lot, and the integrity and continuity of the individual style and character of each property. Almost all properties retain integrity in these areas.

The alterations and additions to the properties such as door and window alterations and minor additions do not significantly alter the historic character of the buildings, since the mass and shape of each house and the patterns of windows and porches, as well as much of the architectural detailing, are retained.

Two properties, VP-2-1 (723 N. 7th St.) and VP-2-5 (721 E. McKinley), are considered noncontributors. VP-2-1 has had an intrusive screen wall added to the facade which interrupts the historic character. VP-2-5 has been sheathed in asbestos siding and has also lost much of its historic character.

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CONTRIBUTOR LISTING

INV. NO.	ADDRESS
VP-1-2	710 E. McKinley Street
VP-1-3	714 E. McKinley Street
VP-1-4	716 E. McKinley Street
VP-1-5	720 E. McKinley Street
VP-1-6	726 E. McKinley Street
VP-1-7	730 E. McKinley Street
VP-1-8	734 E. McKinley Street
VP-1-9	738 E. McKinley Street
VP-1-10	742-744 E. McKinley Street
VP-1-12	748-750 E. McKinley Street
VP-1-13	754 E. McKinley Street
VP-1-14	758 E. McKinley Street
VP-1-15	760 E. McKinley Street
VP-1-16	764 E. McKinley Street/802 N. 9th Street
VP-2-2	717 N. 7th Street
VP-2-3	711 E. McKinley Street
VP-2-4	717 E. McKinley Street
VP-2-6	725 E. McKinley Street
VP-2-7	727 E. McKinley Street
VP-2-8	733/735 E. McKinley Street
VP-2-9	737 E. McKinley Street
VP-2-10	739 E. McKinley Street
VP-2-11	745 E. McKinley Street
VP-2-12	747 E. McKinley Street
VP-2-13	755 E. McKinley Street
VP-2-14	757 E. McKinley Street
VP-2-15	759 E. McKinley Street
VP-2-16	763 E. McKinley Street

NONCONTRIBUTOR LISTING

INV. NO.	ADDRESS
VP-2-1	723 N. 7th Street
VP-2-5	721 E. McKinley Street

8. Statement of Significance

Certifying official has considered the significance of this property in relation to other properties:

nationally statewide locally

Applicable National Register Criteria A B C D

Criteria Considerations (Exceptions) A B C D E F G

Areas of Significance (enter categories from instructions)
Community Planning and Development
Architecture

Period of Significance
1911-1930
1913-1930

Significant Dates
N/A

Cultural Affiliation
N/A

Significant Person
N/A

Architect/Builder
Valley Construction & Realty Co.

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

SUMMARY

The middle class neighborhoods created in Phoenix during the 1910s and 1920s are well represented in Victoria Place. This neighborhood is quite different in character from its immediate surroundings and other nearby Phoenix neighborhoods. Its development resulted from the typical patterns of development of the early growth of Phoenix. Its period of significance begins with its subdivision in 1911 and continues until development was completed in 1930. The developmental period of the district clearly reflects the two stages of rapid development both before and after World War I. The architectural styles evident in these two stages make the neighborhood additionally significant in its illustration of the rapid shift in popular taste during these years.

Victoria Place is eligible for the National Register under Criterion A for its relationship to the real estate development process in early Phoenix and under Criterion C as a substantially intact streetscape of houses of this period in Phoenix. The significance of Victoria Place may be viewed in two local historic contexts: residential speculation and development in Phoenix from 1911 to 1930; and residential architecture in Phoenix from 1913 to 1930.

HISTORICAL CONTEXTS

Residential Speculation and Development in Phoenix, 1911-1930

The subdivision and speculation of real estate was a major economic activity in early Phoenix. In the rapidly growing city of the 1900s and 1910s there was much profit to be made from the purchase, holding, resale, subdivision, and parceling out of land. Agricultural land was

See continuation sheet

9. Major Bibliographical References

Lentz, Marie Gass. Personal Interview, 21 March 1987.
The Arizona Republican, 7 October to 21 December, 1913.
Phoenix, Arizona City Directories, 1911-1930.
Maricopa County Assessor's Records.

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

See continuation sheet

Primary location of additional data:

- State historic preservation office
- Other State agency
- Federal agency
- Local government
- University
- Other

Specify repository: _____

10. Geographical Data

Acreage of property 3.8

UTM References

A

1	2
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4	10	1	2	3	5
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3	7	10	2	2	2	5
---	---	----	---	---	---	---

Zone Easting Northing

C

--	--	--	--	--	--	--	--	--	--	--	--

B

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Zone Easting Northing

D

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See continuation sheet

Verbal Boundary Description

Identical to the original boundary of the Victoria Place Subdivision, as recorded at the Maricopa County Recorder's Office (Book 2 of Maps, Page 9), excepting the west 94 feet of Lots 1 and 2, Block 1, and that portion of McKinley Street adjacent to that parcel, as shown on the attached map.

See continuation sheet

Boundary Justification

The boundaries as described above include all of the original subdivision, excepting the parcel at the northwest corner of the subdivision, which has been excluded because the historic grocery at this location, built in 1929, has undergone major alterations and no longer contributes to the character of the neighborhood.

See continuation sheet

11. Form Prepared By

name/title Robert G. Graham

organization N/A date November, 1987

street & number P. O. Box 25203 telephone (602) 254-8343

city or town Phoenix state Arizona zip code 85002

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bought and held, and resold as the city grew toward it. When an area became easily accessible to the business district, through walking, streetcar lines, and later, automobiles, the area could be subdivided and replatted into denser residential lots.

Residential land was sold both to speculative builders and directly to homeowners. The key selling points for residential lots were location, size, and building restrictions. In the era before the automobile, the most desirable properties clustered around the central business district, or close to the streetcar lines that tied them to the downtown area. In neighborhoods catering to wealthier clients, deed restrictions required houses of a certain cost to be built, thus ensuring a minimum quality for the residences in the area. Subdivisions marketed toward speculative builders and landlords commonly had no such restrictions.

The typical layout of a residential subdivision in Phoenix in the years between 1900 and 1930 was quite simple. Most residential lots in Phoenix had a 50 foot frontage, while normal lot depths varied from 120 to 200 feet. Lots in the immediate area of Victoria Place averaged about 135 feet in depth. The streets, as a rule, were laid out in a rectilinear grid system oriented to the cardinal points.

The development of the Victoria Place Subdivision followed the natural growth patterns of the City of Phoenix from its origins in 1870, when the Phoenix Townsite was platted where downtown Phoenix is today. The townsite was the nucleus of a community formed as a result of the restoration of an ancient Indian canal system, which made farming possible in this arid Sonoran Desert region. In the years that followed, virtually all the lands surrounding the townsite were homesteaded by pioneers to the area. One of these pioneers, John T. Dennis, chose to homestead the quarter section immediately northeast of the original townsite. A small part of this homestead would one day become Victoria Place.

As Phoenix grew around its downtown core, new residential subdivisions were added to the city. The quarter-section of the Dennis Addition was among the first additions to the City of Phoenix, having been platted in 1883 and annexed in 1884. The Dennis homestead was subdivided into lots of various sizes: 1-acre, 2-acre, 4-acre, and 5-acre parcels were included. The Dennis Addition was originally subdivided before there was pressure for dense residential development in the immediate area. The large size of the lots was such that a more rural lifestyle was possible than in the center of the city. A plentiful supply of water was close at hand because the Salt River Valley Canal cut across the addition. The completion of the Brill streetcar line through the addition in 1895 added to the desirability of owning a "suburban" residential lot in the Dennis Addition.

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Although Phoenix's canal system made it possible to farm the desert, the cycle of flood and drought slowed the city's development until 1911, just before statehood, when the completion of Roosevelt Dam ensured a constant and steady water supply to the entire Salt River Valley. A building boom followed, as more subdivisions were added to the City. During this period before statehood in 1912, various parts of the Dennis Addition were being replatted for a denser residential use. The large multi-acre parcels were subdivided into lots of a size comfortable for houses, typically 50 x 135.

Two of the 2-acre lots of the original Dennis Addition, Lots 2 and 9, Block 7, were owned by F. X. O'Brien and Eric Hanson. These lots were each 200 x 875, and were positioned back-to-back, with similar properties to the north and south. In 1911 Hanson and O'Brien chose to subdivide their land for residential lots. Hanson and O'Brien seem to have been forced by circumstances into subdividing their land in an unusual configuration. The adjacent neighboring properties developed first, leaving these two lots, each with frontage on a street on the short, 200-foot ends only. It appears that the only way for either of them to develop their land into residential lots was to cooperate, putting a street (McKinley) down the middle of the pair from east to west. Since the original lots were only 200 feet wide, it was impossible to subdivide in a manner to obtain lots as deep as the preferred 135 feet. In addition, the width of the street had to be minimized to have lots big enough to build upon; even this left lots which were quite small.

The lots in Victoria Place were platted with the standard 50 foot width, big enough upon which to fit a standard house plan, but only 80 feet deep. The street right-of-way was made only 40 feet wide, compared to 60 feet wide for comparable streets in the area. The effect of the platting of the subdivision was to decide the future character of the neighborhood. However, as illustrated above, the decisions were almost certainly made for economic reasons rather than for aesthetic ones.

The land remained vacant until 1913, when the first houses appeared. The subdivision developed in two periods. During the first period, from 1913 to 1920, the west end of the street was developed on what was originally the Dennis Addition's Block 7, Lot 2. Most of the houses in this section were built before the First World War, although a few were built afterward. In the second developmental period, from 1924 to 1929, the last remaining lots of the west end were built out and the east end of the street was developed. All the houses now remaining in the neighborhood were built before the Depression hit Arizona.

Eric Hanson and F. X. O'Brien were not well known figures. Hanson worked as a real estate agent while O'Brien's occupation and residency are

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unknown. In any case, although these men platted the subdivision, they did not themselves develop it. The major developer, at least for the first developmental period, was the Valley Construction and Realty Company. This company bought the majority of the parcels on the east end of the street in 1913, and sold the lots and built houses on these parcels between 1913 and 1920.

Victoria Place was not an exclusive neighborhood, as were many parts of the Roosevelt, Encanto, or Story neighborhoods to the west. The residents of Victoria Place were a mixture of several segments of society. Several were proprietors of businesses or people in upper management; ranchers, salesman, and carpenters were all represented. The houses generally cost between \$2000 to \$2500. As a comparison, builders in the wealthier subdivisions named above often were often required to build houses costing at least \$5000.

Residential Architecture in Phoenix, 1913-1930

Residential architecture in Phoenix generally followed national trends. The first houses of the 1870s were built with indigenous materials, usually adobe. When the city gained permanence in the 1880s, new houses were mostly Victorian in style. The Victorian movement waned with the turn of the century as the Bungalow, Craftsman, and Prairie styles, and mixtures of them, became popular. These styles remained in vogue until World War I, after which the Period Revival Styles gained favor. Tudor Revival and Spanish Colonial Revival were the two most common Period Revival styles in Phoenix in this period, while a simplified version of the Bungalow survived into the twenties. Just before World War II, Ranch style houses began to be built, and their continuance after the War continues to the present day.

The development of Victoria Place was such that the rapid shift in taste and stylistic trends from before World War I to after World War I is readily apparent. The west end of the street developed almost entirely from 1913 to 1920, the period during which the Bungalow was in fashion. The east end of the street developed between 1924 and 1930, when Period Revival styles were popular. This part of the subdivision contains mostly Spanish Colonial Revival style houses, while one Tudor-influenced residence and several of the late Bungalows are included.

Several of the Spanish Colonial residences have retained characteristics of the earlier Bungalow style, such as the gabled front porch. These hybrids clearly mark the transition that was taking place between these two styles.

The dividing line between the two major periods, before and after the

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war, is quite apparent on the street and is enhanced by the fact that the houses of the first period do not have porte-cocheres or carports while those of the second period do. This depicts architecturally the increasing prominence of the automobile in Phoenix.

The overall character of the street, a result of the subdivision plat, is what makes Victoria Place unique. The lot sizes and street width make the houses (which are similar in size to those in other neighborhoods) crowd close to the street. Compared to other neighborhoods, there is little room left in the front yard for lawns or landscaping, and a uniquely dense suburban enclave is formed. The setback of each house from the street is more uniform than in surrounding development. The steady rhythm of similar sized houses, as one looks down the block, is enhanced by the fact that the street is uninterrupted for two city blocks, from Seventh Street to Ninth Street.

INTEGRITY

Today much of the Dennis Addition is occupied by members of lower income groups, much of the area having been converted to rental units and in poor repair. The large lot size of properties surrounding Victoria Place made further development of these properties possible and profitable with the addition of many more rental units and house additions to maximize land use. Several notable houses and other significant buildings do remain in the Dennis Addition; but these properties have often been substantially altered.

The small lot sizes of Victoria Place seem to have spared it from much of the redevelopment forces evident in nearby neighborhoods. Such small lots are difficult to redevelop with additional units or additions, and it is even harder to assemble enough lots to form a property large enough for substantial redevelopment. The majority of the Victoria Place houses remain in original condition, with elements such as fences, driveways, and landscaping still undisturbed. The visual difference between Victoria Place and the surrounding neighborhoods is evident when comparing streetscapes; Victoria Place retains a remarkable unity and "sense of place" of its historic period.

Although some brick bungalows have had stucco applied, in most instances these buildings had been stuccoed originally. The application of paint and stucco to a few brick bungalows does not detract from the original scale, massing, and detailing, nor does it have a negative effect on their contributing status.

