

United States Department of the Interior
National Park Service



426

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

Historic name New Richmond Hotel

Other names/site number Hotel New Richmond, The Downtowner, Downtown Hotel

2. Location

street & number 308 4th Avenue South not for publication

city or town Seattle vicinity

State Washington code WA county King code 033 zip code 98104

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Allyson M.
Signature of certifying official/Title

5-20-11
Date

WASHINGTON STATE HISTORIC PRESERVATION OFFICE
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I, hereby, certify that this property is:

- entered in the National Register.
 See continuation sheet
- determined eligible for the National Register.
 See continuation sheet
- determined not eligible for the National Register.
- removed from the National Register.
- other (explain:)

Signature of the Keeper

Date of Action

C. P. R. [Signature]

7/12/2011

5. Classification

Ownership of Property

(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property

(Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

(Do not incl. previously listed resources in the count.)

Contributing	Non-Contributing	
1		buildings
		sites
		structures
		objects
1		Total

Name of related multiple property listing:

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

N/A

6. Functions or Use

Historic Functions

(Enter categories from instructions)

DOMESTIC: hotel

COMMERCE/TRADE: specialty store

Current Functions

(Enter categories from instructions)

DOMESTIC: multiple dwelling,

COMMERCE/TRADE: restaurant

7. Description

Architectural Classification

(Enter categories from instructions)

Late 19th Century and 20th Century Revivals:

Classical Revival

Materials

(Enter categories from instructions)

foundation concrete

walls Concrete, terra cotta

roof asphalt

other

Narrative Description

(Describe the historic and current condition of the property.)

SEE CONTINUATION SHEET

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Narrative Description

The 9-story New Richmond Hotel was built in 1911 and is located at the southeast corner of 4th Avenue South and South Main Street. It was designed in a restrained Neoclassical Revival Style, and exhibits Beaux Arts style elements with its enriched entablature and raised terra cotta quoins flanking the windows on the principal facades.

The street-facing facades consist of equally spaced bays, eight bays on 4th Avenue and nine bays on North Main Street. On first two floors of both facades, each bay is flanked by a pilaster with a simple base, recessed panels above and a capital containing egg and dart detailing. There is a continuous belt course on top of the 2nd floor level, which separates the first two floors visually from the upper floors.

The storefronts at the first floor level on the 4th Avenue façade contain either aluminum storefront, marblecrete panels or a combination of both. There are wood frame windows at the south mezzanine of this façade and above the residential entry. There are marblecrete panels at the north mezzanine.

There are storefronts at four bays on the North Main Street façade. Three are an aluminum storefront system; one is a wood frame system. The remainder of the first floor bays on the North Main Street facade contain either painted panels or overhead doors. Two storefront bays on the North Main façade are recessed. One contains a storefront entry with solid door adjacent to it, the other contains an overhead door with a solid door adjacent to it. The mezzanine contains wood frame windows on most bays, except the west bay, which contains marblecrete. It does not appear that any of the wood windows on the facades are original. The aluminum windows and marblecrete are not original, and do not appear until a 1966 photograph.

On the both the 4th Avenue and North Main Street facades, each bay above the 2nd floor contains paired wood double hung windows joined with a fixed wood mullion. A terra cotta lintel with key and continuous bracket sits on top of each window bay. In addition, each bay is flanked by raised terra cotta quoining, with the exception of the top floor, where each bay is flanked by two large galvanized iron brackets with zinc garlands. On the 4th Avenue façade, there is a continuous raised panel with moulding between the quoins, constructed of terra cotta. It runs from the 3rd through 8th floors. It emphasizes the verticality of the facade. The North Main Street facade contains plain terra cotta tiles set in a running bond pattern between the quoins. A continuous cornice band separates the 8th and 9th floor windows. Both the west and north facades are capped with an enriched entablature above the brackets. A galvanized iron baluster, located on the parapet above the entablature, was removed after 1937.

The facades to the south and east are less elaborate in appearance, with flat painted cement plaster exterior and painted double hung wood windows. There is one simple continuous raised galvanized iron cornice band that extends continuously between the 8th and 9th floors on both facades. When the building was constructed, the two basements had exposed walls on the south and east sides, with windows. These walls have since been covered with infill that raised the grade at the parking lot to the south and east.

The building occupies the entire site on the basement levels and first floor, but is 'U' shaped at the upper floors, with the opening of the 'U' facing east. The first floor contains a residential lobby near the center of the 4th Avenue façade, and commercial storefronts at the remainder of the bays, with the exception of the north side, which has one bay that contain exits from the upper floor stairs and one bay that contains a trash room. The former hotel lobby is located behind the residential lobby on the first floor. A stair leads from the former lobby to the southeast mezzanine. Several doors lead from the former lobby to the south most retail bay, which used to house a restaurant.

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There is also a stair on the north side of the first floor that leads down to the basement. This stair used to be part of a north entry to the hotel that no longer exists.

The residential lobby floor is a combination of ceramic tile and terrazzo. They appear to be original. The lobby still contains some of the plaster cornice and capital details. It also contains marble wainscot on several of the walls and a marble surround at the elevators. The former hotel lobby has a terrazzo floor, plaster cornice and column capital details and the original skylight. The plaster details are in bad repair. The skylight currently has roofing over it.

There are three mezzanines off of the first floor. One is located at the southwest corner of 4th Avenue and contains the residential management office. It is accessed from a stair that is adjacent to the residential lobby. The second is located at the northwest corner of the building on 4th Avenue and contains a residential unit. It is accessed from a stair off of the north exit corridor. The third is located in the southeast corner of the building and contains a residential unit. It is accessed off of the former hotel lobby. The southwest and southeast mezzanines appear to be original, though the southeast mezzanine was not a residential unit when it was built. The northwest mezzanine was added after the original construction, but its date is not known.

The 'U' shaped upper floors contain residential units that flank both sides of a double-loaded corridor. The corridor floor contains vinyl tile flooring. The walls are painted plaster with a painted wood chair rail. The ceiling is painted plaster. The north and south corridors contain exposed beams with painted plaster finish. The west corridor does not have exposed beams. The doors to the residential units are painted solid wood with painted wood casing. Former transoms above the doors have been infilled with painted plywood or gypsum board. A painted wood casing surrounds the painted metal elevator doors. The residential units contain painted plaster or drywall with wood-look sheet vinyl floors at the living areas and sheet vinyl floors at the restrooms. The wood windows in the units are painted with painted wood casing. It appears that the door and window casings are original.

The basement originally had a dining hall for the hotel, but now contains tenant laundry and storage. There is a ramp that leads down from the exterior at the south east corner. The sub-basement contains storage, building maintenance shop and boiler room. The floors at both basements are unfinished concrete. The walls are painted plaster or gypsum wallboard. The ceilings are painted plaster or unfinished concrete.

There are four stairs that lead down from the upper floors to building exits. Two of the stairs are located at the 'knuckles' of the 'U' and were originally open to the upper floor corridors. They have since been enclosed. Two of the stairs are on the east side of the building and both exit to a corridor that leads to the north, adjacent to the trash room.

Changes over time include the following: the exterior terra cotta panels and galvanized iron entablature on both 4th Avenue and South Main have been painted some time after 1937. Exact date of painting is not known. In addition, some of the terra cotta capitals at the exterior of the building on the 2nd floor are no longer in place, or are broken. The balusters at the roofline above the enriched entablature were removed sometime after 1937. The original storefronts are indicated as Philippine Mahogany along 4th Avenue and South Main. They all appear to have been replaced, with the exception of the windows above the residential entry, which have been painted. The upper floor wood windows appear to be original.

The drawings for the original hotel lobby indicate that the entries and the lobby were to receive a scagliola wainscot. This is a painted plaster made to appear like stone. None of the scagliola still exists however, there is a

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marble wainscot in several locations, as well as a different kind of marble at the elevator surround. It is not known when the marble was added, though it is referenced in descriptions of the original hotel and is not referenced in the 1943 War Department renovation drawings. The All other interior details have all been removed, including the hotel check-in desk.

The hotel and commercial spaces along 4th Avenue were renovated and changed several times. It is known that the New Richmond Laundry was introduced at the First Floor and Basements by 1918, but original drawings do not exist. Records indicate the following alterations: 1938 renovation to the New Richmond Laundry and New Richmond Coffee Shop by Graham and Painter; 1940 New Richmond Coffee Shop renovation by Bjarne Moe; 1944 renovation of the New Richmond Laundry by Young & Richardson, 1949 Cocktail Bar at the New Richmond Hotel by Young & Richardson; and 1962 New Richmond Hotel office alterations by Thomas Albert Smith.

The basement level was placed below grade and the windows were infilled, possibly when the grade at the parking lot site to the south was revised to accommodate a gas station in the 1950s. A ramp from the exterior to the basement was added to the building in 1987. It was designed by Fraley and Holsman.

The hotel lobby along 4th Avenue and upper floor hotel rooms were all renovated in 1970 by Bassetti Architects for low income housing use. The original doors at the upper floors were removed, presumably during this renovation. The transoms above the doors were filled in with painted plywood or gypsum wallboard. The two stairs at the 'knuckles of the upper floors were enclosed at that time, but their original flooring and handrails still exist. All finishes and fixtures were replaced, including lighting and plumbing fixtures.

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years old or achieving significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

Architecture

Period of Significance

1911

Significant Dates

1911

Significant Person

(Complete if Criterion B is marked above)

Cultural Affiliation

Architect/Builder

Gould & Champney (architect)

Narrative Statement of Significance

(Explain the significance of the property.)

SEE CONTINUATION SHEET

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form.)

SEE CONTINUATION SHEET

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- # _____
- recorded by Historic American Engineering Record# _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

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Statement of Significance

The New Richmond Hotel Building is historically significant under Criterion C, as a property that embodies the distinctive characteristics of a type, period, and method of construction and represents the work of two noted Seattle architects, Édouard Frère Champney and Augustus William Gould. The hotel is the best surviving example of a design by the short-term partnership. Constructed in 1911, the nine-story, Neoclassical Revival-style building rose in a record time of six-months in concert with William Henry Harriman's opulent Union Station (Patterson, 1911), located a block south.¹ Harriman's station stood a block east of James Jerome Hill's Northern Pacific/Great Northern Union Station (Stem and Reed, 1907), later known as King Street Station. The two grand railroad depots formed the premier entrance to Seattle. The New Richmond Hotel catered to travelers arriving at the stations. In an advertising brochure, it offered nightly, weekly, and monthly rates, and dubbed itself "one of Seattle's largest and best popular priced hotels."

The hotel's immediate neighborhood was historically part of Seattle's Japantown. Now known as the Downtowner (an apartment building), the hotel is located just outside of the Chinatown National Register Historic District. The period of significance for the hotel begins and ends in 1911, the year of the hotel's construction.

Contextual Setting and Contribution to Our History

The New Richmond Hotel's owner was R. A. McCormick, a successful Seattle pioneer and real estate developer. At the time of the hotel's opening, a columnist for *The Seattle Post-Intelligencer* credited McCormick for having the "spirit that in the days of Seattle's infancy made men take chances on the growth and development" of the city. The reporter noted that "It takes nerve to put several hundred thousand dollars in any sort of a venture and still more nerve to place that amount in one where the chances are only an even gamble."²

Between 1900 and 1920, Seattle's population tripled from 80,000 to a quarter of a million people. To accommodate the boom, City Engineer Reginald Heber Thomson forged ahead with grandiose schemes to recontour downtown's hills and fill in its tide flats. When J. J. Hill brought his Great Northern and Northern Pacific Railroads to Seattle, Thomson persuaded him to build the terminal and elegant station (1907) in a derelict neighborhood on the tide flats south of Jackson Street, and to bore a mile-long railroad tunnel (1903-4) underneath the downtown core. In 1907-8, Thomson began to level the city with the Jackson Street Regrade which cut away the hill and lowered its steepest grades from 15 to 5 percent. Almost every building on the hillside was razed or moved. Chinatown and Japantown surged east from Seattle's historic downtown core, and took root on the leveled ground.

In 1906, Hill's rival, W.H. Harriman began quietly purchasing underwater acreage in south Pioneer Square for his Union Pacific station and freight yard.³ Harriman reportedly wanted to build his station on solid ground at Fourth and Main, but McCormick outbid him.⁴ As a result, Harriman was forced to build his depot on pilings. McCormick's hotel replaced deteriorating wood-frame buildings and sink holes in the old neighborhood that

¹ Burlock, J. C., "McCormick [sic] Erects Model Building," *The Seattle Post-Intelligencer*, Aug. 27, 1911, Building sect., 5

² Ibid

³ Andrews, Mildred, ed. *Pioneer Square: Seattle's Oldest Neighborhood*. Seattle: University of Washington Press, 2005.

⁴ Malsed, Helen to Kathleen Peck. Research notes for "Fashions in Design of Fine Old Hotels," Seattle, Nov. 4, 1970. Source: Seattle Museum of History and Industry

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included small factories, warehouses, working men's hotels, and bawdy houses. The city contributed street improvements, including streetcar lines that gave the new hotel "one of the finest outlooks and most valuable locations in the city."⁵

As an elegant accommodation for railroad travelers, the New Richmond rivaled the Beaux Arts-style Frye Hotel (Bebb & Mendel, 1906-1911), that opened three blocks northwest at Third and Yesler. Seventy-five percent of the New Richmond's 325 rooms had baths or showers, while the remainder had basins with hot and cold running water. The *Seattle Post-intelligencer* said, "In point of excellence of plumbing fixtures the New Richmond hotel is the best in Seattle, it having more rooms with bath than any other . . ." The lobby is described as "a marvel of beauty and spaciousness, being 64 x 27 feet, and finished in Alaska marble and mahogany" with a 27-foot ceiling, "composed of art glass." The article notes the size of the windows: "These are unusually large even for a community where the windows in all buildings are of necessity large. Light in plenty is here . . ." ⁶

Built between March 1, and September 1, 1911, the New Richmond Hotel was the tallest structure in its immediate neighborhood. Today, it continues to dominate the streetscape. With the exception of alterations to the storefronts, the building's façades remain intact and retain their historical integrity.

In addition to overnight guests, the New Richmond was a residential hotel with long-term tenants. Its massing, height, and decorative terra cotta stood in contrast to other nearby buildings east of it in burgeoning Japantown, such as the Panama Hotel (1910) and the Northern Pacific Hotel (John Graham, Sr., 1914), both of which are on Sixth Avenue. McCormick endeavored to distinguish his establishment from the Asian immigrant community and from its hotels that catered largely to single men. A 1923 brochure for the New Richmond Hotel states, "All American Owned - All White Help."⁷ In addition to hotel rooms, dining areas, an elegant lobby, and a ballroom, the hotel featured storefronts that housed other businesses, including W. Nakamura Watchmakers, Richmond Barbers, the Richmond Café, Richmond Tailors, and others. In 1919, A. D. Tomlinson opened the New Richmond Laundry with facilities in the building's basement and sub-basement, where the business operated until 1962.⁸ The laundry served hotel guests as well as clients from the Pioneer Square neighborhood.

Throughout the teens, twenties and thirties, the hotel played host to a variety of parties, meetings, and social events. Such events ranged from hosting the 46th Annual Convention of the American Poultry Association in 1922 with over 200 delegates, the Wear Ever Aluminum Company district convention in 1931, to the meeting location for the Seattle Homeownership Club in the 1930s.

With increased automobile traffic in the 1920s, the New Richmond offered parking facilities on its adjacent lot. The then newly completed Pacific Coast Highway went past the hotel's front door on its Fourth Avenue route through downtown Seattle. As before, overnight guests also came from the railroad stations, but in steadily decreasing numbers. Railroad travel to Seattle and use of the stations was in decline in part because of the

⁵ Ibid. Burlock

⁶ Ibid. Burlock

⁷ "Seattle New Richmond Hotel," Brochure, June 1, 1923. Source: Seattle Museum of History and Industry Archives.

⁸ Seattle Directories, R. L. Polk and Company, Inc., Seattle, 1913 - 1962. The 1962 Seattle Directory lists the New Richmond Laundry Supplies Inc. with three locations, including 300 Fourth Ave. South (the hotel building), 1263 Republican Street, and 5501 25th Avenue NE. In 1965, the sole address for New Richmond Laundry Supplies Inc. is 5501 25th Avenue NE, but A. H. Tomlinson's New Richmond Linen Supply Inc. continues operations at the New Richmond Hotel Building.

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flophouses, gambling joints and sweatshops that had turned Seattle's original downtown south of Yesler Way into the Skid Road district.

In an effort to revitalize the stations, Seattle leaders came up with a plan that was meant to bypass the squalor. In the late 1920s, city engineers sliced through blocks of Skid Road buildings to create a direct route from the downtown business district to the stations. The new street, known as Second Avenue Extension, terminated in front of the New Richmond. But anticipated development along the new street did not occur. The Great Depression propelled the area adjacent to the Second Avenue Extension into a decades-long downward spiral.⁹

The New Richmond weathered the Depression. During this time the Seattle architectural firm of Graham & Painter designed alterations to the laundry and coffee shop (plans signed by John Graham on April 22, 1938).¹⁰

At the start of the war in 1941, the Army had approximately 74,250 beds in about 200 station hospitals and 14 general hospitals. In anticipation of the war casualties, the Army sought to increase the number of beds three-fold. In order to do this quickly the Army converted a variety of civilian buildings across the county into hospitals. Many were former hotel buildings like the New Richmond Hotel. In March 1943, the Army commandeered the nominated building for a hospital and military family housing. Tenants received notice to vacate, and armed guards were posted at the entrances. The conversion, lead by the US Army Corp of Engineers, included several operating rooms, emergency power supply and lead-shielded x-ray rooms. The approximate \$7.5 million dollar conversion was completed in record time, however by then the war was winding down and the newly completed hospital was obsolete before it opened. On June 30, 1944, *The Seattle Times* noted that the Army was returning the building to its owners and that it would re-open as a hotel in August. As part of the process the War Department renovated the building, which included returning the building back to the owner fully refurbished.¹¹ In July, the Seattle architectural firm, Young & Richardson was hired to design alterations to the lobby and the laundry.¹² Five years later, Young & Richardson designed the hotel's new cocktail bar.¹³

In the 1960s, the hotel had periods of respectability, but sharp decline set in. In 1962, a Seattle architect, Thomas Albert Smith, filed plans with the city for alterations to the hotel office.¹⁴ In September 1964, the military declared the New Richmond "off limits" to military personnel, due to numerous arrests there for prostitution, drugs, and liquor violations.¹⁵ In 1965, following an abatement order, the absentee owner closed the hotel and evicted A. R. Thomas, who operated it under a lease.¹⁶ A suit against the New Richmond was dismissed in King County's

⁹ Ibid. Andrews, pp. 94-117

¹⁰ City of Seattle, Department of Planning and Development, Archives. Based on the date, this would be John Graham, Jr.

¹¹ "Army Returning Hotel to Owners, *The Seattle Times*, June 30, 1944, p. A-6

¹² City of Seattle, Department of Planning and Development, Archives. Young & Richardson, Plans for New Richmond Hotel Lobby and Laundry alterations, July 24, 1944

¹³ Ibid. Young & Richardson, Plans for Cocktail Bar at the New Richmond Hotel, September 2, 1949

¹⁴ Ibid. Thomas Albert Smith, Plans for New Richmond Office Alterations, 1962

¹⁵ "New Richmond Hotel Declared 'Off Limits'." *The Seattle Times*, September 27, 1964, p. 11

¹⁶ "Owner Closes Hotel New Richmond," *The Seattle Times*, January 25, 1965, p. 9

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Superior Court after the owner canceled Thomas' lease, then closed and remodeled the premises. The dark building was painted white.¹⁷ The building reopened as the Down Town Hotel Apartments.¹⁸

The renovated building caught the eye of The Boeing Company which was expanding and recruiting out-of-state workers at a time when Seattle's booming population resulted in a critical shortage of housing. The Boeing Company referred new employees to the Downtown Hotel, which provided temporary lodging, largely for single men. However, a few rooms were reserved for single women or for families. According to *The Seattle Times*, the renovated hotel had more than 500 available units.¹⁹

In 1970, Martin and Howard I. Seelig purchased the building and rehabilitated approximately 300 rooms into 240 apartments. Under a provision of the National Housing Act FHA rent supplement program, the Seelig brothers re-opened the building as the Downtowner with subsidies for low income renters.²⁰ Today, the Downtowner continues to provide housing for qualified renters who meet low income requirements.

Architectural Significance

Designed in the Neoclassical Revival style, the large and imposing commercial building features restrained terra cotta ornamentation on a reinforced concrete frame—a construction technique that had become popular in Seattle by 1910. The design features Beaux Arts influences, such as the original decorative parapet (damaged and removed after the 1949 earthquake), enriched entablature featuring decorative brackets, and quoining at the window surrounds.

The building was designed by two of Seattle's most prominent architects, Édouard Frère Champney (1874-1929) and Augustus William Gould (1872-1922) during their brief partnership that lasted from 1909 to 1912. The New Richmond Hotel is significant as a rare surviving example of work produced by this partnership.