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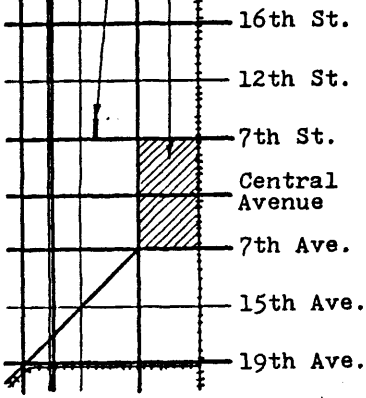
Section number _____ Photographs _____ Page 1

The following information applies to all streetscape photographs:

Property: Victoria Place Historic District
Phoenix, Arizona
Photo by: R. G. Graham
Date: March 21, 1987
Negative: On file with Arizona State Historic
Preservation Office
See key map for location of views

<u>PHOTOGRAPH</u>	<u>VIEW TO</u>
A	East
B	South
C	Southeast
D	East
E	Northeast
F	Southwest
G	Northwest
H	Southeast
I	Northeast
J	Southwest
K	Northwest

McDowell Road
 Papago Freeway
 Roosevelt Street
 VICTORIA PLACE
 Van Buren Street
 Original Townsite
 Railroad



VICINITY MAP

Block

Lot

710 Street Address

District Boundary

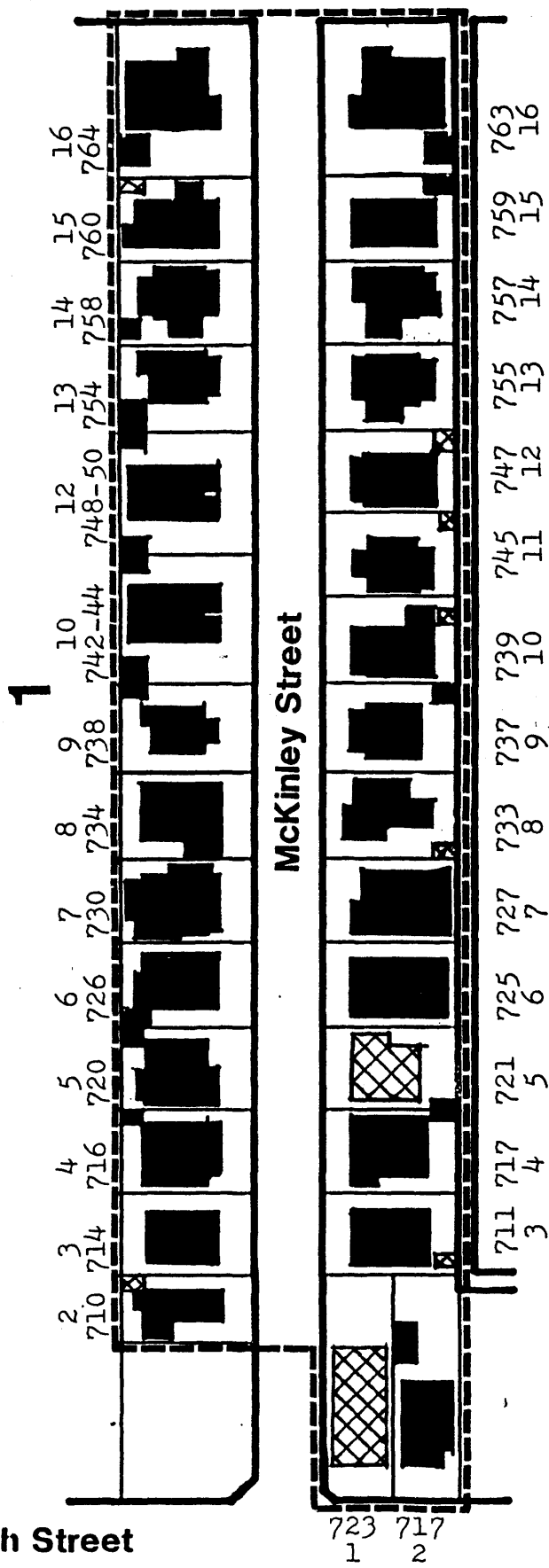
VP-1-2

710 E. McKinley St.

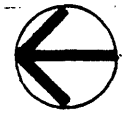
LEGEND

9th Street

7th Street



McKinley Street



Shaded buildings are contributors; cross-hatched buildings are noncontributors.



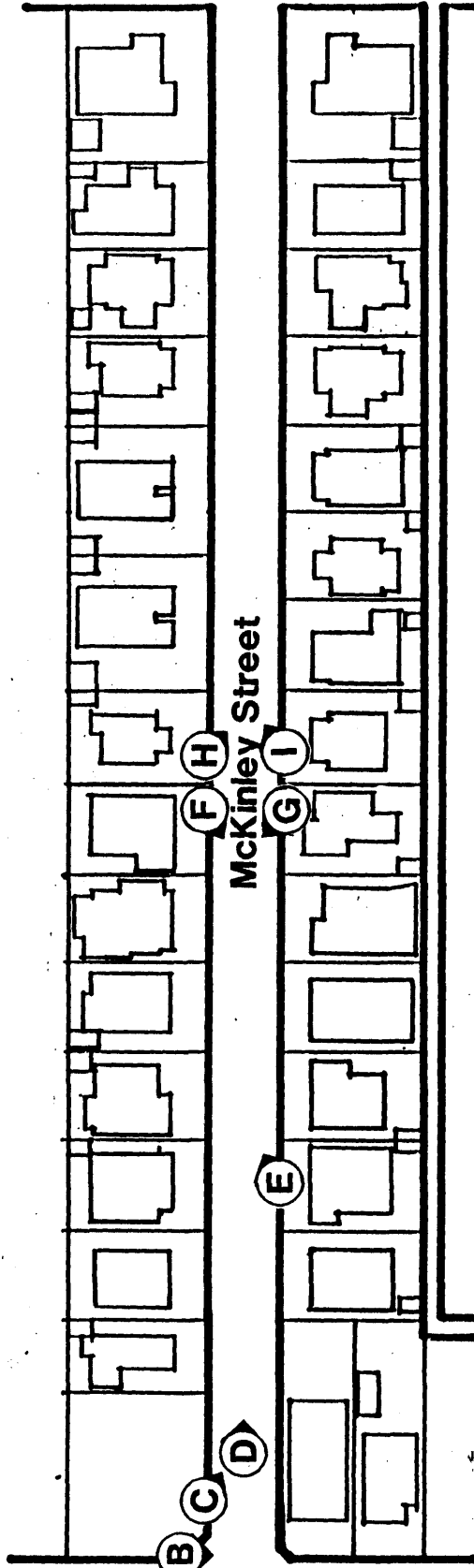
VICTORIA PLACE HISTORIC DISTRICT

Phoenix, Arizona

9th Street

(J)

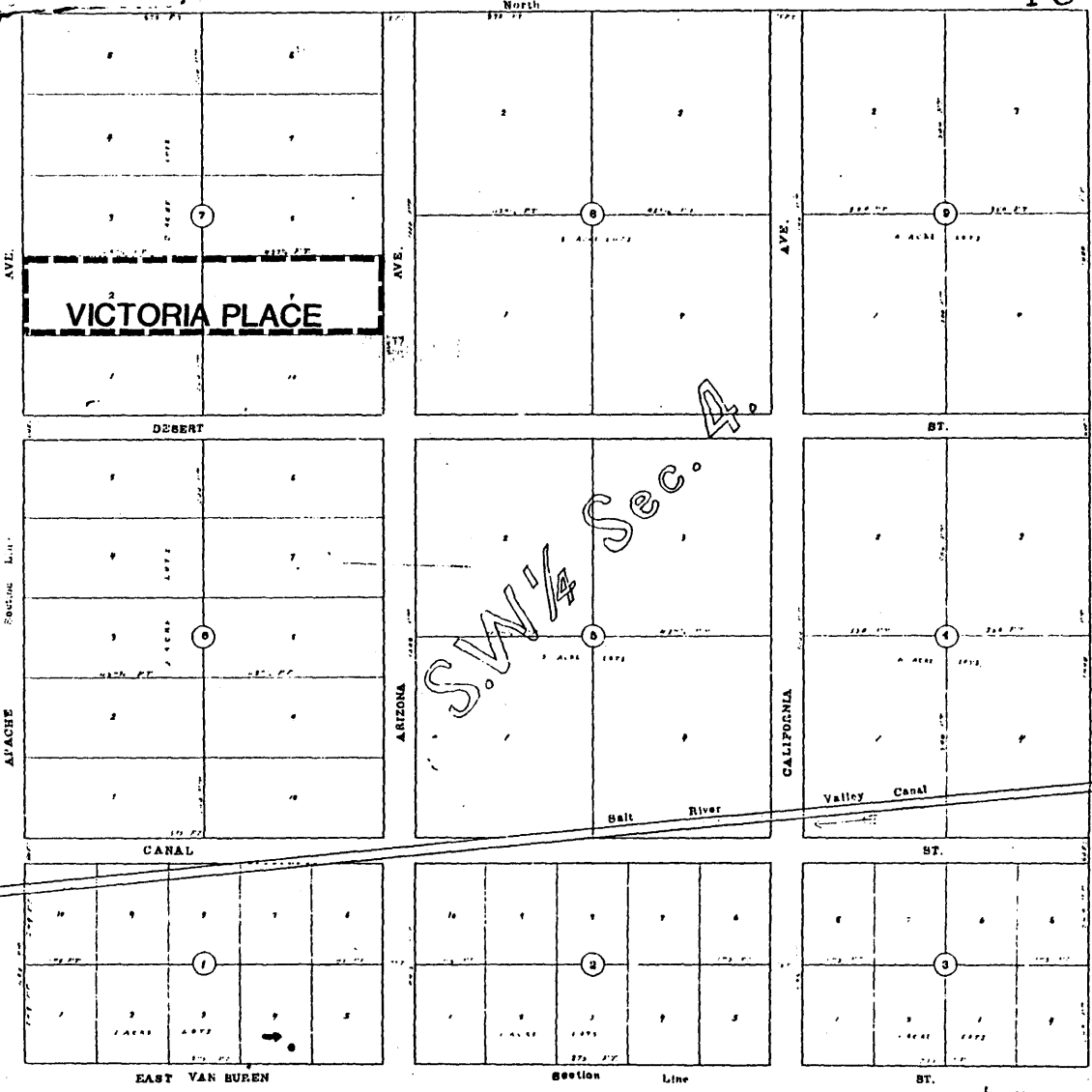
(K)



7th Street

(A)

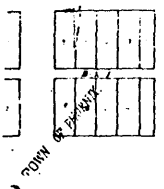
Streetscape Photo Key



MAP
OF
DENNIS' ADDITION
TO
PHOENIX ARIZONA

Surveyed by
H. PATRICK.
Civil Engineer
1888

Filed for record
in the County of Maricopa
Arizona
this 18th day of
October
1888
at Phoenix
Arizona
H. Patrick



VICTORIA PLACE HISTORIC DISTRICT

CONTRIBUTING PROPERTIES

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: E. A. Fink
 ADDRESS/LOCATION: 710 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-154 / _____ ACRE(S)
 OWNER: Carolyn and Romeo Guzman
 OWNER ADDRESS: 710 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1916
 ARCHITECT/BUILDER: _____
 INTEGRITY: Additions
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-2
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed Rafters
 WINDOWS: Wood double-hung with diamond pattern lights
 ENTRY: Off center, wood with glass lights
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

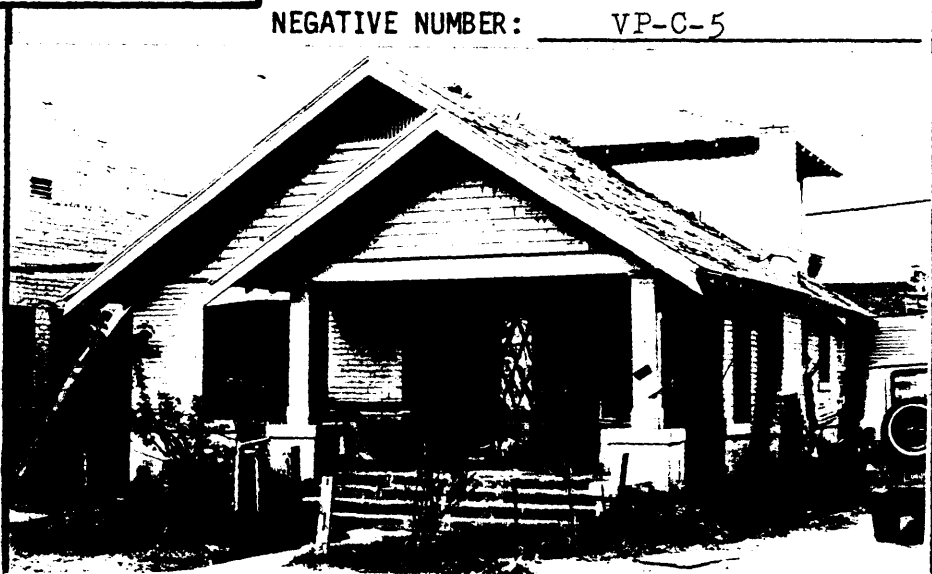
STORIES: 1 DIMENSIONS: (l) 50 (w) 35
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: _____

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Intrusive second story addition in rear

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 10/87 VIEW: to NW
 NEGATIVE NUMBER: VP-C-5

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) E. A. Fink (wife: Josephine E.)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:
LISTED___ ¹⁸ DETERMINED ELIGIBLE___ ¹⁹ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: F. J. Belvoir
 ADDRESS/LOCATION: 714 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-155 / _____ ACRE(S)
 OWNER: Earle & Chert Dawn Loudy
 OWNER ADDRESS: 714 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1914
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-3
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ ¼ OF THE _____ ¼
 UTM _____

Description (contd.)