Lacking in academic training, Gould was one of Seattle's last major architects to enter the profession with a background that consisted of experience in the building and contracting trades. Born in Nova Scotia, he studied at Massachusetts Institute of Technology, but did not earn a degree. He moved from the contracting business to architecture in Boston. When he opened a practice in Seattle in 1903, he brought with him knowledge of East Coast construction techniques in high-rise steel frame business buildings with terra cotta cladding. As an affable and engaging speaker, he influenced new design and construction technologies in downtown Seattle.²¹

Champney was one of the few turn-of-the-century architects, who came to the Pacific Northwest with French architectural academic training, experience in large-scale urban projects, and a knowledge Beaux Arts Neoclassical styles. Although born in France, he was of English ancestry. He was educated in the United States, graduated with a B.A. from Harvard University in 1896, and then earned a second degree from the Ecole des Beaux-Arts in Paris. On return to America, he worked for a succession of prominent East Coast firms, where he collaborated on designs for several of the great turn-of-the-century expositions. As chief designer for the Howard &

¹⁷ "Richmond Hotel Suit Is Dismissed," *The Seattle Times*, March 17, 1965.

¹⁸ Lunzer, Jean Hudson, "New Richmond Hotel to Get New Life as Low-Cost Housing," *Seattle Post-Intelligencer*, January 24, 1971, p. 35

¹⁹ Moody, Dick, "Hotel, Respectable Again," *Seattle Daily Times*, July 24, 1966, p. 47

²⁰ *Ibid.* Lunzer

²¹ Andersen, Dennis, "August Warren Gould," in Ochsner, Jeffrey K., ed. *Shaping Seattle Architecture: A Historical Guide to Architects*. Seattle: University of Washington Press, 1994, pp 108-111.

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Galloway Firm of San Francisco, Champney came to Seattle in 1907 to supervise projects for the 1909 Alaska-Yukon-Pacific Exposition.²²

In addition to the New Richmond Hotel, the Gould & Champney partnership's work included the Seattle Electric Company Building (1910-11, destroyed); the Seattle warehouse for Bekins Storage Company (partly built, 1911); the New Farmers Bank in Ellensburg (1911-12 with Fay Spangler).²³ The firm also established an office in Vancouver, British Columbia and designed the Rogers Building for a prominent developer, Jonathon Rogers. The architectural historian, Donald Luxton, notes that the building's "glacial white cladding demonstrates the deft way that classically trained architects of the time could manipulate traditional elements in a thoroughly contemporary manner."²⁴ The architectural historian, Dennis Andersen, references Champney's original rendering for the Glyn Building project, which materialized as the Rogers Building. Champney's design included sophisticated and lively Beaux Arts ornamentation, much of which was ultimately altered and simplified. Andersen describes similar cases, such as Seattle's YWCA building, where Champney's original design included fanciful ornamentation with a roof garden and tower that were never executed.²⁵

Neo-classical design elements in the New Richmond Building are comparable to other works by Gould and Champney. The Seattle YWCA Building (1913) at Fifth and Seneca is considered Italianate because of its tall arched windows. However, it has neo-classical elements, including an enriched entablature with bracket detailing at the cornice line and a clearly segmented exterior with defined base, middle, and top.

Similarly, the Arctic Building (1917), designed by Gould, is regarded as Italianate but with neo-classical design elements that are comparable to those in the New Richmond. The Arctic Building's water table contributes to the segmentation of base, middle and top. In addition, it features a decorative cornice and an entablature with terra cotta ornamentation.

Champney withdrew from the partnership, after Gould became involved in ethical tangles regarding design competition for the new King County Courthouse. Champney alone completed the partnership's design for the Seattle YWCA Building (1913). He continued to practice in Seattle for almost twenty years, but spent much of his time in San Francisco and Berkeley, where he died in 1929. He was a member of the local American Institute of Architects (AIA) chapter, the Architectural League of the Pacific Coast, and the Society of Beaux-Arts Architects.²⁶

Despite his breach of professional ethics that led to his expulsion from the Washington State Chapter of the AIA, Gould retained the commission for the King County Courthouse (1914-17). Gould had sided with Pioneer Square property holders who fought against a plan to move the city-county offices to the Denny Regrade area north of the downtown core. In his design and proposal to rebuild at the original site, Gould grossly underestimated construction costs. Gould ultimately designed the first five floors of the Courthouse (1914-17). Years after his death in 1922, other architects added upper floors.

²² Andersen, Dennis, "Edouard Frere Champney" in Ochsner, Jeffrey K., ed. *Shaping Seattle Architecture: A Historical Guide to Architects*. Seattle: University of Washington Press, 1994, pp. 132-136.

²³ Ibid.

²⁴ Luxton, Donald. *Building the West: Early Architects of British Columbia*. Vancouver, British Columbia, Canada, 2003, p. 263

²⁵ Ibid. Andersen, "Edouard Frere Champney"

²⁶ Ibid.

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Following his dismissal from the AIA, Gould was elected president of the Washington State Society of Architects, a local rival of the AIA. In addition to other architectural commissions in Seattle and Vancouver, B.C., he helped to promote road building, planning, and development throughout the state.²⁷

²⁷ Ibid. "Augustus Warren Gould"

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet -

NEW RICHMOND HOTEL
KING COUNTY, WASHINGTON

Section number 9 Page 1 of 1

Major Bibliographical References

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10. Geographical DataAcreage of Property Less than one acre**UTM References**

(Place additional UTM References on a continuation sheet.)

1	<u>10</u> Zone	<u>5</u> <u>50</u> <u>441</u> Easting	<u>52</u> <u>72</u> <u>054</u> Northing	3	<u> </u> Zone	<u> </u> <u> </u> <u> </u> Easting	<u> </u> <u> </u> <u> </u> Northing
2	<u> </u> Zone	<u> </u> <u> </u> <u> </u> Easting	<u> </u> <u> </u> <u> </u> Northing	4	<u> </u> Zone	<u> </u> <u> </u> <u> </u> Easting	<u> </u> <u> </u> <u> </u> Northing

Verbal Boundary Description

(Describe the boundaries of the property.)

See continuation sheet.**Boundary Justification**

(Explain why the boundaries were selected.)

See continuation sheet.**11. Form Prepared By**name/title Meredith Wirsching, Partner (and Mildred Andrews, Historian)organization Clark Design Group (and Andrews History Group) date 10-05-10street & number 169 Western Avenue West telephone (206) 782-8208city or town Seattle state WA zip code 98119**Additional Documentation**

Submit the following items with the completed form:

Continuation Sheets**Maps**A **USGS map** (7.5 or 15 minute series) indicating the property's location.A **Sketch map** for historic districts and properties having large acreage or numerous resources.**Photographs**Representative **black and white photographs** of the property.**Additional items**

(Check with the SHPO or FPO for any additional items.)

Property Owner (Complete this item at the request of the SHPO or FPO.)name GRE Downtowner LLCstreet & number 2801 Alaskan Way, Suite 310 telephone (206) 215-9789city or town Seattle state WA zip code 98121

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet -

NEW RICHMOND HOTEL (DOWNTOWNER)
KING COUNTY, WASHINGTON

Section number 10 Page 1 of 1

Geographical Data

Boundary Description

The nominated property is located in T24N, R 4E, Sec 5 of King County, Washington. It is legally described as lots 1 & 2 of Maynard's Addition in Seattle. It is otherwise identified as Parcel Number: 524780-1370.

Boundary Justification

The nominated property encompasses the entire urban tax lot (127' x 120') that is occupied by the New Richmond Hotel.

National Register Nomination Photograph Log Page

Name of Property: New Richmond Hotel
City: Seattle
County: King
State: Washington
Name of Photographer: Clark Design Group
Date of Photograph: September 13, 2010
Location of Original Digital Files: 169 Western Avenue West, Seattle, WA 98119

Photo #1 (WA_King County_New Richmond Hotel_01)
West façade (right) and partial north façade (left), camera facing southeast

Photo #2 (WA-King County_New Richmond Hotel_02)
West façade (left) and south façade (right), camera facing northeast

Photo #3 (WA-King County_New Richmond Hotel_03)
South façade, camera facing north

Photo #4 (WA-King County_New Richmond Hotel_04)
North (right) and east (left) facades, camera facing southwest

Photo #5 (WA-King County_New Richmond Hotel_05)
West partial façade, showing storefront, camera facing southeast

Photo#6 (WA-King County_New Richmond Hotel_06)
Residential lobby, camera facing northwest

Photo#7 (WA-King County_New Richmond Hotel_07)
Residential lobby, camera east

Photo #8 (WA_King County_New Richmond Hotel_08)
Residential lobby, camera facing north

Photo #09 (WA_King County_New Richmond Hotel_009)
Exit stairs (former stairs to basement dining room), camera facing northwest

Photo #10 (WA_King County_New Richmond Hotel_010)
Storage (former hotel lobby), camera facing east

Photo #11 (WA_King County_New Richmond Hotel_011)
Storage (former hotel lobby), camera facing west

Photo #12 (WA_King County_New Richmond Hotel_012)
Exterior courtyard at residential level, camera facing east

Photo #13 (WA_King County_New Richmond Hotel_013)
Elevators at residential level, camera facing northeast

Photo#14 (WA-King County_New Richmond Hotel_014)
Typical upper floor corridor, facing west

Photo #15 (WA_King County_New Richmond Hotel_015)
Typical residential unit, camera facing northeast

Photo #16 (WA_King County_New Richmond Hotel_016)
Typical residential unit, camera facing southwest

Photo #17 (WA_King County_New Richmond Hotel_017)
Basement laundry room, camera facing northeast

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

New Richmond Hotel

Name of Property

King County, WA

County and State

Name of multiple listing (if applicable)

Section number _____ Page _____ Photo Log _____

**National Register Nomination
Photograph Log Page**

Name of Property: New Richmond Hotel
City: Seattle
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Location of Original Digital Files: 169 Western Avenue West, Seattle, WA 98119

Photo #1 (WA_King County_New Richmond Hotel_01)
West façade (right) and partial north façade (left), camera facing southeast

Photo #2 (WA-King County_New Richmond Hotel_02)
West façade (left) and south façade (right), camera facing northeast

Photo #3 (WA-King County_New Richmond Hotel_03)
South façade, camera facing north

Photo #4 (WA-King County_New Richmond Hotel_04)
North (right) and east (left) facades, camera facing southwest

Photo #5 (WA-King County_New Richmond Hotel_05)
West partial façade, showing storefront, camera facing southeast

Photo#6 (WA-King County_New Richmond Hotel_06)
Residential lobby, camera facing northwest

Photo#7 (WA-King County_New Richmond Hotel_07)
Residential lobby, camera east

Photo #8 (WA_King County_New Richmond Hotel_08)
Residential lobby, camera facing north

Photo #09 (WA_King County_New Richmond Hotel_009)
Exit stairs (former stairs to basement dining room), camera facing northwest

Photo #10 (WA_King County_New Richmond Hotel_010)
Storage (former hotel lobby), camera facing east

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Storage (former hotel lobby), camera facing west

Photo #12 (WA_King County_New Richmond Hotel_012)
Exterior courtyard at residential level, camera facing east

Photo #13 (WA_King County_New Richmond Hotel_013)
Elevators at residential level, camera facing northeast

Photo#14 (WA-King County_New Richmond Hotel_014)
Typical upper floor corridor, facing west