ROOF TYPE: Gable, medium pitch
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Fascia boards
 WINDOWS: Obscured by screens
 ENTRY: Off center, with flanking
sidelights
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

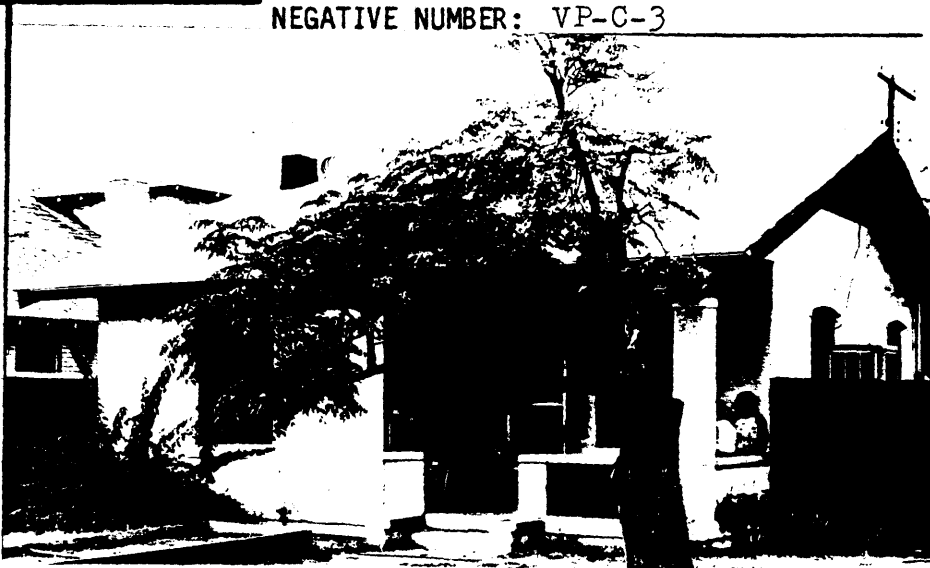
STORIES: 1 DIMENSIONS: (l) 40 (w) 30
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: segmental-arched
lintels over openings

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Fascias probably added

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 10/87 VIEW: to NW
 NEGATIVE NUMBER: VP-C-3

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) F. J. Belvoir, Salesman,
E. W. Thayer

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETSCAPE CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: W. F. Tate
 ADDRESS/LOCATION: 716 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-156 / _____ ACRE(S)
 OWNER: Robert D. Mills
 OWNER ADDRESS: 716 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Craftsman Bungalow
 CONSTRUCTION DATE: 1917
 ARCHITECT/BUILDER: _____
 INTEGRITY: Porch infilled
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-4
 USGS QUAD: _____
 T ___ R ___ S ___ / ___ 1/4 OF THE ___ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double-hung 12/1,8/1
 ENTRY: Off-center, wood with glass
lights and flanking sidelights
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

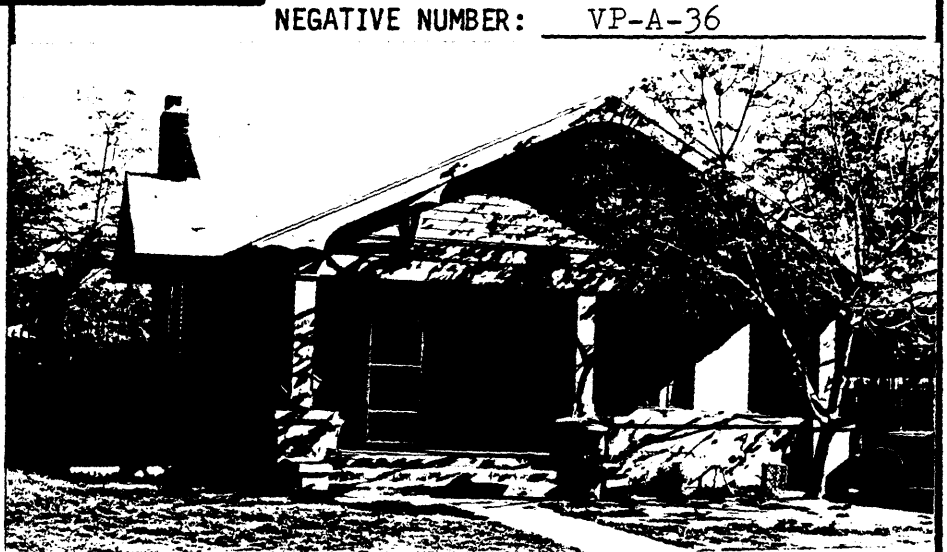
STORIES: 1 DIMENSIONS: (l) 45 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: Rear sleeping porch
enclosed

APPLIED ORNAMENT: Icicle-like ornament
added to fascias; knee braces at gables

PHOTOGRAPH _____
 PHOTOGRAPHER: R. Graham
 DATE: 3-21-87 VIEW: to NE
 NEGATIVE NUMBER: VP-A-36

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) W. F. Tate (wife: Daisy),
Mgr, tire dept, Motor Supply Co.

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS

ARCHITECTURAL MERIT Outstanding example of Craftsman Bungalow

MAJOR ARCH. FORM/MATERIAL

ENGINEERING/STRUCTURAL

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE April 1987 DATE FORM COMPLETED Sept 1987

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: T. Dempsey
 ADDRESS/LOCATION: 720 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-157 / _____ ACRE(S)
 OWNER: Lori & Albert Acedo
 OWNER ADDRESS: 720 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1916
 ARCHITECT/BUILDER: _____
 INTEGRITY: Porches infilled
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-5
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double-hung 9/1, 1/1
 ENTRY: Central
 PORCHES: Veranda (enclosed)
 STOREFRONTS: _____

DESCRIPTION

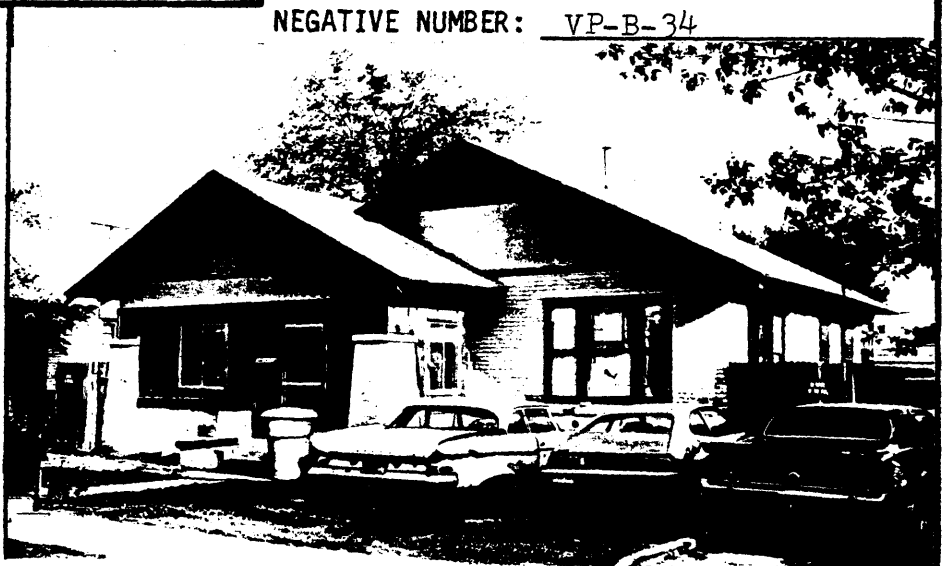
STORIES: 1 DIMENSIONS: (l) 45 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: _____

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: Front porch enclosed

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to NW
 NEGATIVE NUMBER: VP-B-34

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING x ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET x COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: A. W. Leifgreen
 ADDRESS/LOCATION: 726 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-158 / _____ ACRE(S)
 OWNER: Ramon & Maria Lepe
 OWNER ADDRESS: 726 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1919
 ARCHITECT/BUILDER: _____
 INTEGRITY: Porches infilled
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-6
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double-hung 9/1
 ENTRY: Central, wood with glass lights and flanking sidelights
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

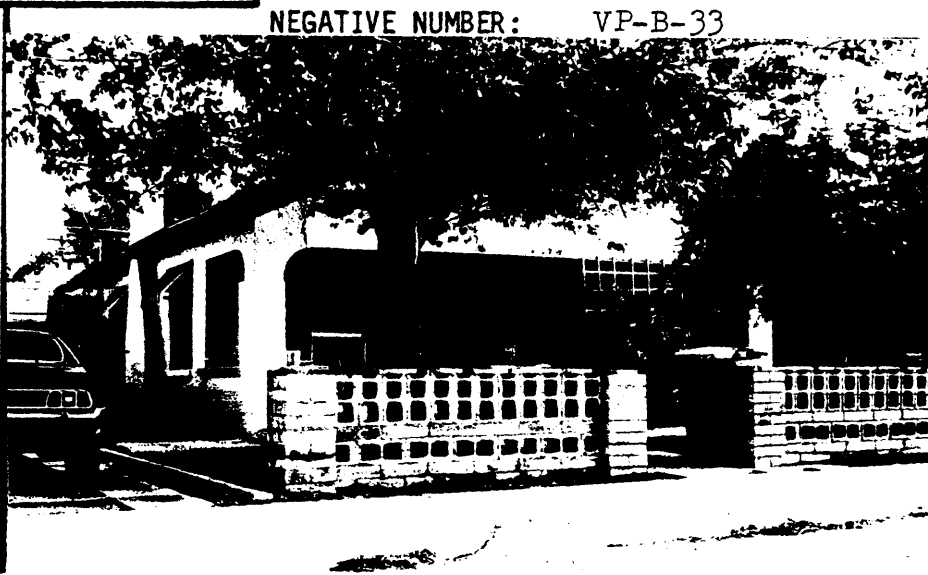
STORIES: 1 DIMENSIONS: (l) 50 (w) 35
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: _____

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: Sleeping porch infilled; awnings added at west side

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to NE
 NEGATIVE NUMBER: VP-B-33

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___

CBD:___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: W. M. Whipple
 ADDRESS/LOCATION: 730 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-159 / _____ ACRE(S)
 OWNER: Armando Zamora
 OWNER ADDRESS: 1106 N. 14th Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1914
 ARCHITECT/BUILDER: _____
 INTEGRITY: Window alterations
 CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-1-7
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Fixed sash
 ENTRY: Off center
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 55 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wood diamond design in gable

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: New windows in original openings; sleeping porch enclosed

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to NW
 NEGATIVE NUMBER: VP-B-30

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Stone facing applied around entry and front step walls (non-original)

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET X COMMERCIAL ___ CENTRAL SQUARE ___

CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: Adolph Gass
 ADDRESS/LOCATION: 734 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-160 / _____ ACRE(S)
 OWNER: Nora & Glenn Minton
 OWNER ADDRESS: 2836 E. Wood
Phoenix, AZ 85040
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Craftsman Bungalow
 CONSTRUCTION DATE: 1916
 ARCHITECT/BUILDER: _____
 INTEGRITY: Minor Additions
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-8
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double hung, 9/1
 ENTRY: Central, wood with glass lights and flanking sidelights
 PORCHES: Veranda, wrap-around
 STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: Wood knee braces at eaves

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Front porch screened

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 3-21-87 VIEW: to NW
 NEGATIVE NUMBER: VP-A-21

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Outstanding example of Craftsman Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: Rich V. Davis
 ADDRESS/LOCATION: 738 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-161 / _____ ACRE(S)
 OWNER: Albert Andalzola Jr.
 OWNER ADDRESS: 738 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1925
 ARCHITECT/BUILDER: _____
 INTEGRITY: Minor additions
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-9
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets; gable
 ROOF SHEATHING: Rolled asphalt;
asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood casement, 8 light
 ENTRY: Central
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

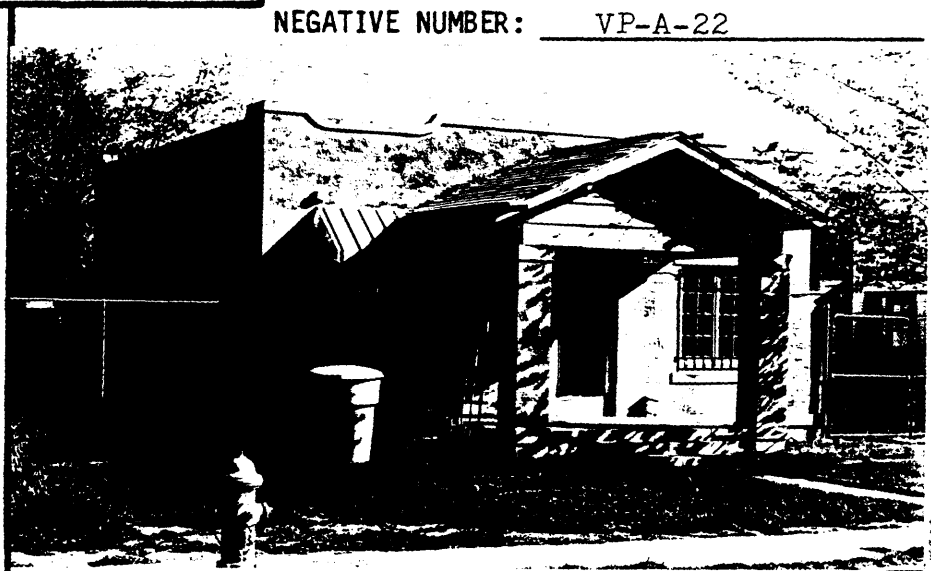
STORIES: 1 DIMENSIONS: (l) 55 (w) 28
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Vestigial plaster
vigas at roof line

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: Awnings/security bars
added; front window convert to door

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 3-21-87 VIEW: to NE
 NEGATIVE NUMBER: VP-A-22

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: M.C. Baker/ E. D. Werfs
 ADDRESS/LOCATION: 742-744 E. McKinley St.
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-162A / _____ ACRE(S)
 OWNER: Sylvia & John Salgado/H. Emerick
 OWNER ADDRESS: 7117 W. Devonshire
Phoenix, AZ 85033
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: Duplex
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1925
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-1-10
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets/gable
 ROOF SHEATHING: Rolled asphalt/
Spanish tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood casement, 6 light
 ENTRY: Two symmetrically placed
entries, wood with glass lights
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 55 (w) 35
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Curvilinear parapet

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: _____

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 3-21-87 VIEW: to NW
 NEGATIVE NUMBER: VP-A-16

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Identical plan as VP-1-12, 750-748 E. McKinley St.
Garage built integral with neighbor's.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: T. E. Schwarz/Jas. Jantzen

ADDRESS/LOCATION: 748-750 E. McKinley St.

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-165/163/ ACRE(S) _____

OWNER: K. & J. Simington/ G. Johnson

OWNER ADDRESS: 4613 W. Solano Drove
Phoenix, AZ 85301

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: Duplex

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-1-12

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4 UTM

Description (contd.)

ROOF TYPE: Flat with parapets; gable

ROOF SHEATHING: Rolled asphalt

EAVES TREATMENT: Wood fascia

WINDOWS: Wood casement, 6 light

ENTRY: Two symmetrically placed entries;

PORCHES: Entry

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garages (2)

ALTERATIONS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 55 (w) 35

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Curvilinear parapet; round attic ventilator

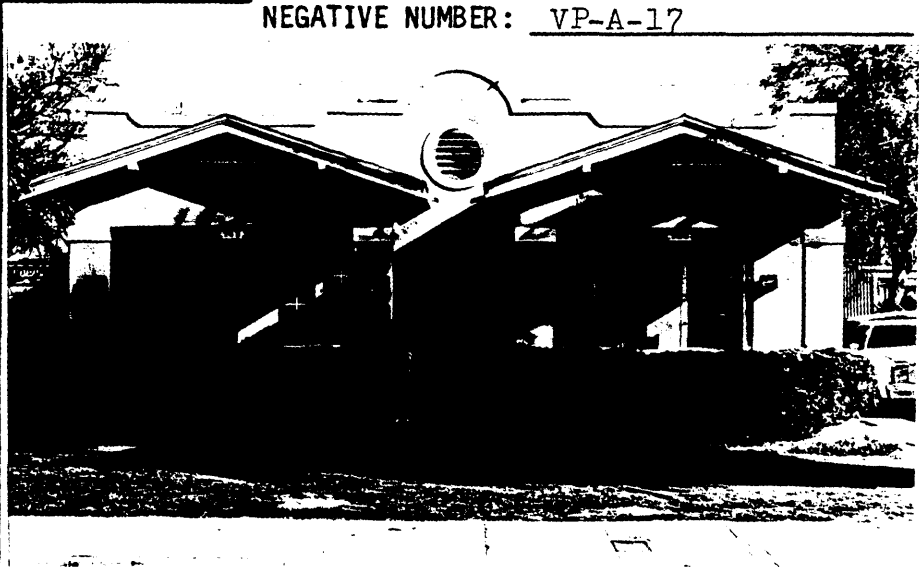
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 3-21-87 VIEW: to N

NEGATIVE NUMBER: VP-A-17

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Identical plan to VP-1-10, 742-744 E. McKinley St.
Garages built intergral with neighbors'.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s.

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: C. E. Gollwitzer

ADDRESS/LOCATION: 754 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-166 / _____ ACRE(S)

OWNER: Matthew & Isabel Hesen

OWNER ADDRESS: 754 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Bungalow

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-1-13

USGS QUAD: Phoenix

T _____ R _____ S _____ / _____ ¼ OF THE _____ ¼
UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood casement, 8 light

ENTRY: Central, wood with glass lights (French door)

PORCHES: Veranda

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 30

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: _____

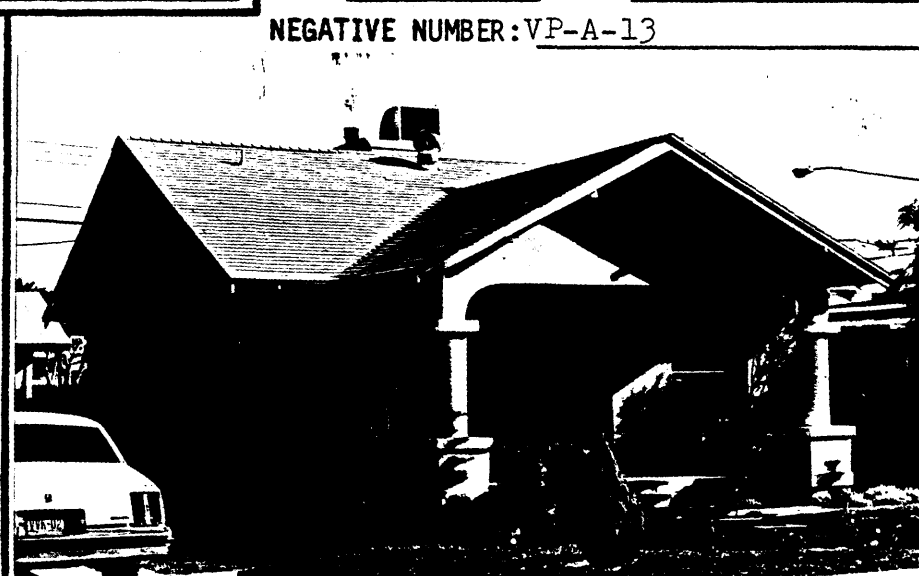
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 3-21-87 VIEW: to NE

NEGATIVE NUMBER: VP-A-13

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S)_____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS_____

ARCHITECTURAL MERIT Typical post-WWI Bungalow

MAJOR ARCH. FORM/MATERIAL_____

ENGINEERING/STRUCTURAL_____

DISTRICT/STREETSCAPE CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___

CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE April 1987 DATE FORM COMPLETED 9/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: none

ADDRESS/LOCATION: 758 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-167 / _____ ACRE(S)

OWNER: Emma S. Derrick

OWNER ADDRESS: 758 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Porches altered

CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-14

USGS QUAD: Phoenix

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4 UTM

Description (contd.)

ROOF TYPE: Flat with parapets

ROOF SHEATHING: Rolled asphalt

EAVES TREATMENT: _____

WINDOWS: Wood casement, 8 light

ENTRY: Central

PORCHES: Entry with side terraces

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: Front terraces and carport enclosed

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 45 (w) 40

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Vestigial plaster vigas; round louvered gable vents

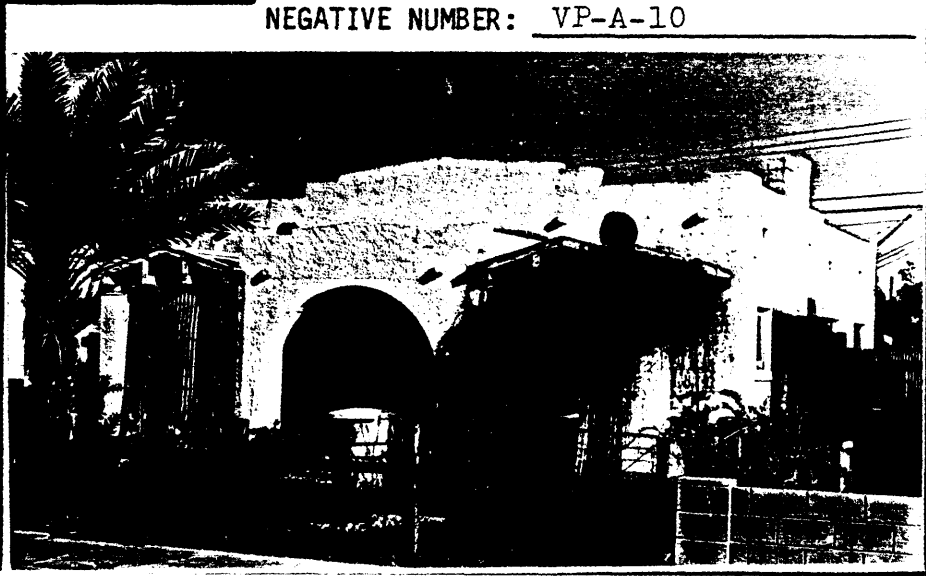
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 3-21-87 VIEW: to NW

NEGATIVE NUMBER: VP-A-10

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Identical but reversed plan to VP-2-13, 755 E. McKinley Street.
Roofs added over original trellises at terraces.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET X COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: R. G. McDonald
 ADDRESS/LOCATION: 760 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-168 / _____ ACRE(S)
 OWNER: William & Annette Mellor
 OWNER ADDRESS: 760 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1928
 ARCHITECT/BUILDER: _____
 INTEGRITY: Additions
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-15
 USGS QUAD: Phoenix
 T. _____ R. _____ S. _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets; gable
 ROOF SHEATHING: Rolled asphalt;
asphalt shingles
 EAVES TREATMENT: Wood fascias
 WINDOWS: Wood double hung and
casement
 ENTRY: Central
 PORCHES: Entry; terrace
 STOREFRONTS: _____

DESCRIPTION

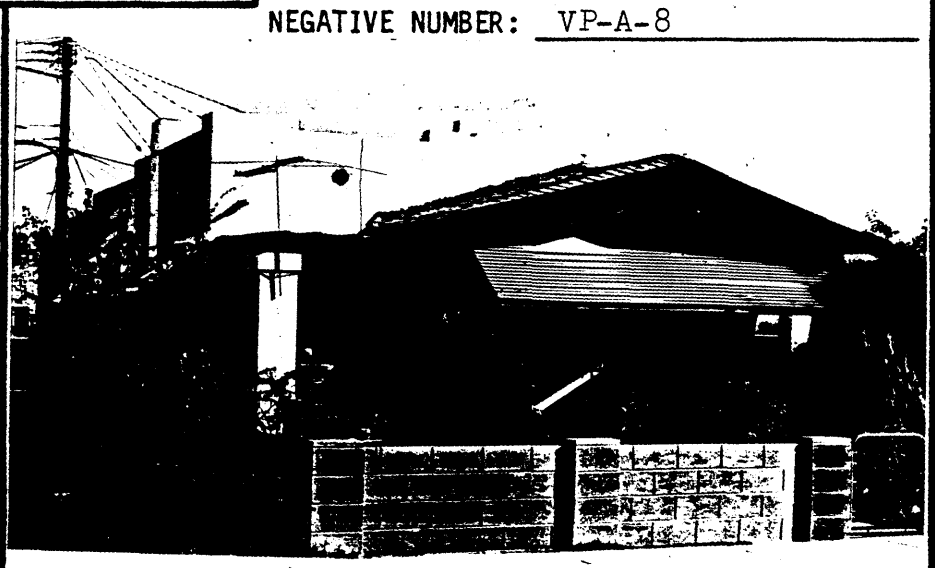
STORIES: 1 DIMENSIONS: (l) 55 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Stepped parapet;
round gable ventilator

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Aluminum car cover
 ALTERATIONS: Large aluminum awning
added across entry porch

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 3-21-87 VIEW: to NE
 NEGATIVE NUMBER: VP-A-8

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Porch and terrace partially enclosed with a low concrete block wall.
Security bars added over some windows.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETSCAPE CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:
LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: C.N. Wallis/E.T. Burtis

ADDRESS/LOCATION: 764 E. McKinley/802 N. 9th

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-169 / ACRE(S)

OWNER: Oldemar Desouza/A. Demorales

OWNER ADDRESS: 802 N. 9th Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: Duplex

STYLE: Bungalow

CONSTRUCTION DATE: 1927

ARCHITECT/BUILDER: _____

INTEGRITY: Additions

CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-1-16

USGS QUAD: Phoenix

T R S / 1/4 OF THE 1/4

UTM _____

Description (contd.)

ROOF TYPE: Med. pitch jerkinhead

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood casement, 9 light
tartan pattern

ENTRY: Two off center entries

PORCHES: Two entry porches

STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 55 (w) 45

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Scalloped knee braces
at gables; buttresses at porches

NOTABLE INTERIOR: _____

OUTBUILDINGS: Garage

ALTERATIONS: Entry porches have iron
bars and gates added

PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 3-21-87 VIEW: to NW

NEGATIVE NUMBER: VP-A-1

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Identical plan to VP-2-16, 763 E. McKinley Street.
Plan of duplex takes advantage of placement on corner lot.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of post-WWI Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 9-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: J. M. Ovens

ADDRESS/LOCATION: 717 N. 7th Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-171 / _____ ACRE(S)

OWNER: Fannie Matz

OWNER ADDRESS: 716 N. 7th Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Bungalow

CONSTRUCTION DATE: 1924

ARCHITECT/BUILDER: _____

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-2

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4 UTM

Description (contd.)

ROOF TYPE: Med. pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood double-hung 5/1

ENTRY: Central, wood with glass lights and wood panels

PORCHES: Veranda

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 35

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco/brick

APPLIED ORNAMENT: Brick wainscot

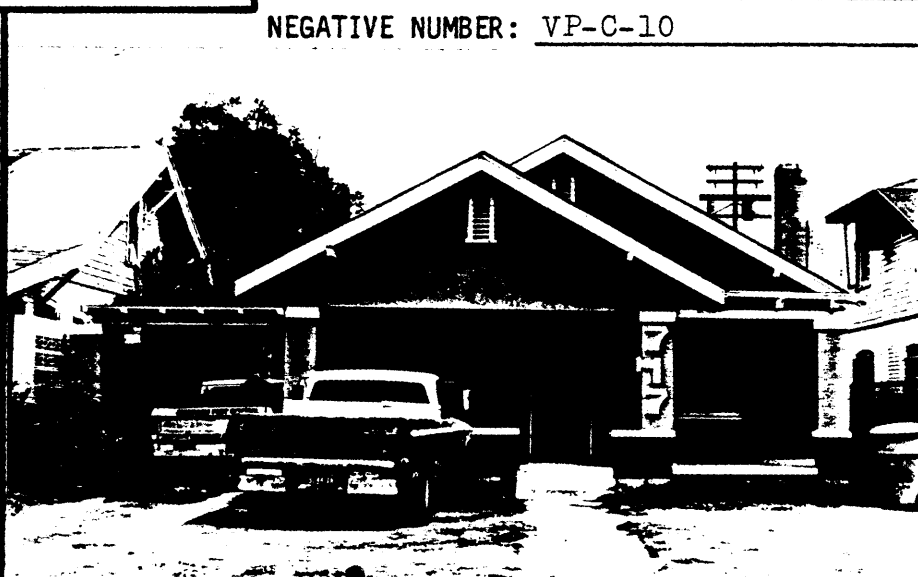
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 10/87 VIEW: to E

NEGATIVE NUMBER: VP-C-10

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Trellis at front porch covered over

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) J. M. Ovens (Margarite),
Mgr., L. J. Overlock

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of later Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETSCAPE CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET ___ COMMERCIAL X CENTRAL SQUARE ___
CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 10-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: T. E. Dempsey

ADDRESS/LOCATION: 711 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-172 / ACRE(S)

OWNER: Robert and Roberta Graham

OWNER ADDRESS: P. O. Box 25203
Phoenix, AZ 85002

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Bungalow

CONSTRUCTION DATE: 1917

ARCHITECT/BUILDER: _____

INTEGRITY: Sheathed, porches infilled

CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-3

USGS QUAD: _____

T _____ R _____ S _____ / _____ ¼ OF THE _____ ¼ UTM

Description (contd.)

ROOF TYPE: Medium pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Double hung, 9/1 tartan patterned

ENTRY: Two central entries at right angles, wood with glass lights

PORCHES: Veranda; sleeping porch

STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (1)45 (w) 35

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Painted brick, stucco

APPLIED ORNAMENT: Fancy cut rafter tails

NOTABLE INTERIOR: _____

OUTBUILDINGS: Aluminum shed

ALTERATIONS: Stucco added to front side of house

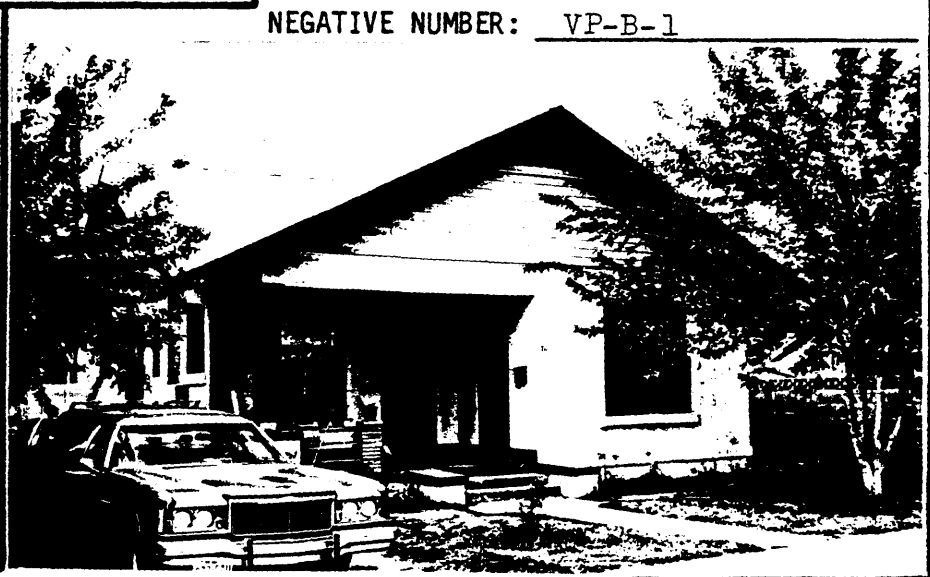
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 4-18-87 VIEW: to SW

NEGATIVE NUMBER: VP-B-1

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Sleeping porch infilled
Concrete block and wood frame security features added to windows

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) T. E. Dempsey, asst. city ticket agent, SPRR

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Bungalow in neighborhood

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Part of first developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

Partial restoration planned by current Owners.