Photo #15 (WA_King County_New Richmond Hotel_015)
Typical residential unit, camera facing northeast

Photo #16 (WA_King County_New Richmond Hotel_016)
Typical residential unit, camera facing southwest

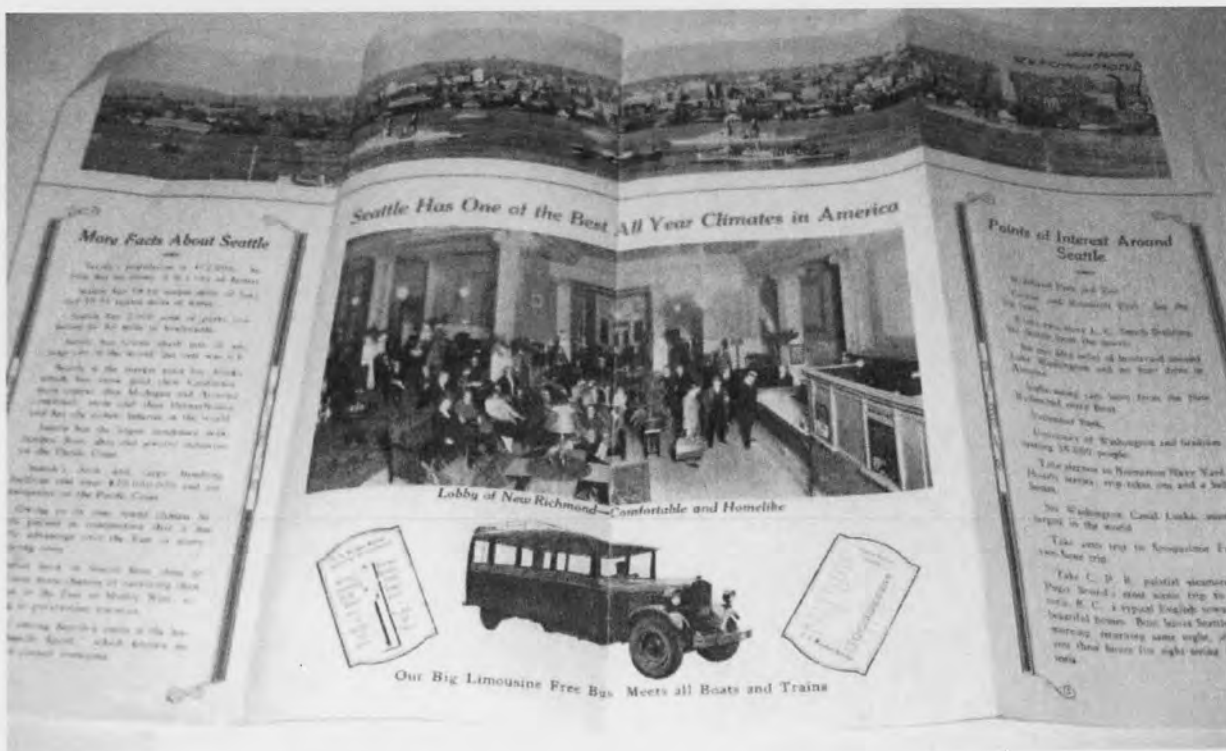
Photo #17 (WA_King County_New Richmond Hotel_017)
Basement laundry room, camera facing northeast



New Richmond Hotel Postcard – c. 1912



New Richmond Hotel Envelope – July 1933



New Richmond Hotel Brochure - c. 1925



New Richmond Hotel Matchbook Covers – c. 1950s



Yakima Tribe couple standing outside the New Richmond Hotel main entrance doors – 1921

Photo courtesy of University of Washington Special Collections



New Richmond Hotel under construction (note missing storefronts) – 1910

Photo courtesy of University of Washington Special Collections



New Richmond Hotel in background (center) – 1932
Photo courtesy of University of Washington Special Collections



New Richmond Hotel in foreground (left) – c.1914
Photo courtesy of University of Washington Special Collections



New Richmond Hotel in foreground (right) – c.1930
Photo courtesy of University of Washington Special Collections



New Richmond Hotel in background (right) – c.1925
Photo courtesy of University of Washington Special Collections



New Richmond Hotel – c.1938

Photo courtesy of Puget Sound Regional Archives



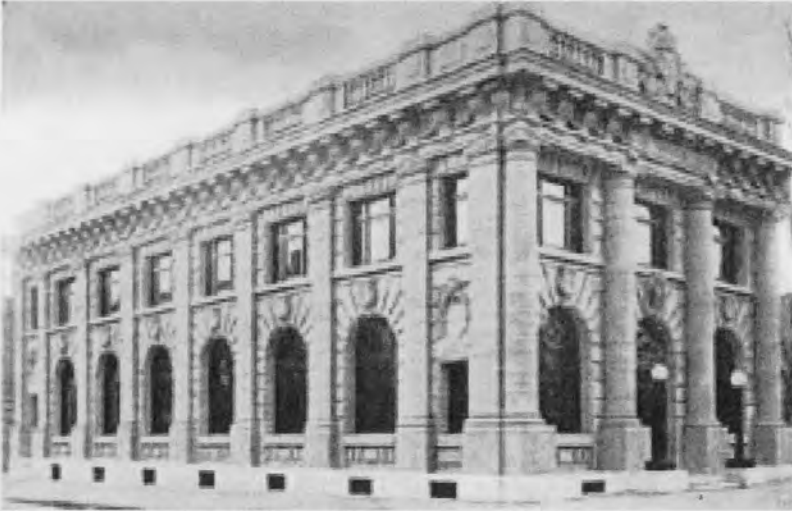
New Richmond Hotel – c.1961

Photo courtesy of Puget Sound Regional Archives



New Richmond Hotel – c.1925
Photo courtesy of Museum of History & Industry

Other Projects by Gould & Champney



Farmer's Bank Building, Ellensburg - 1911



Rogers Building, Vancouver BC - 1912



Seattle Electric Company Building, Seattle - 1911

7.5 X 15 MINUTE QUADRANGLE (TOPOGRAPHIC-BATHYMETRIC)



The New Richmond Hotel
ADDRESS:

308 FOURTH AVENUE SOUTH, SEATTLE,
KING COUNTY, WASHINGTON 98104

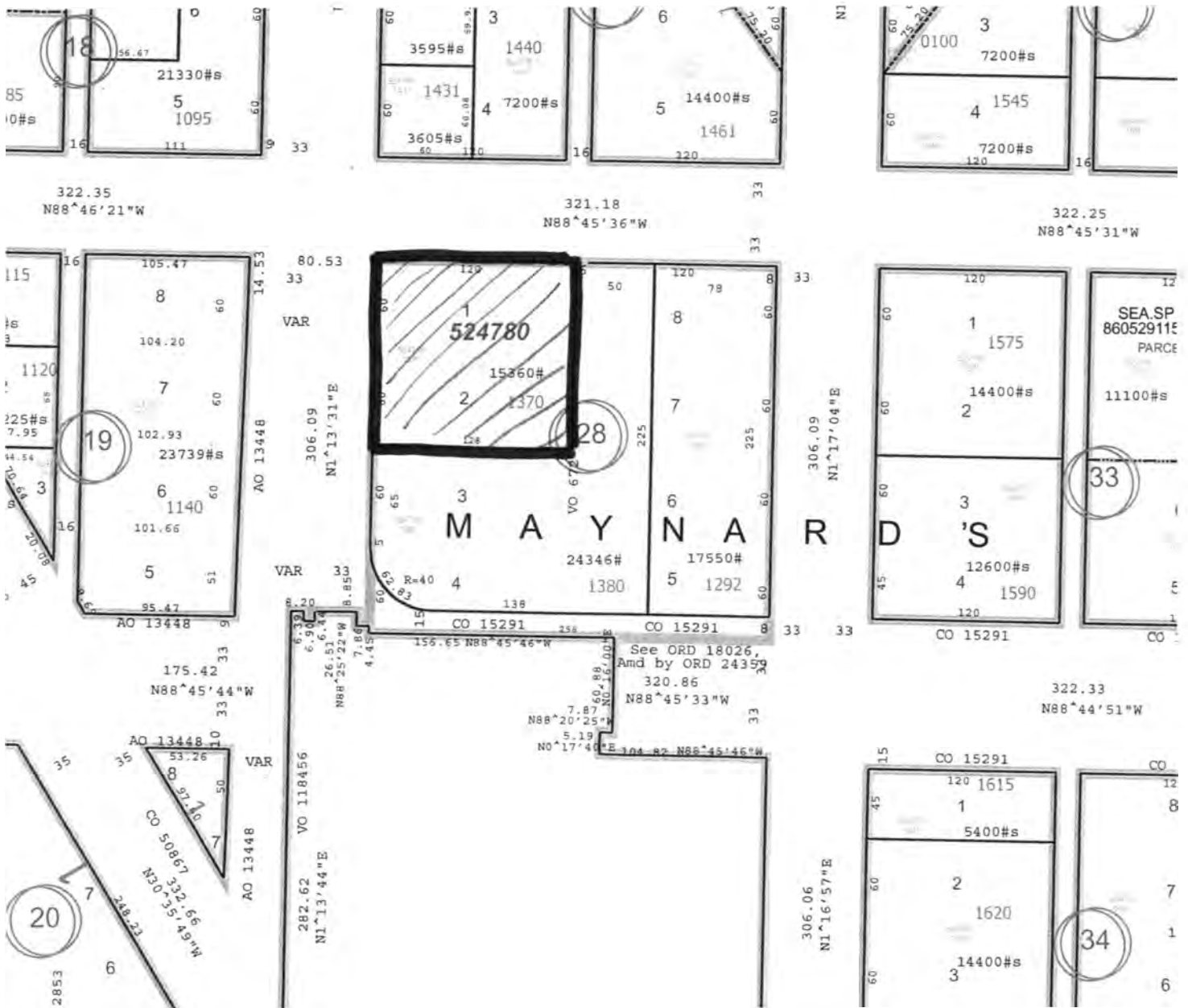
KING COUNTY TAX PARCEL ID:
LATITUDE & LONGITUDE:

5247801370
APPROX. 47.60004 DEG N, -122.328932 DEG W

Produced by the United States Geological Survey and the National Ocean Service
Control by USGS, NOS/NOAA, USCE and King County Engineer Office
Compiled by photogrammetric methods from aerial photographs taken 1977. Field checked 1978. Map edited 1983. Supersedes Duwamish Head and Seattle South 1:24 000 scale maps dated 1949
Bathymetry compiled by the National Ocean Service from tide-coordinated hydrographic surveys. This information is not intended for navigational purposes
Mean low water (dotted) line and mean high water (heavy solid) line compiled by NOS from tide-coordinated aerial photography updated through 1977
Projection and 1000-meter grid, zone 10, Universal Transverse Mercator 10,000-foot grid ticks based on Washington coordinate system, north zone 1927 North American Datum
To place on the predicted North American Datum 1983 move the projection lines 23 meters north and 93 meters east
Grey tint indicates areas in which only landmark buildings are shown
There may be private inholdings within the boundaries of the National or State reservations shown on this map