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: S. J. Spotts
 ADDRESS/LOCATION: 717 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-173 / _____ ACRE(S)
 OWNER: Marcel and Catherine Carrascoso
 OWNER ADDRESS: 717 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Craftsman Bungalow
 CONSTRUCTION DATE: 1916
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-4
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: fascia boards
 WINDOWS: Wood double-hung and casement, diamond pattern lights
 ENTRY: Central, wood with diamond shaped lights and flanking sidelts
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

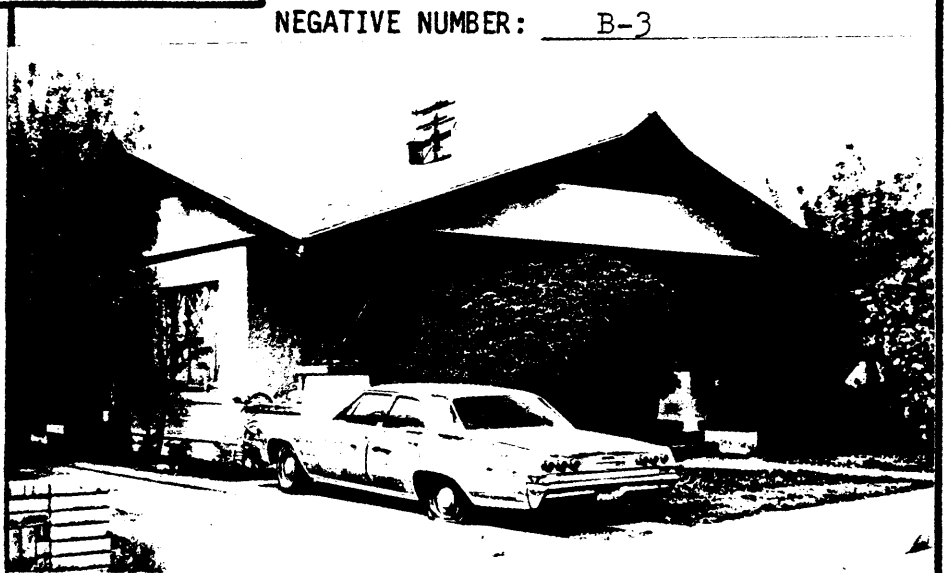
STORIES: 1 DIMENSIONS: (l) 50 (w) 55
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Projecting beam ends applied to fascia; wood porch posts

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: _____

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SW
 NEGATIVE NUMBER: B-3

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Accentuated ridge peak and wide eaves give this Bungalow an Oriental character.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) S. J. Spotts (wife: Myrtle)
Researcher, Ariz. Title Guar. & Trust Co.

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Outstanding example of Craftsman Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: William Brading
 ADDRESS/LOCATION: 725 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-175 / _____ ACRE(S)
 OWNER: Dorothy and William Wolfe
 OWNER ADDRESS: 3053 N. 23rd Drive
Phoenix, AZ 85015
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1914
 ARCHITECT/BUILDER: Valley Construct. & Rlty.
 INTEGRITY: Porches infilled
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-6
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood casement, 9 light;
double-hung 9/1 tartan pattern
 ENTRY: Central, two entries at
right angles
 PORCHES: Veranda; sleeping porch
 STOREFRONTS: _____

DESCRIPTION

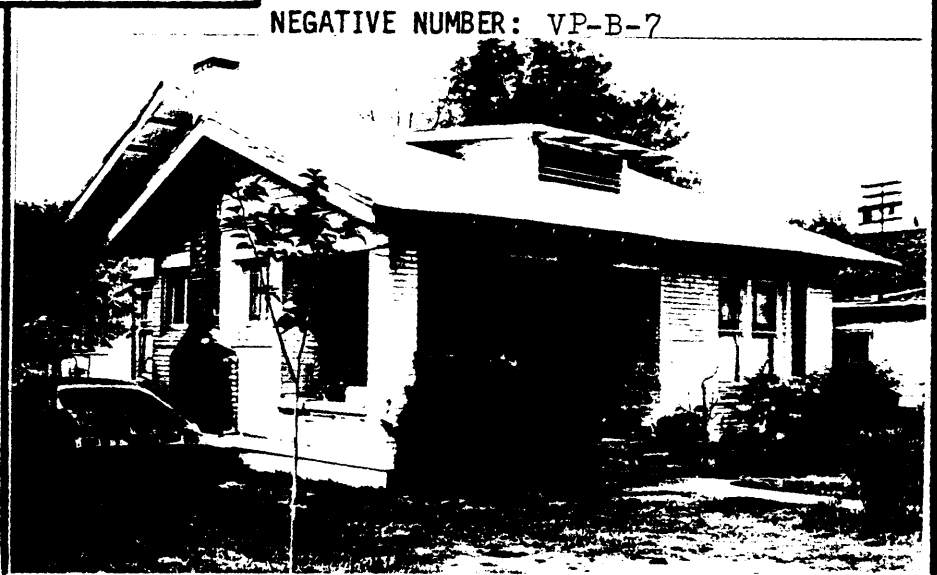
STORIES: 1 DIMENSIONS: (1)60 (w) 35
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: _____

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Sleeping porch in rear
enclosed

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SW
 NEGATIVE NUMBER: VP-B-7

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Shed dormer/ventilator
Wood shingles in gables

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) William Brading (wife: Mary)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Bungalow in neighborhood

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.
One of first houses built in subdivision

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

Arizona Republican, Oct. 7, 1913, P. 10

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: W. C. Gilkey
 ADDRESS/LOCATION: 727 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-176 / _____ ACRE(S)
 OWNER: Robert and Roberta Graham
 OWNER ADDRESS: P.O. Box 25203
Phoenix, AZ 85002
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1916
 ARCHITECT/BUILDER: _____
 INTEGRITY: Windows altered, sheathed
 CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-7
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ ¼ OF THE _____ ¼
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Asbestos shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double hung, 9/1;
steel casement; aluminum sliding
 ENTRY: Central, wood with glass
lights
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

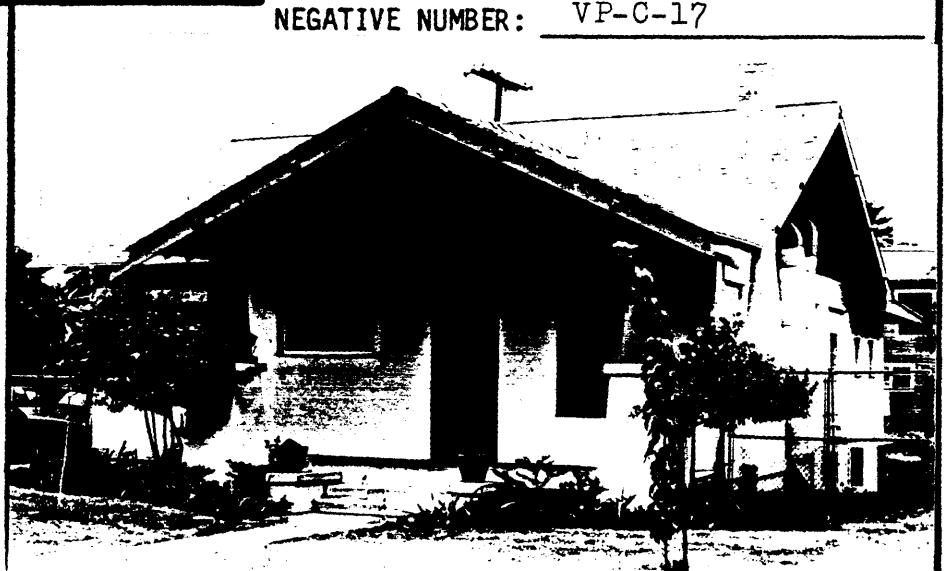
STORIES: 1 DIMENSIONS: (l) 60 (w) 35
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Fancy cut fascia tails;
elephantine porch columns

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Sleeping porch enclosed;
New windows in original openings

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 10/87 VIEW: to SE
 NEGATIVE NUMBER: VP-C-17

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Sensitive addition in rear
Wood shingles in gables
False beam ends applied to fascia

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) W. C. Gilkey (wife: Frances)
Frnt. insp. Transcontinental Frnt Bureau

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-20s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET X COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:

Owners are currently restoring various elements of this property.

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: _____

ADDRESS/LOCATION: 733-735 E. McKinley St.

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-117 / _____ ACRE(S)

OWNER: Mr. & Mrs. John Alcorn

OWNER ADDRESS: 733 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: Multi-residential (Duplex)

STYLE: Tudor Influence

CONSTRUCTION DATE: 1930

ARCHITECT/BUILDER: _____

INTEGRITY: Converted to single-family

CONDITION: Good

DESCRIPTION

STORIES: 1 DIMENSIONS: (l)50 (w)35

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Painted brick

APPLIED ORNAMENT: _____

SKETCH MAP:

COUNTY: Maricopa SURVEY SITE: VP-2-8

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
UTM

Description (contd.)

ROOF TYPE: Medium pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Fascia boards

WINDOWS: Wood casement, 4 light

ENTRY: Central

PORCHES: Front entry porch with
screen

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Modern storage shed

ALTERATIONS: Interior remodeling;
screens added to front porch

PHOTOGRAPH

PHOTOGRAPHER: Graham

DATE: 4-18-87 VIEW: to SW

NEGATIVE NUMBER: VP-B-12



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) _____

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Tudor Influence

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-20s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: D. R. Hoffman

ADDRESS/LOCATION: 737 East McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-178 / _____ ACRE(S)

OWNER: Lavar Burnett

OWNER ADDRESS: 737 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Bungalow

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Windows Altered

CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-9

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4 UTM

Description (contd.)

ROOF TYPE: Medium pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood double hung 4/1;
4 light casement

ENTRY: Central

PORCHES: Veranda

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: New window in orig.
opening, sleeping porch enclosed

DESCRIPTION

STORIES: 1 DIMENSIONS: (l)40 (w)30

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Fired brick

APPLIED ORNAMENT: Semicircular gable
vent

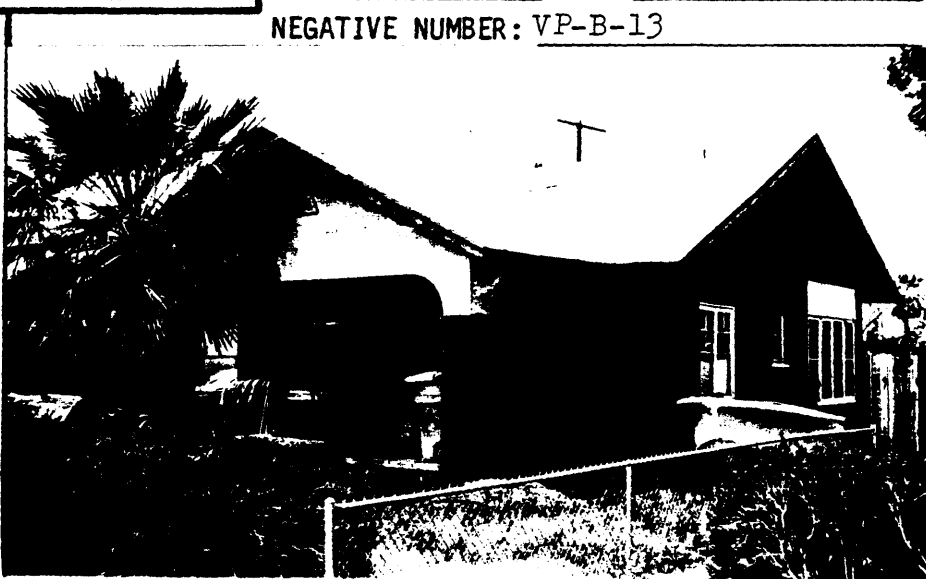
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 4-18-87 VIEW: to SE

NEGATIVE NUMBER: VP-B-13

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) D. R. Hoffman (wife: Dorothy),
salesman, Matthews Paint Co.

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of post-WWI Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: D. E. Sells
 ADDRESS/LOCATION: 739 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-179 / _____ ACRE(S)
 OWNER: Rosa & Javier Echerivel
 OWNER ADDRESS: 1023 E. Monroe
Phoenix, AZ 85034
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1928
 ARCHITECT/BUILDER: _____
 INTEGRITY: Additions; windows altered
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-10
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets; gable
 ROOF SHEATHING: Rolled asphalt;
wood shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double hung 1/1;
aluminum sliding
 ENTRY: Central, wood with glass
lights
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

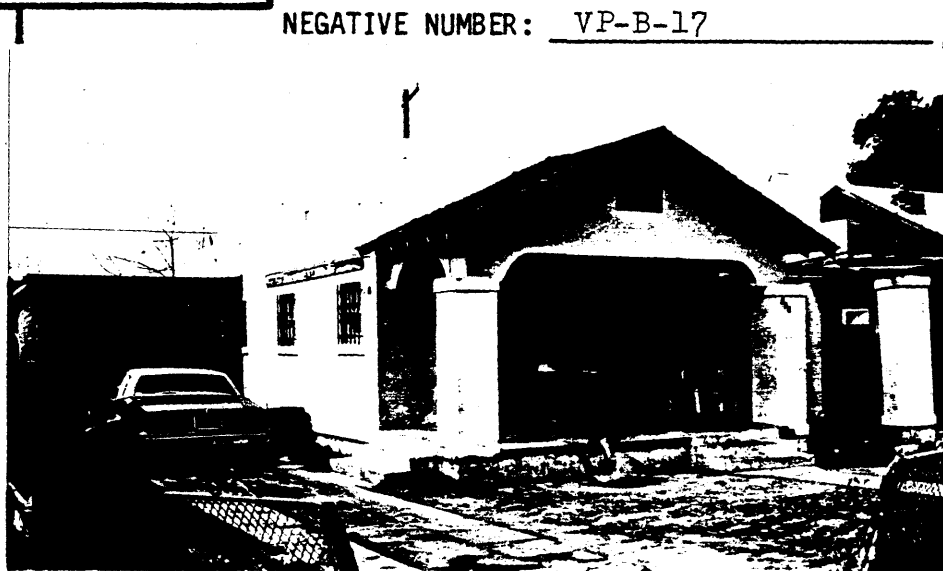
STORIES: 1 DIMENSIONS: (l)50 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Stepped parapet

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Intrusive addition on
side; new window in orig. opening

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SW
 NEGATIVE NUMBER: VP-B-17

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Porch with gable roof and pergola.
Security bars added to windows.
Similar plan to VP-2-15, 763 E. McKinley.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) D. E. Sells, Mgr. San Carlos
Barber Shop (Wife: Alpha)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential character of neighborhood.

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.
The side addition and the one window alteration are not considered to have had a negative effect on this building's integrity.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:___

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: M. R. Peppard
 ADDRESS/LOCATION: 745 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-180 / _____ ACRE(S)
 OWNER: Dorothy Maxine Looney
 OWNER ADDRESS: 745 E. McKinley Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1928
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-11
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets; gable
 ROOF SHEATHING: Rolled asphalt;
spanish tile
 EAVES TREATMENT: Tiles project over
rolled portion of wall
 WINDOWS: Wood casement, single
light, and fixed
 ENTRY: Central
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

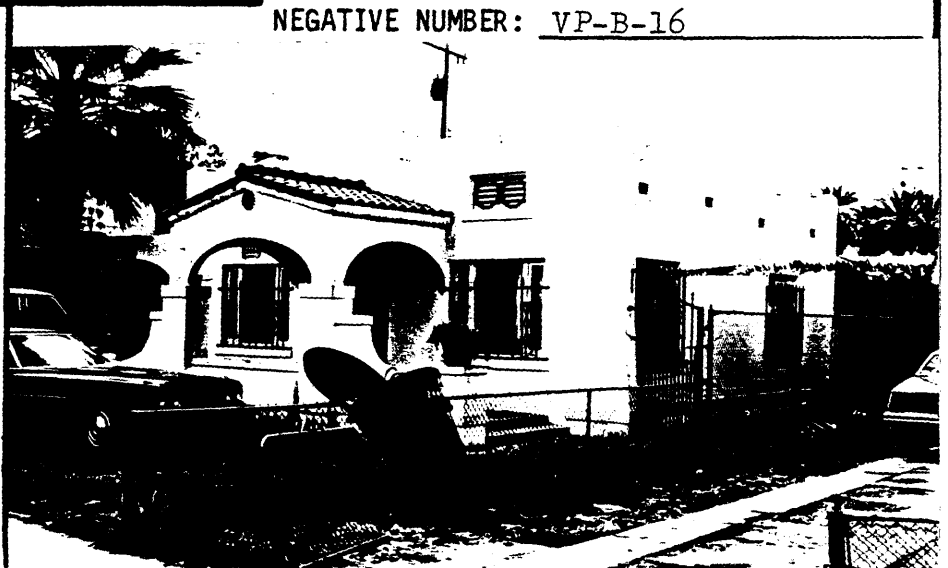
STORIES: 1 DIMENSIONS: (l) 50 (w) 45
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Circular ornament in
attic vents; pedimented parapet

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Security bars added

PHOTOGRAPH

PHOTOGRAPHER: Graham
 DATE: 4-18-87 VIEW: to SE
 NEGATIVE NUMBER: VP-B-16

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Wing wall buttress at facade.
Arched openings at entry porch and porte-cochere.
Reverse plan from VP-2-14, 757 E. McKinley

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Marcus R. Peppard (wife: Gertrude)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:_____

BIBLIOGRAPHY/SOURCES:

LISTING ~~IN OTHER~~ SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: G. O. Kinder

ADDRESS/LOCATION: 747 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-181 / _____ ACRE(S)

OWNER: Carles O'Neill/Raul Vega

OWNER ADDRESS: 747 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Bungalow

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Additions

CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-12

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4

UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable

ROOF SHEATHING: Asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood double hung, 4/1

ENTRY: Central, wood with glass lights

PORCHES: Veranda

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Modern metal storage shed

ALTERATIONS: Carport cover added; security bars added

DESCRIPTION

STORIES: 1 DIMENSIONS: (l)50 (w)30

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Projecting beams at gable ends

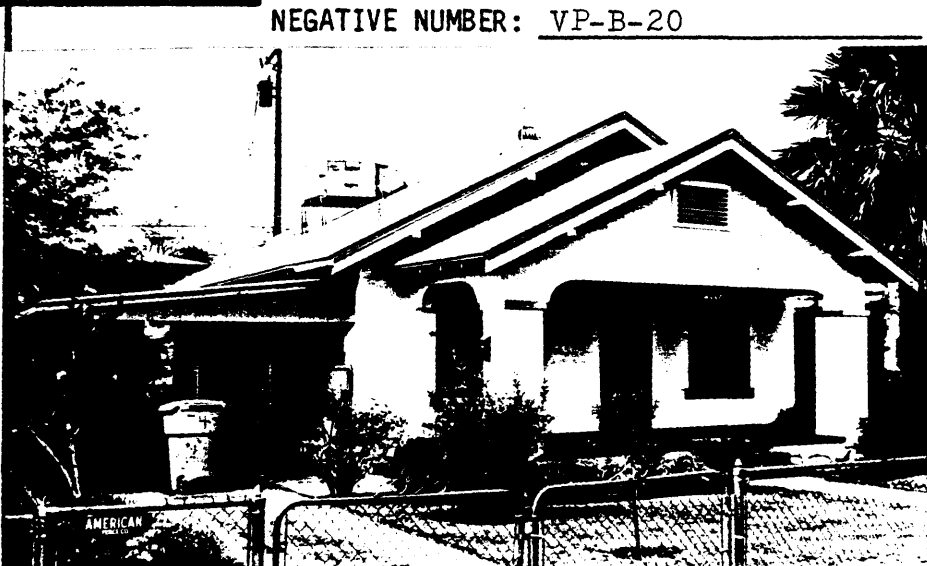
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 4-18-87 VIEW: to SW

NEGATIVE NUMBER: VP-B-20

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Grere O. Kinder (wife: Ida)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of post-WWI Bungalow

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET XX COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:___

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: L. W. Lee
 ADDRESS/LOCATION: 755 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-182 / _____ ACRE(S)
 OWNER: Robert & Roberta Graham
 OWNER ADDRESS: P.O. Box 25203
Phoenix, AZ 85002
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1925
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-13
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with parapets
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: _____
 WINDOWS: Double hung wood, 8/1;
wood casement, 4 and 8 light
 ENTRY: Central, flanking sidelights
 PORCHES: Entry, terraces
 STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco

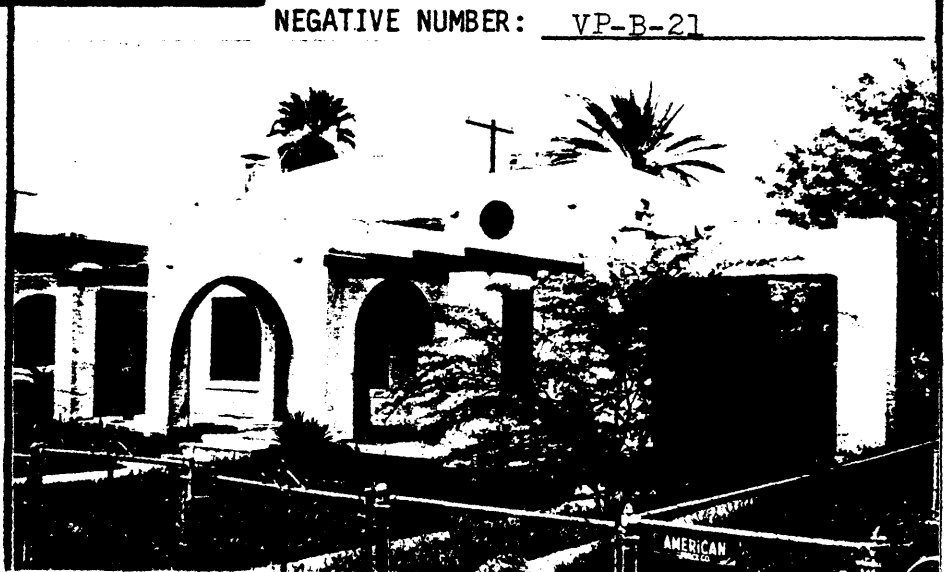
NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: _____

APPLIED ORNAMENT: Round attic vents;
Pedimented parapet; simplified vigas

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SE
 NEGATIVE NUMBER: VP-B-21

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Interior heavily vandalized 1984.
Same plan as VP-1-14, 758 E. McKinley

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING x ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Leo W. Lee (wife: Lucille)
Freight Agent, SPRR

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character
CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET x COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:___

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

Rehabilitation planned by owners

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: A. S. Ackel
 ADDRESS/LOCATION: 757 E. McKinley
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-183 / _____ ACRE(S)
 OWNER: Gerald and Marsha Jacobs
 OWNER ADDRESS: 2626 E. Cholla Street
Phoenix, AZ 85028
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1928
 ARCHITECT/BUILDER: _____
 INTEGRITY: Unaltered
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-14
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat w/ parapets; gable
 ROOF SHEATHING: Rolled asphalt;
Spanish tile
 EAVES TREATMENT: Tiles project over
rolled portion of wall
 WINDOWS: Wood double-hung, 6/1;
wood casement, 8 light
 ENTRY: Central
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

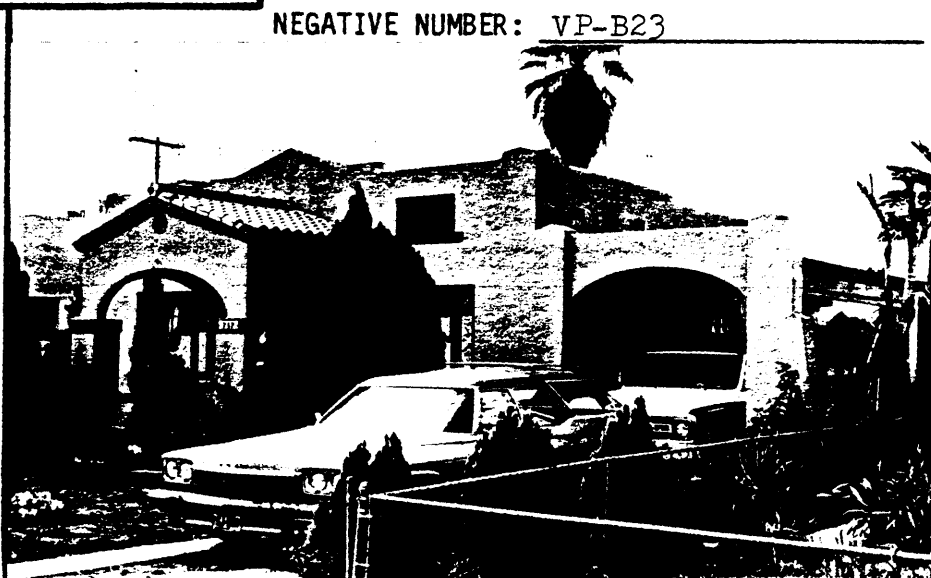
STORIES: 1 DIMENSIONS: (l) 50 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Circular ornament in
attic vents; pedimented parapet

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: _____

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SE
 NEGATIVE NUMBER: VP-B23

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Entry porch with low pitch gable roof and arched openings
Wing wall buttress at facade
Reverse plan from VP-2-11, 745 E. McKinley

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) A. S. Ackel (wife: Agnes)
Asst. Mgr. Hotel Jefferson

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETSCAPE CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET X COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: R. J. Morris

ADDRESS/LOCATION: 759 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-184A / ACRE(S)

OWNER: Gertrude Remer

OWNER ADDRESS: 6520 N. 19th Drive
Phoenix, AZ 85015

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1925

ARCHITECT/BUILDER: _____

INTEGRITY: Unaltered

CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-15

USGS QUAD: _____

T R S / $\frac{1}{4}$ OF THE $\frac{1}{4}$

UTM _____

Description (contd.)

ROOF TYPE: Flat w/ parapets; gable

ROOF SHEATHING: Rolled asphalt;
asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood double-hung 8/1;
wood casement 4 and 8 light

ENTRY: Central

PORCHES: Veranda

STOREFRONTS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 30

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Round gable vent;
stepped parapet

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: _____

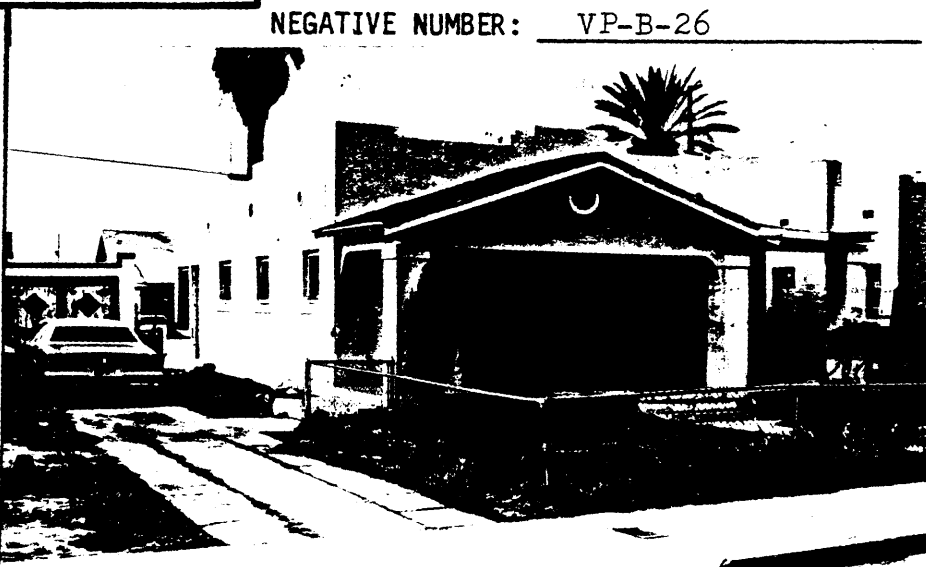
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 4-18-87 VIEW: to SW

NEGATIVE NUMBER: VP-B-26

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Low pitch gable over porch; pergola attached
Similar plan to VP-2-10, 739 E. McKinley

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) R. J. Morris (wife:Mary) salesman

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Spanish Colonial Revival

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place

HISTORIC NAME: J. Avramis

ADDRESS/LOCATION: 763 E. McKinley Street

CITY/TOWN: Phoenix

TAX PARCEL NUMBER: 116-32-185/186/ ACRE(S)

OWNER: Samuel & Irene Fierro

OWNER ADDRESS: 763 E. McKinley Street
Phoenix, AZ 85006

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: Multi-residential (duplex)

STYLE: Bungalow

CONSTRUCTION DATE: 1924

ARCHITECT/BUILDER: _____

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Maricopa SURVEY SITE: VP-2-16

USGS QUAD: _____

T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4

UTM _____

Description (contd.)