CONTOUR INTERVAL 5 METERS
NATIONAL GEODETIC VERTICAL DATUM OF 1929
BATHYMETRIC CONTOUR INTERVAL 2 METERS-DATUM IS MEAN LOWER LOW WATER. DATUM OF LAKE WASHINGTON IS LOW WATER WHICH IS 20 FEET ABOVE THE PLANE OF MEAN LOWER LOW WATER IN PUGET SOUND
THE RELATIONSHIP BETWEEN THE TWO DATUMS IS VARIABLE
CONTROL ELEVATIONS SHOWN TO THE NEAREST 0.1 METER
OTHER ELEVATIONS SHOWN TO THE NEAREST METER
BASE MAP COMPLES WITH NATIONAL MAP ACCURACY STANDARDS. BATHYMETRIC SURVEY DATA COMPLES WITH INTERNATIONAL HYDROGRAPHIC ORGANIZATION (IHO) SPECIAL PUBLICATION 44 ACCURACY STANDARDS AND/OR STANDARDS USED AS OF THE DATE OF THE SURVEYS

CONVERSION TABLE		DECLINATION DIAGRAM	ADJOINING MAPS
Meters	Feet		1 2 3
1	3.2808		4 5
2	6.5617		6 7 8
3	9.8425		
4	13.1234		
5	16.4042		
6	19.6850		
7	22.9659		
8	26.2467		
9	29.5275		
10	32.8084		
To convert meters to feet multiply by 3.2808		UTM grid convergence (GN) and 1983 magnetic declination (MN) at center of map. Diagram is approximate.	1 Suquamish* 2 Seattle North 3 Bellevue North 4 Bremerton East* 5 Bellevue South 6 Olalla* 7 Burien 8 Renton *1:24 000
To convert feet to meters multiply by 0.3048			



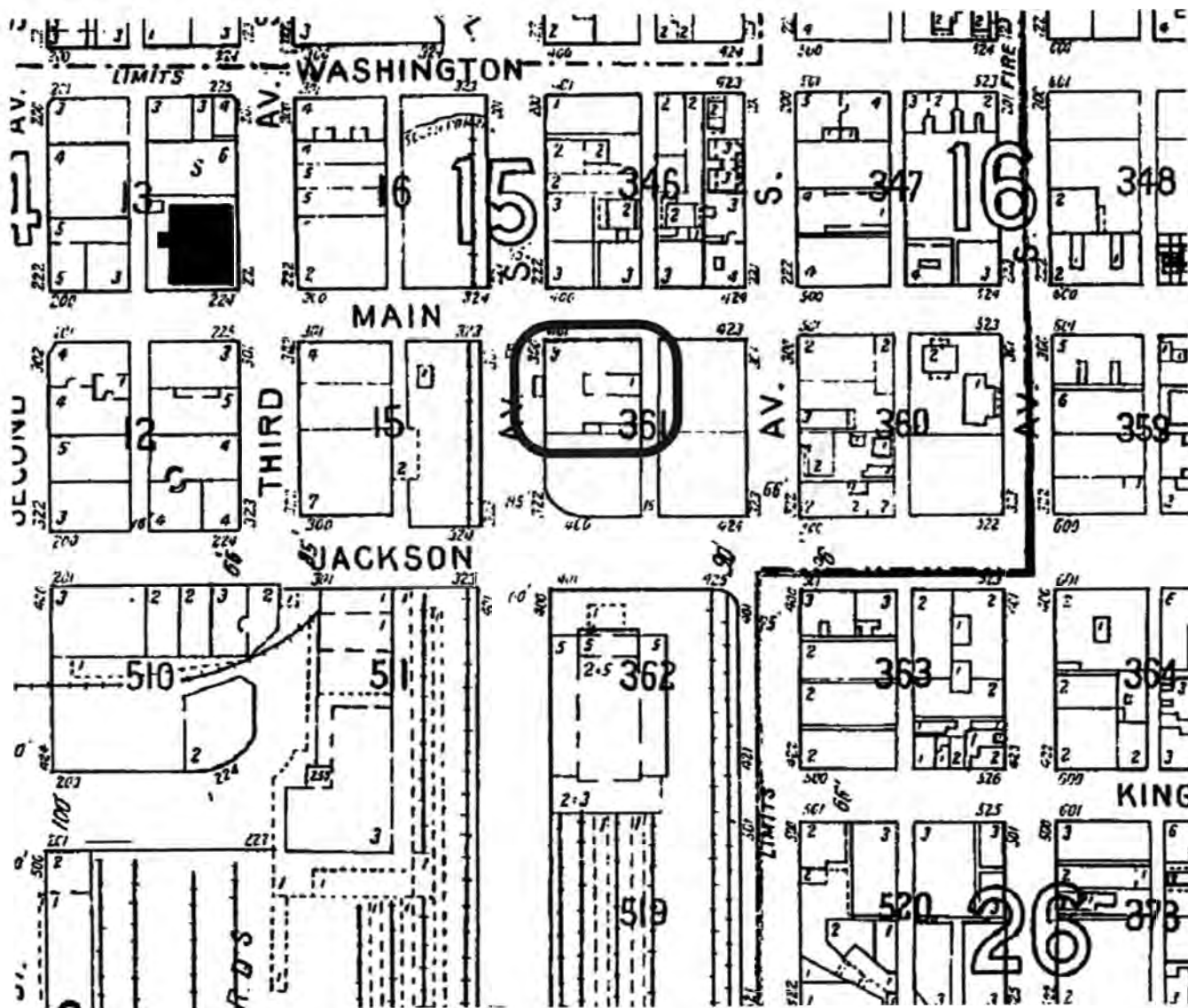
NW 05-24-04



Aug 11, 2010

1 inch = 100 feet

1: 1200



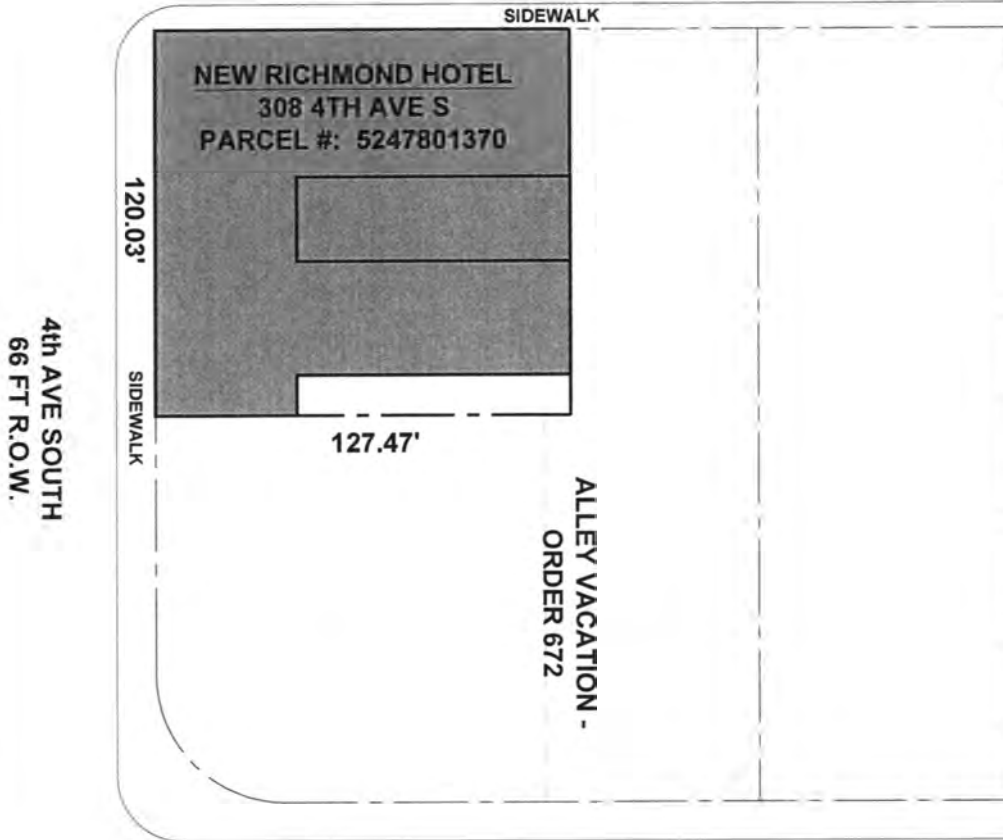
The New Richmond Hotel

308 Fourth Avenue South, Seattle, King County, Washington, 98104



Description: 1916 Sanborn Fire Insurance Map

SOUTH MAIN ST
66 FT R.O.W.



SOUTH JACKSON ST
R.O.W. VARIES

SITE PLAN

SCALE: 1" = 60'-0"



LEGAL DESCRIPTION:

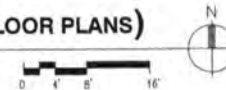
LOTS 1-2, BLOCK 28, MAYNARDS D S PLAT LOTS
 3 TO 8, BLOCK 28, MAYNARDS D S PLAT
 MAYNARDS D S PLAT 3 & PORTIONS 4 THRU 8 &
 OF VACATED ALLEY BEGINNING AT NW CORNER
 OF 3 THROUGH S 65 FT THROUGH SELY ALG
 CURVE TO LEFT RADIUS 40 FT DISTANCE OF
 62.83 FT THE 138 FT THROUGH N 225 FT
 THROUGH W 50 FT TO CENTER OF VAC ALLEY
 THROUGH S 120 FT THROUGH W 128 FT TO
 BEGINNING LESS C&M ROUTES