ROOF TYPE: Med. pitch jerkinhead

ROOF SHEATHING: asphalt shingles

EAVES TREATMENT: Exposed rafters

WINDOWS: Wood casement, 9 light,
tartan pattern

ENTRY: Two entries, both off-center

PORCHES: Entry

STOREFRONTS: _____

NOTABLE INTERIOR: _____

OUTBUILDINGS: Contributing garage

ALTERATIONS: _____

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 50 (w) 45

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Scalloped knee braces
at gables; buttress at porch

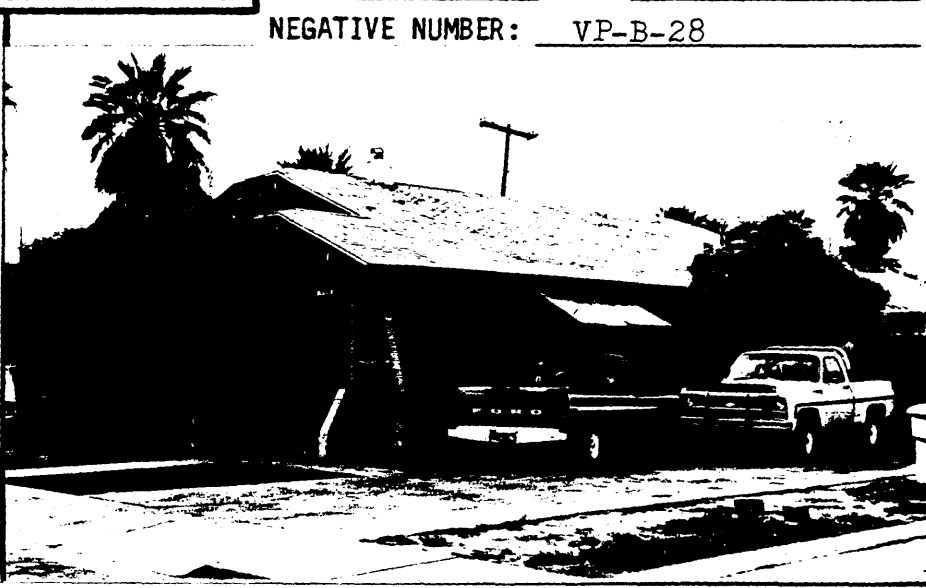
PHOTOGRAPH

PHOTOGRAPHER: R. Graham

DATE: 4-18-87 VIEW: to SE

NEGATIVE NUMBER: VP-B-28

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Same plan, reversed, as VP-1-16, 764 E. McKinley Street
Plan responds to location on corner lot

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Jas. Avramis (wife: Angelina),
waiter

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of post-WWI Bungalow

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of second developmental period of neighborhood.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

VICTORIA PLACE HISTORIC DISTRICT

NONCONTRIBUTING PROPERTIES

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: W. M. Doheney
 ADDRESS/LOCATION: 723 N. 7th Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-170 / _____ ACRE(S)
 OWNER: Jim A. Rhodeos
 OWNER ADDRESS: 723 N. 7th Street
Phoenix, AZ 85006
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1917
 ARCHITECT/BUILDER: _____
 INTEGRITY: Additions
 CONDITION: Fair

COUNTY: Maricopa SURVEY SITE: VP-2-1
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ 1/4 OF THE _____ 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Med. pitch gable
 ROOF SHEATHING: Asphalt shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood double-hung
 ENTRY: Central
 PORCHES: Veranda
 STOREFRONTS: _____

DESCRIPTION

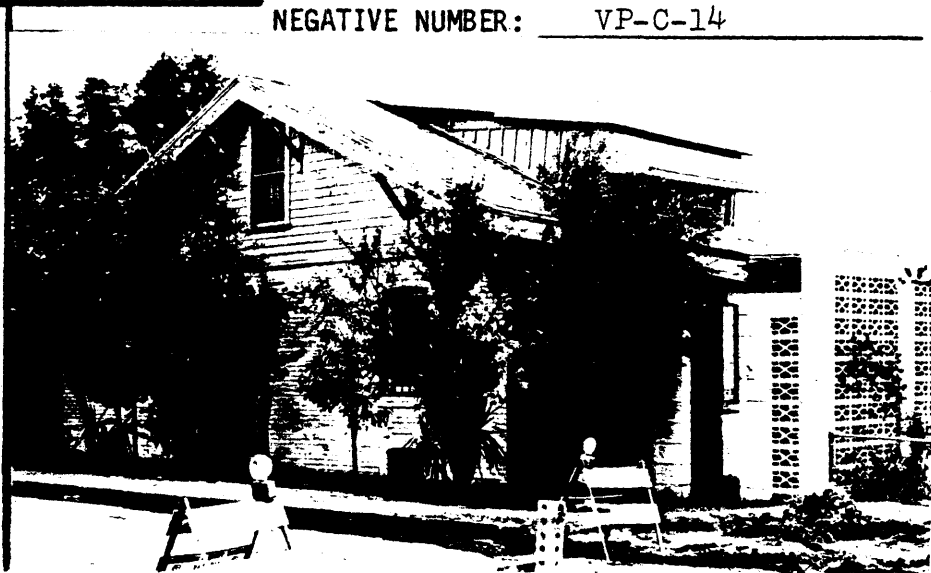
STORIES: 1-1/2 DIMENSIONS: (l) 35 (w) 70
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: Knee braces at eaves

NOTABLE INTERIOR: _____
 OUTBUILDINGS: _____
 ALTERATIONS: Concrete block screen wall added in front (see discussion)

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 10/87 VIEW: to SE
 NEGATIVE NUMBER: VP-C-14

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Shed dormer with awning added to it
Security bars added to windows
Back yard paved for parking

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING X ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) W. M. Doheney

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character

CULTURAL AFFILIATIONS _____

ARCHITECTURAL MERIT Typical example of Bungalow

MAJOR ARCH. FORM/MATERIAL _____

ENGINEERING/STRUCTURAL _____

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

Representative of first developmental period of neighborhood.

VP-2-1 is considered noncontributing because of the two concrete block walls which screen the front facade. Should these be removed, the property could be considered contributing.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET ___ COMMERCIAL X CENTRAL SQUARE ___
CBD: ___ OTHER: _____

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4-87 DATE FORM COMPLETED 10-87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: Victoria Place
 HISTORIC NAME: John Graham
 ADDRESS/LOCATION: 721 E. McKinley Street
 CITY/TOWN: Phoenix
 TAX PARCEL NUMBER: 116-32-174 / _____ ACRE(S)
 OWNER: Chester and Wilma Stevenson
 OWNER ADDRESS: 6633 S. 12th Street
Phoenix, AZ 85040
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Bungalow
 CONSTRUCTION DATE: 1924
 ARCHITECT/BUILDER: _____
 INTEGRITY: Windows altered; additions
 CONDITION: Poor

COUNTY: Maricopa SURVEY SITE: VP-2-5
 USGS QUAD: _____
 T _____ R _____ S _____ / _____ ¼ OF THE _____ ¼
 UTM _____

Description (contd.)

ROOF TYPE: Medium pitch gable
 ROOF SHEATHING: Wood shingles
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Wood fixed sash, double-hung
 ENTRY: Two central entries at right angles, wood with glass lights
 PORCHES: Entry
 STOREFRONTS: _____

DESCRIPTION

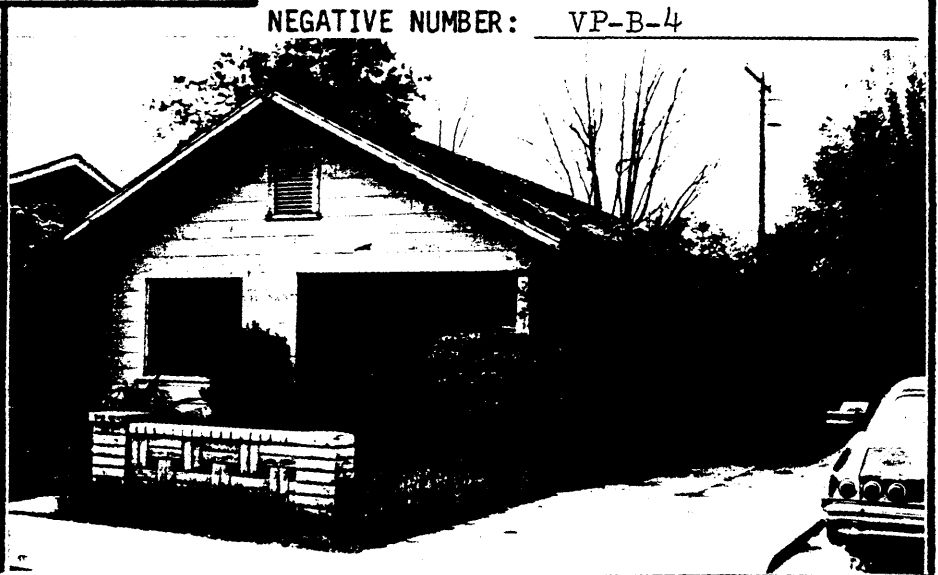
STORIES: 1 DIMENSIONS: (l) 50 (w) 40
 STRUCTURAL MATERIAL: Wood frame
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Asbestos siding
 APPLIED ORNAMENT: Tapered porch column

NOTABLE INTERIOR: _____
 OUTBUILDINGS: Contributing garage
 ALTERATIONS: Intrusive side addition; sheathed with new siding (see back)

PHOTOGRAPH

PHOTOGRAPHER: R. Graham
 DATE: 4-18-87 VIEW: to SE
 NEGATIVE NUMBER: VP-B-4

SKETCH MAP:



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Glass in entry doors has diamond pattern
Front window replaced with fixed glazing

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING X ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) John Graham (wife: Mattie)

RELATIONSHIP TO LOCAL DEVELOPMENT Reflects residential neighborhood character
CULTURAL AFFILIATIONS___

ARCHITECTURAL MERIT Typical example of Bungalow in neighborhood

MAJOR ARCH. FORM/MATERIAL___

ENGINEERING/STRUCTURAL___

DISTRICT/STREETScape CONTRIBUTION Part of intact streetscape of 1910s-1920s

DISCUSSION AS REQUIRED:

VP-2-5 is considered noncontributing due to the applied siding. Should this sheathing be removed, this building could be considered contributing.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:___

NATIONAL REGISTER STATUS:___

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR R. Graham SURVEY DATE 4/87 DATE FORM COMPLETED 10/87

VICTORIA PLACE.

A SUBDIVISION

OF

LOTS 239 BLOCK 7.

OF

DENNIS ADDITION

TO

PHOENIX, ARIZONA.

I, the undersigned, hereby certify that I did during the month of October, 1911, survey and subdivide Lot 9, Block 7 of Dennis Addition to Phoenix, Arizona, herein described as Victoria Place, the Blocks, Lots and Street and their dimensions are correctly shown on this map.

Harry E. Jones
Civil Engineer.

I, Eric Hanson and Annie M. Hanson his wife, the owners of Lots 2, P. X. O'Brien and M. P. O'Brien owners of Lot 9, of Block 7 of Dennis Addition to Phoenix, Arizona, a plat of said Addition and in the Records Office of Maricopa County, Arizona, in Book 1 of Maps, Page 8, that we and the said premises to be surveyed and subdivided as shown on the accompanying plat, which plat is a true and correct plat of the survey and subdivision of said premises and the whole of the Blocks, Lots and Street on this plat are of the size therein shown, that the same hereby dedicated to the use of the Public.

Eric Hanson
Annie M. Hanson

OF ARIZONA

SS

MARICOPA.

M. C. Barrum a Notary Public in and for the County of Maricopa, and Territory of Arizona, on this day personally appeared Eric Hanson and Annie M. Hanson, his wife, known to me to be as whose names are subscribed to the foregoing instrument, and they severally acknowledged that they executed the same for the purpose and consideration therein expressed under my hand and seal of office this 6th day of December, 1911.

M. C. Barrum
Notary Public.

Commission expires the 31st day of October 1915.

OF ARIZONA

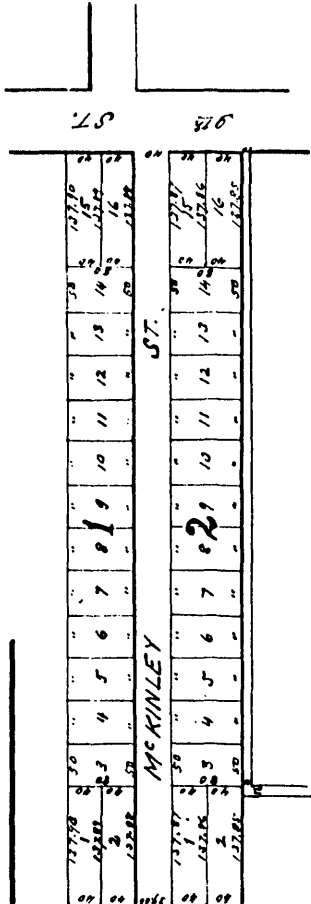
SS

MARICOPA.

I, Genevieve M. Murphy, a Notary Public, in and for the County of Maricopa and Territory of Arizona, on this day personally appeared P. X. O'Brien and M. P. O'Brien, his wife, known to me to be as whose names are subscribed to the foregoing instrument, and they severally acknowledged that they executed the same for the purpose and consideration therein expressed under my hand and seal of office this 6th day of November 1911.

Genevieve M. Murphy
Notary Public.

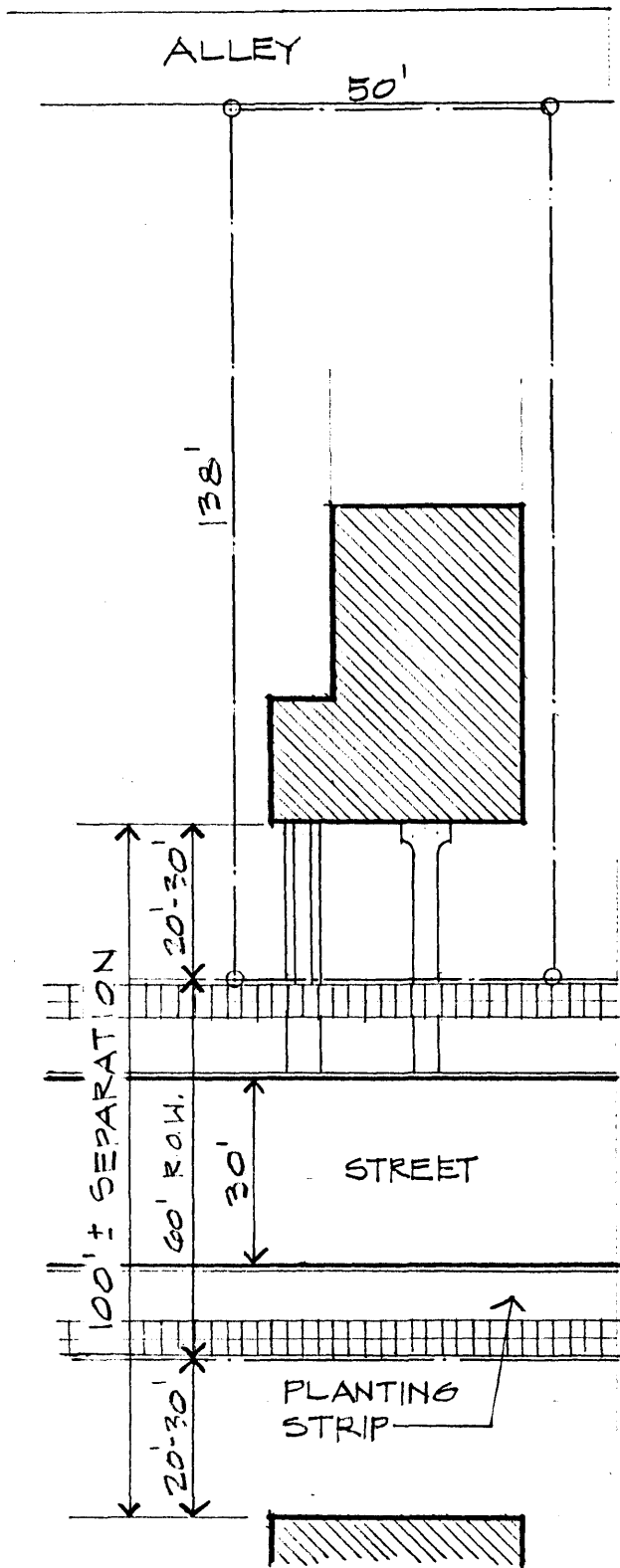
Commission expires the 13th day of February, 1915.



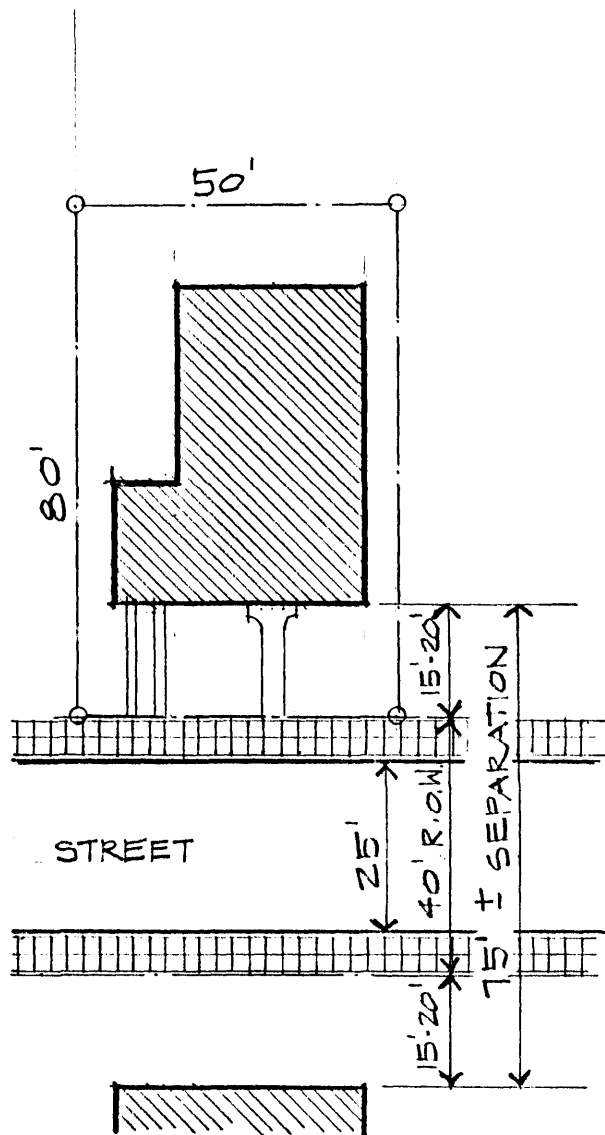
Scale 1 Inch = 100 Ft.

Harry E. Jones

355 P
5 Maps
6



TYPICAL
DENNIS ADDITION
LOTS & STREETS



VICTORIA PLACE
LOTS & STREETS



Streetscape, 1921

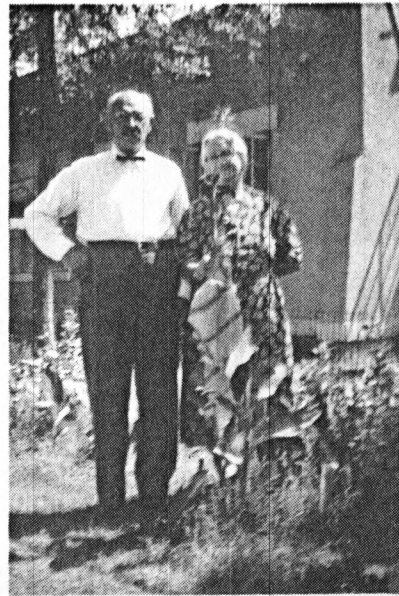


Streetscape, 1927

The same two sisters appear in both photographs.
Note street trees and dirt street in 1921.



738 E. McKinley St.
Ca. 1935 VP-1-9



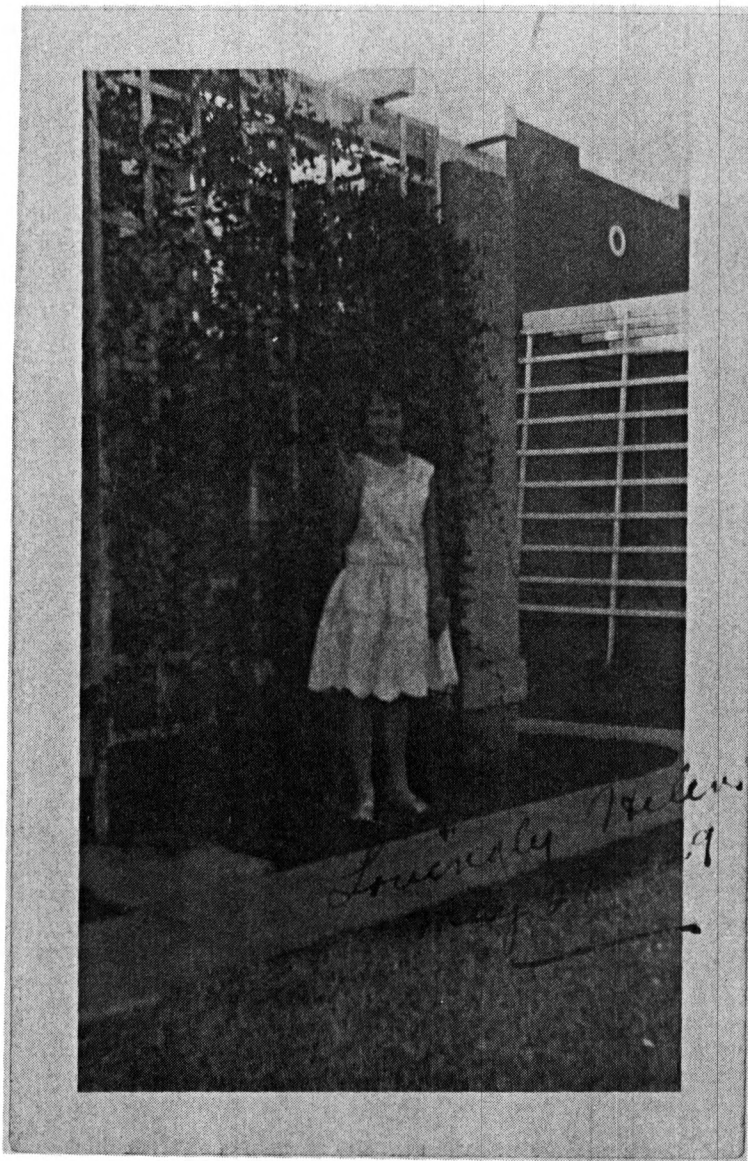
738 E. McKinley St.
Ca. 1935 VP-1-9



717 E. McKinley St.
Ca. 1930 VP-2-4



717 E. McKinley St.
Ca. 1930 VP-2-4



758 E. McKinley St. (L)
760 E. McKinley St. (R)
1929

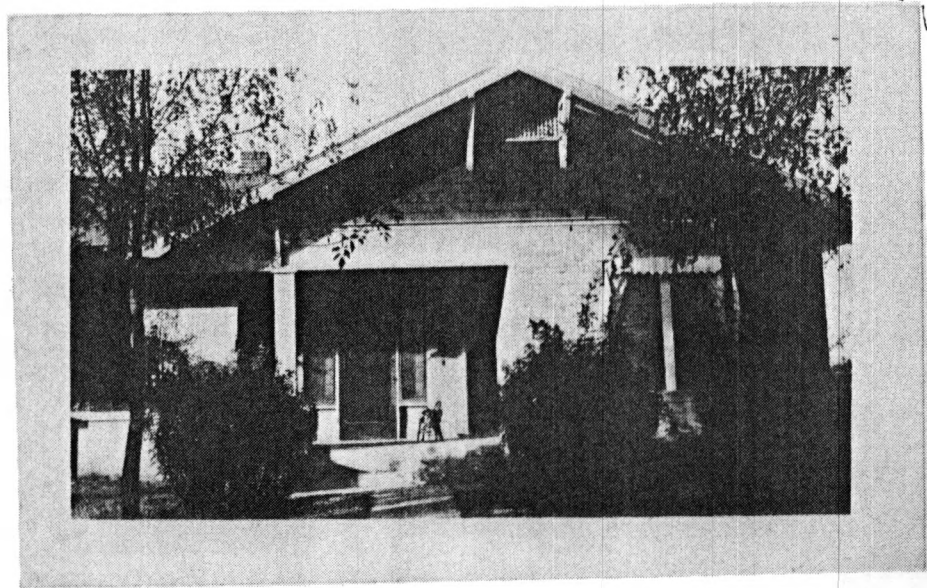
VP-1-14
VP-1-15

*Lucy Miller
May 1929*



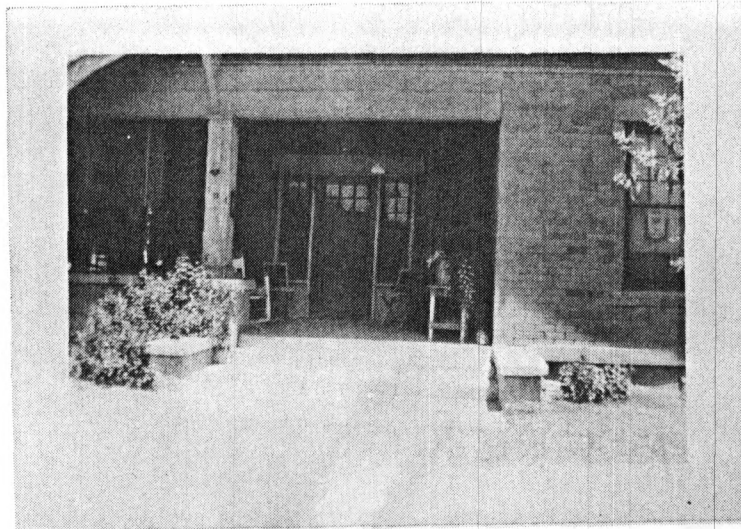
734 E. McKinley St.
Ca. 1916

VP-1-8



734 E. McKinley St.
Ca. 1921

VP-1-8



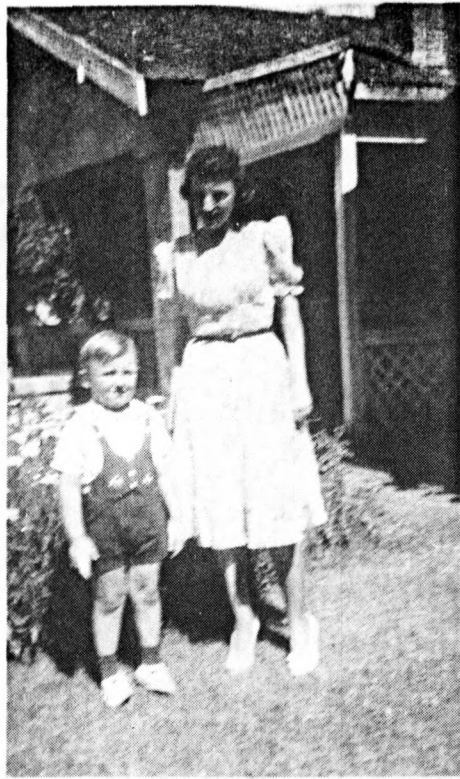
734 E. McKinley St.
Ca. 1940

VP-1-8



Interior, 734 E. McKinley St.
Ca. 1935

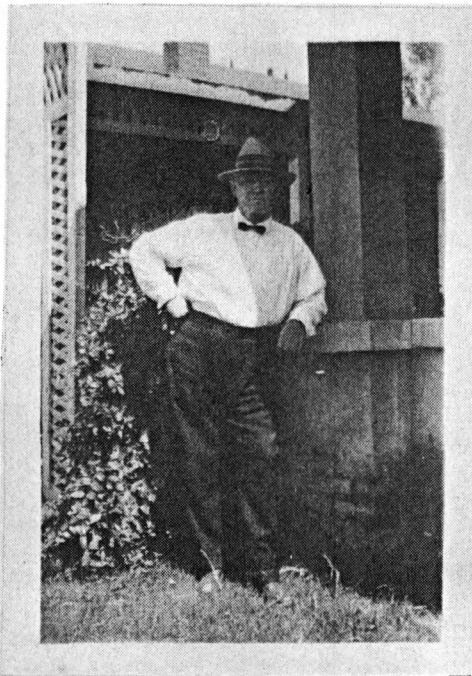
VP-1-8



730 E. McKinley St. VP-1-7
Ca. 1935



730 E. McKinley St. VP-1-7
Ca. 1935



730 E. McKinley St.
734 E. McKinley St.
Ca. 1935



730 E. McKinley St. VP-1-7
734 E. McKinley St. VP-1-8
Ca. 1935