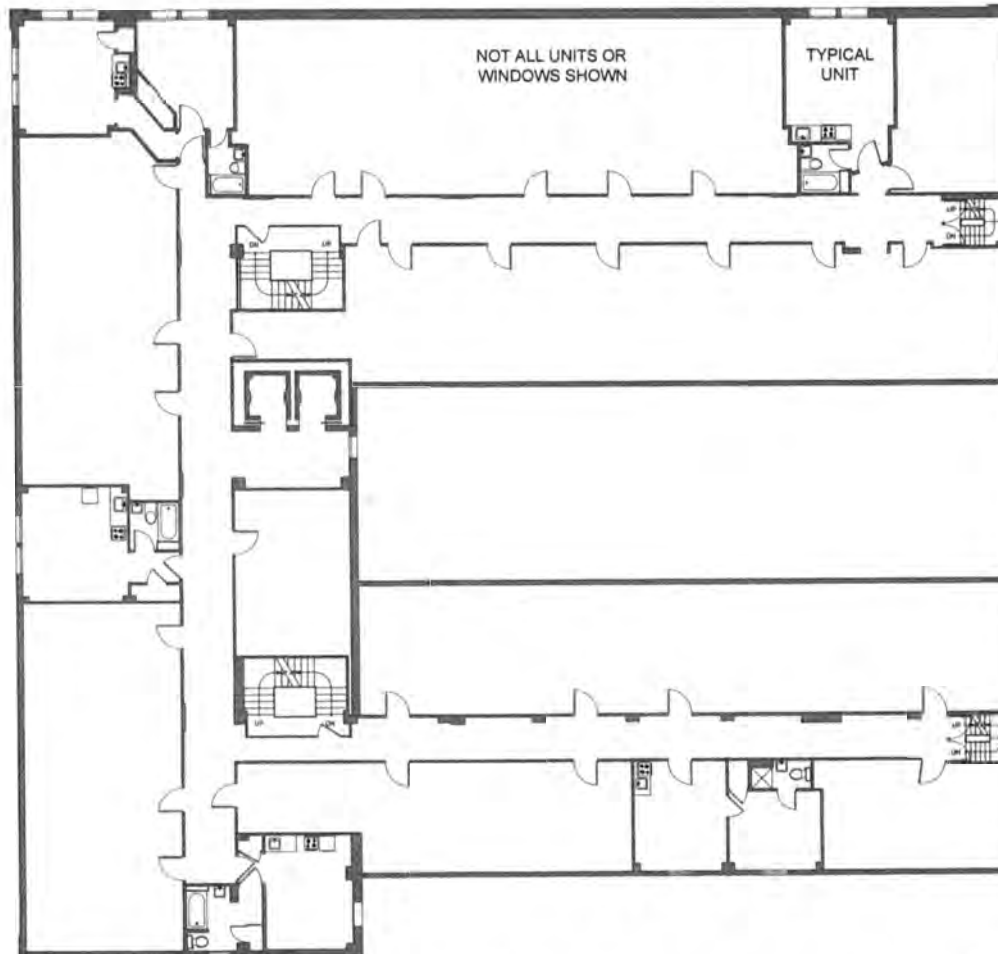




GROUND AS-BUILT FLOOR PLAN (PER 2D AS-BUILT FLOOR PLANS)

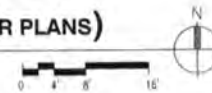
SCALE: $\frac{1}{16}'' = 1'-0''$





TYPICAL UPPER FLOOR AS-BUILT PLAN (PER 2D AS-BUILT FLOOR PLANS)

SCALE: $\frac{1}{16}'' = 1'-0''$





-MAIN-ST. ELEVATION-

ELE. OF 2ND F.

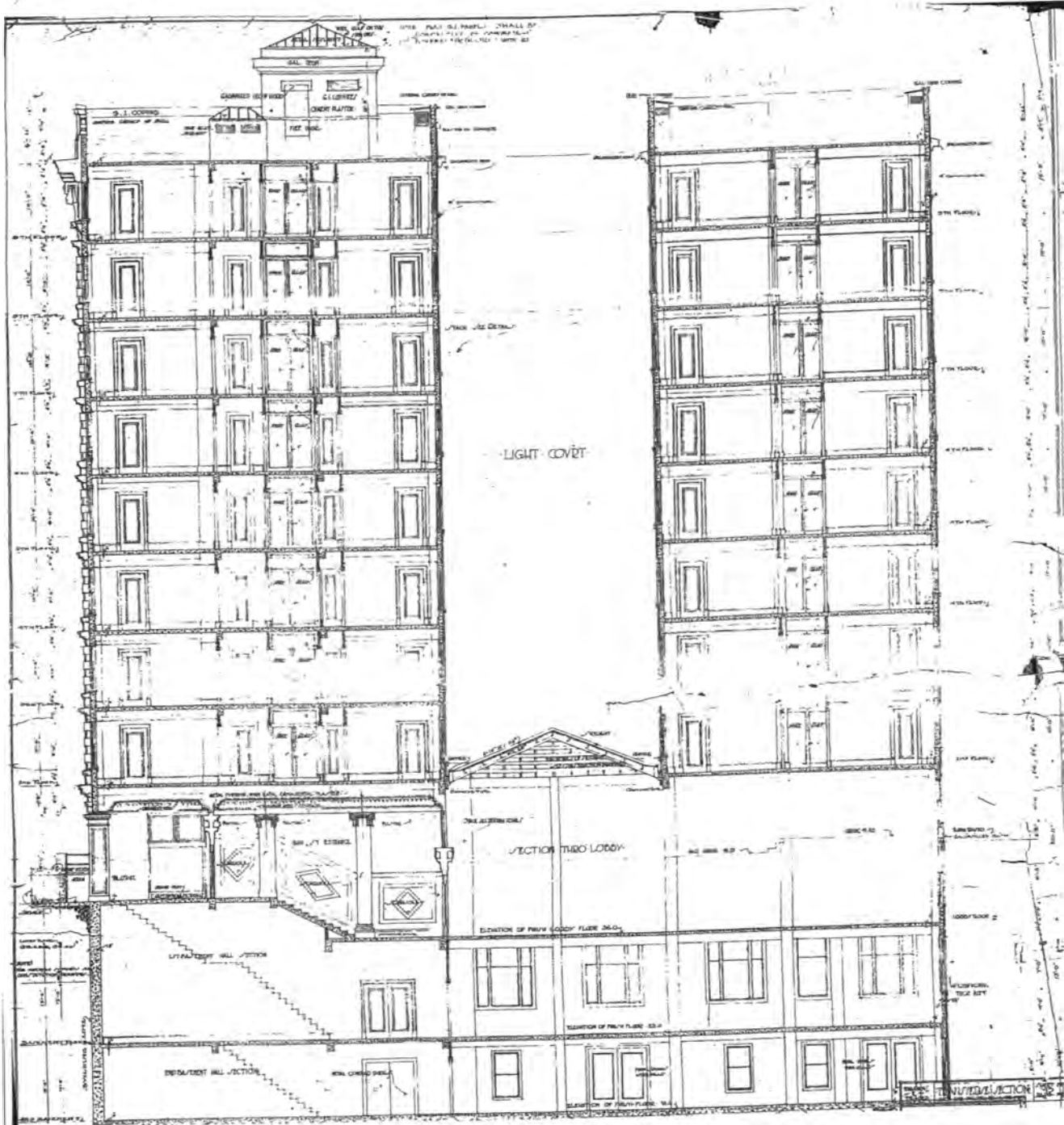
ELE. OF 1ST F.

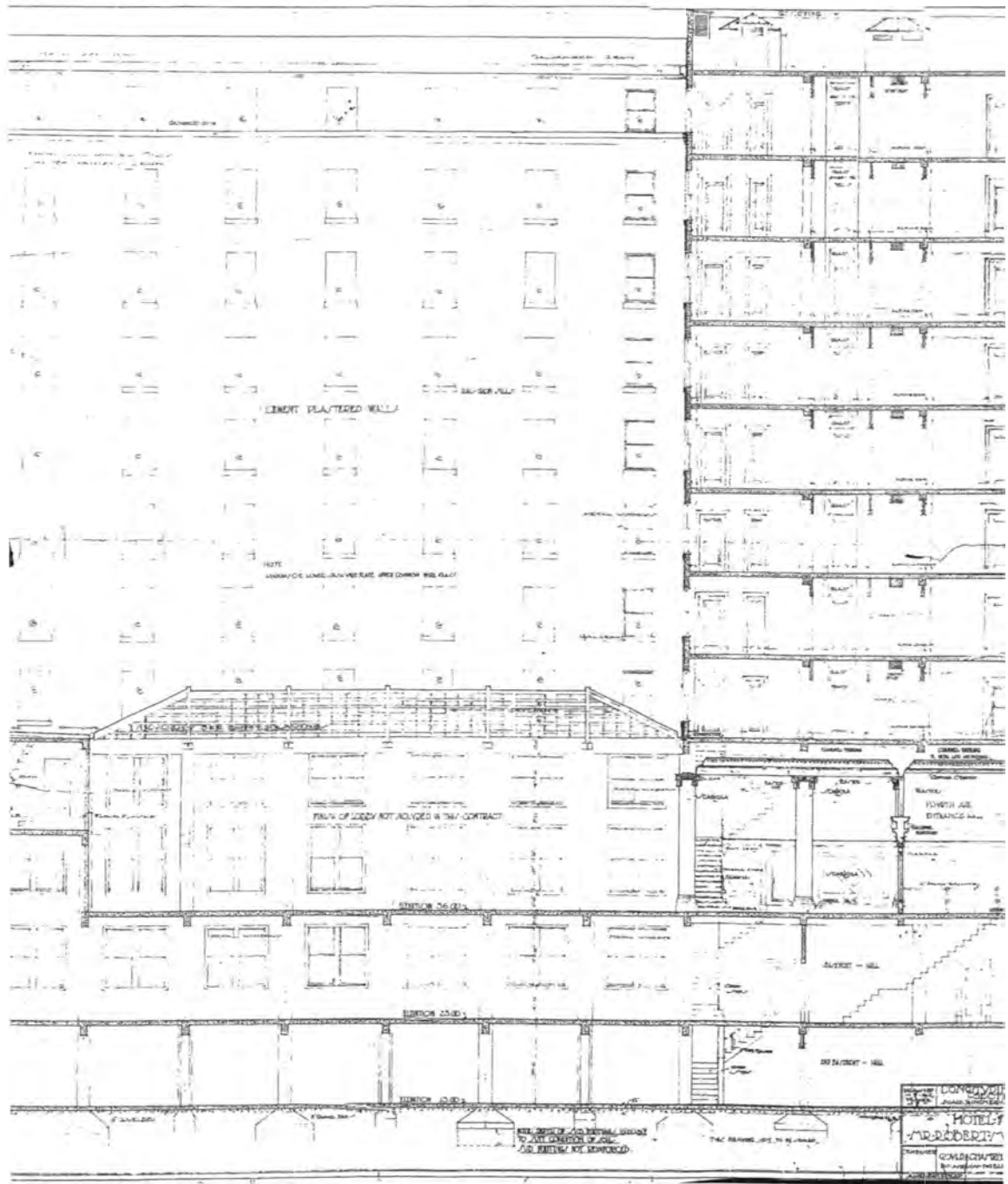
SCALE	1" = 10'
DATE	1910
PROJECT	HOTEL FOX
ARCHT.	J. W. BROWN
ENGR.	J. W. BROWN



CONCRETE CURB FOOTING TO GO TO JOIST FOUNDATION
 DEPENDING UPON THE CONSTRUCTION DETAILS

REAR ELEVATION
 HOTEL FOR
 MR. ROBERT W. COO
 CONSTRUCTION DETAILS





LINDY PLASTERED WALL

NOTE: FINISH LINE AS SHOWN ON THE DRAWING WILL BE USED

PART OF LINDY NOT INVOLVED IN THIS CONTRACT

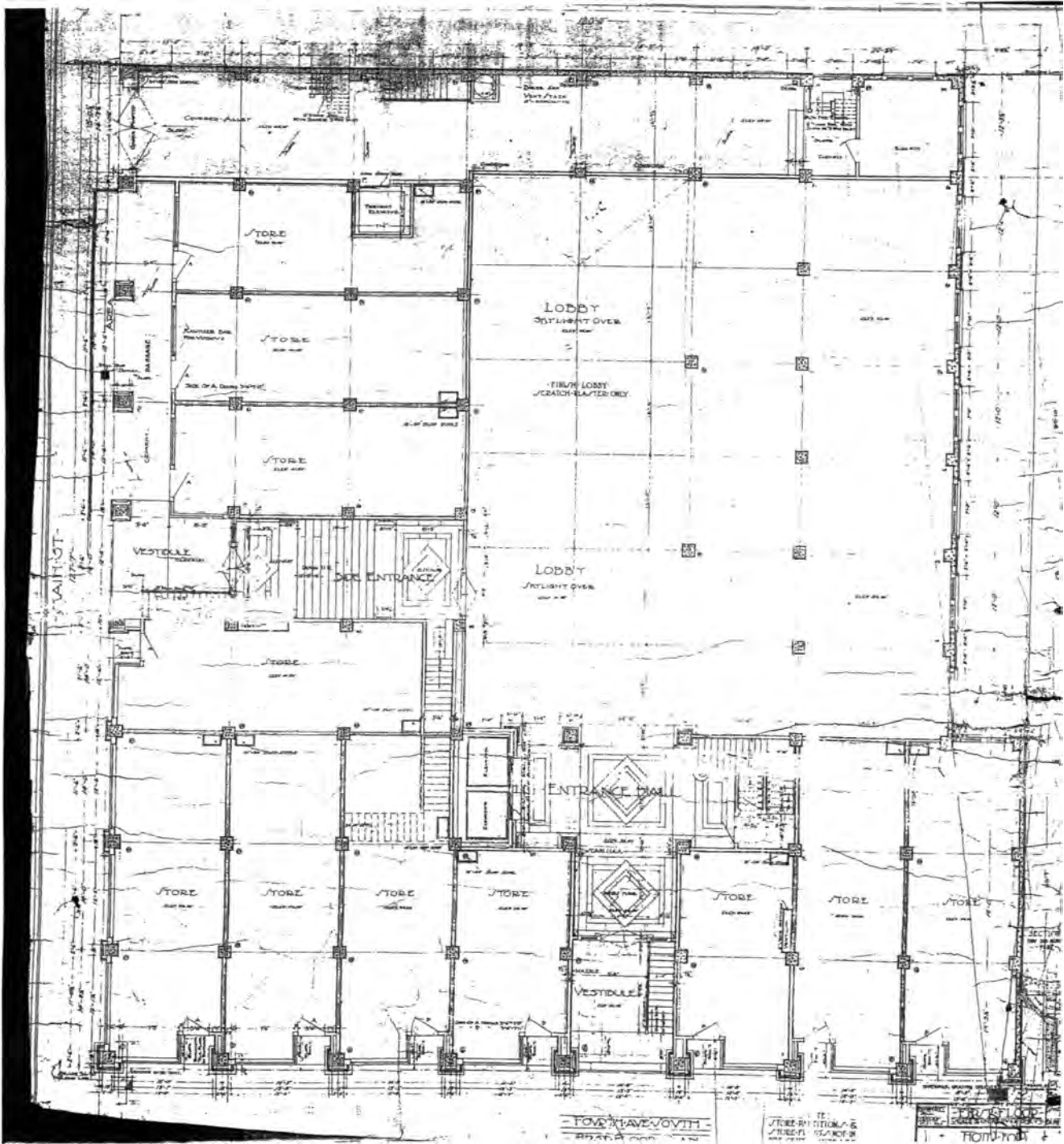
FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

SEE SECTION OF ADJACENT BUILDING TO ASCERTAIN LOCATION OF WALLS AND PARTS NOT SHOWN HERE

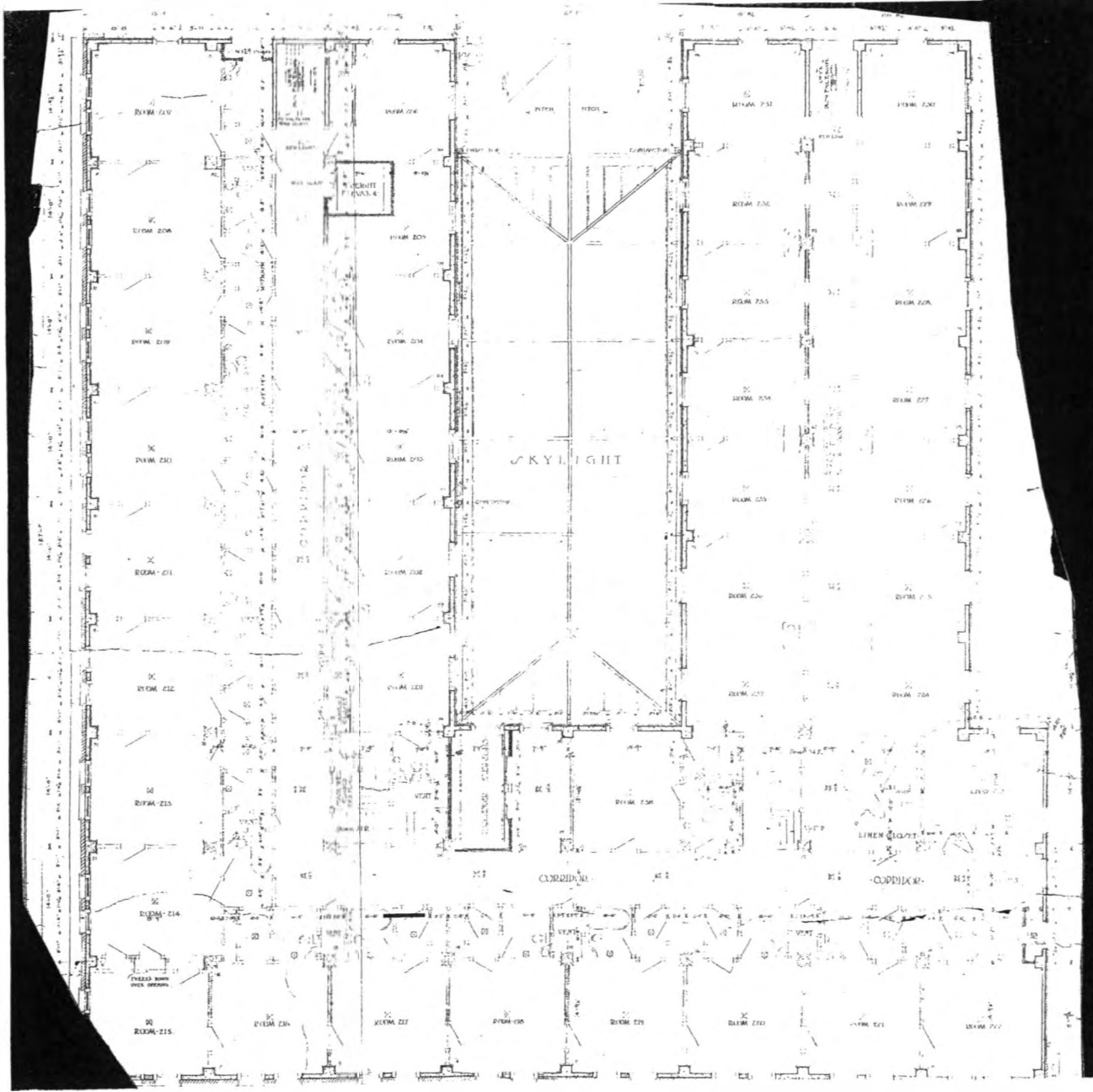
DRAWN BY
HOTEL ARDEN
GARDNER & CO. ARCHT. & ENGRS.
CHICAGO, ILL.

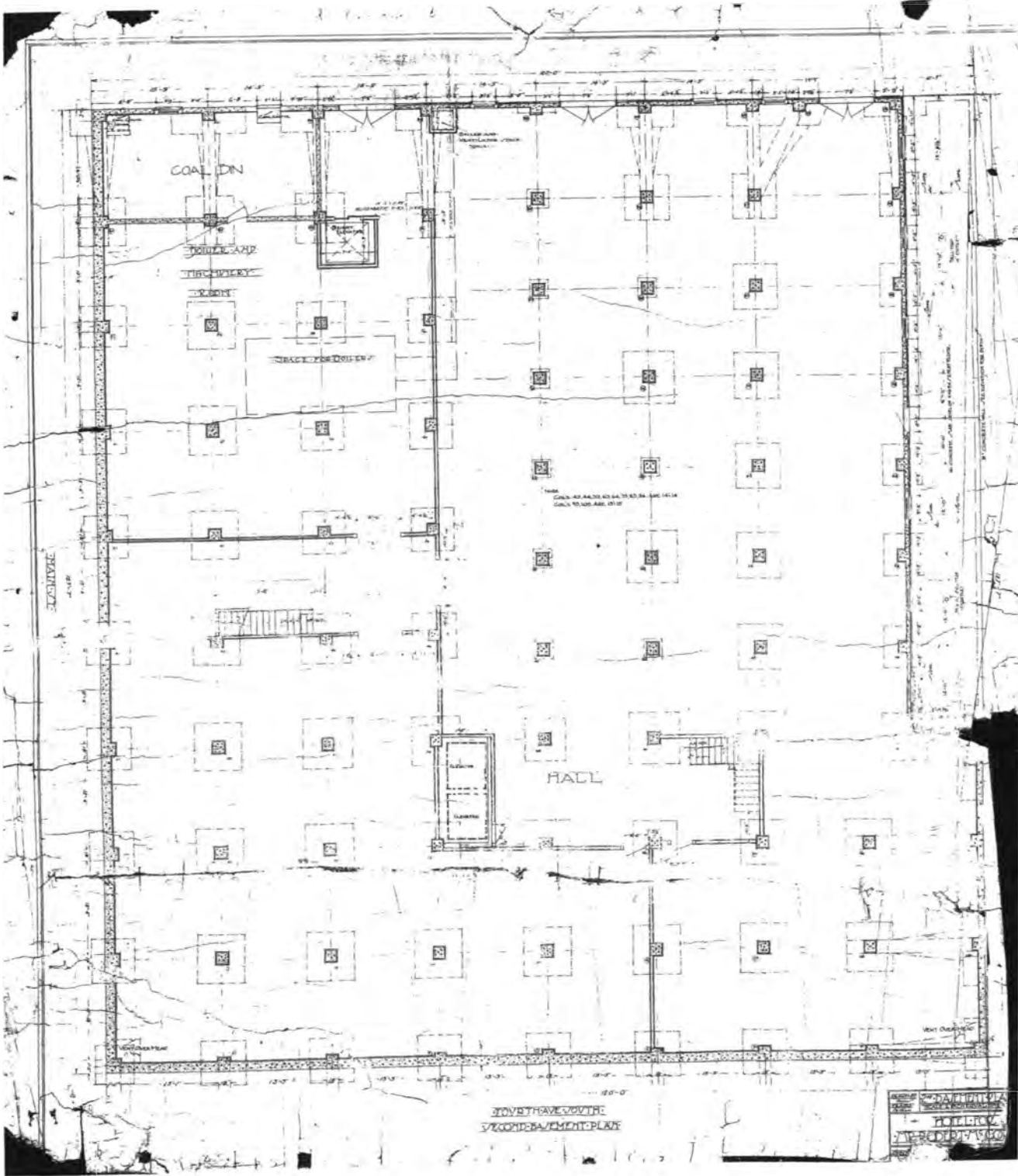


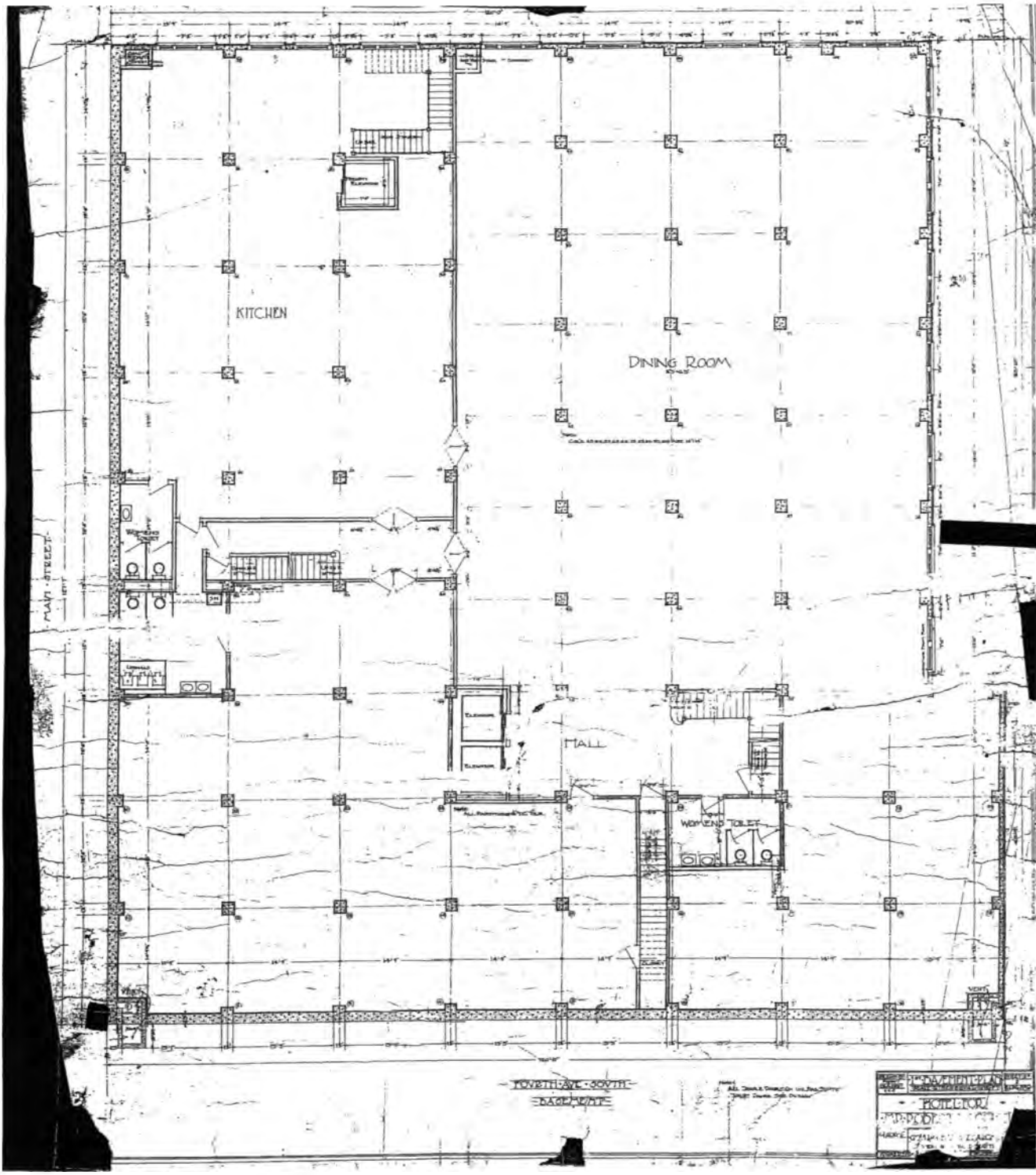
FOUR WAVE OVITH

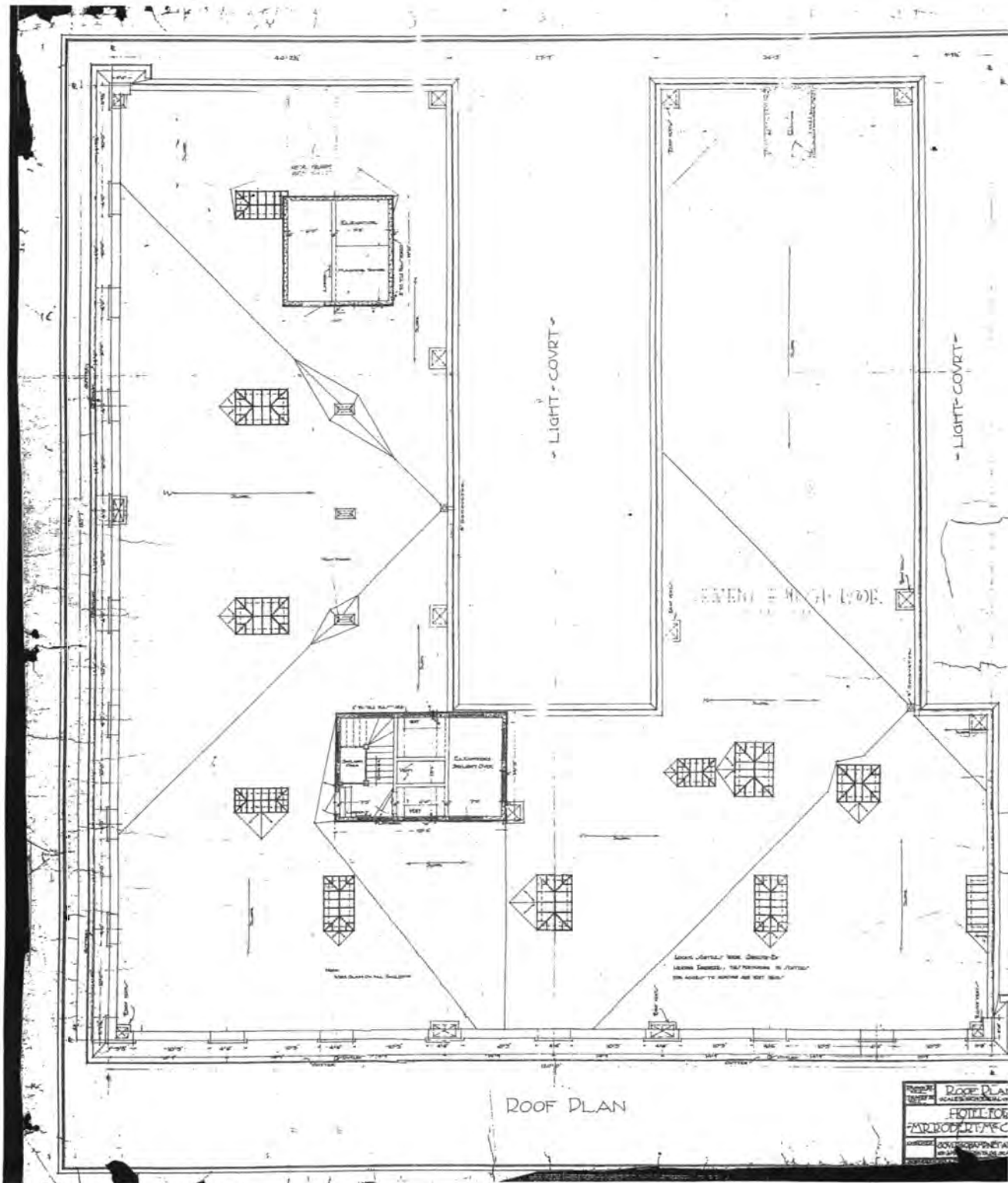
STORE-ENTRANCE & STORE-VESTIBULE

FROM YOU



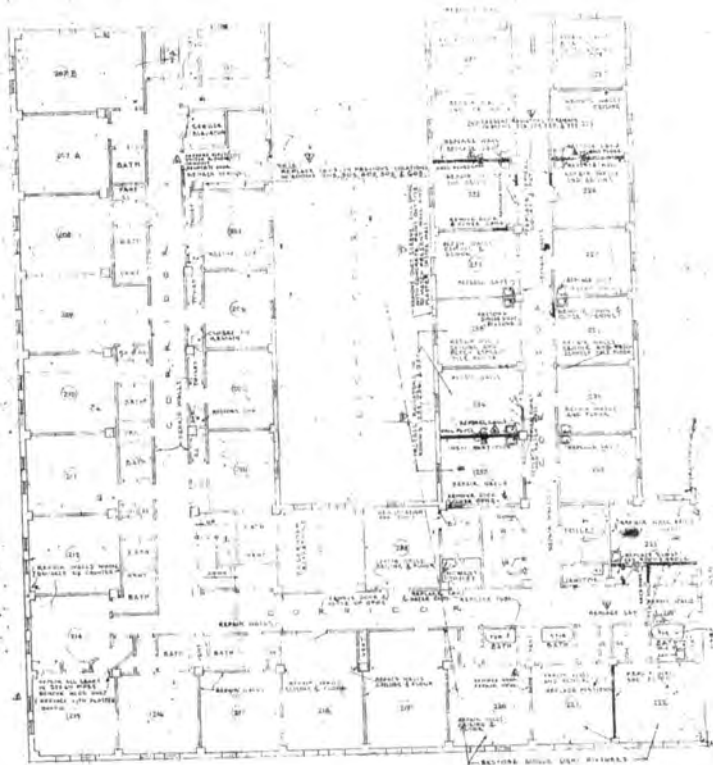






ROOF PLAN

PROJECT NO. 100-100-100
 SCALE: 1/8" = 1'-0"
 HOTEL FOR
 PARK ROBERTSON & CO.
 ARCHITECTS
 100-100-100



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



TYPICAL FLOOR PLAN
Sec. 4th, 5th & 6th FLOORS
SCALE 1/8" = 1'-0"



F. S. D. OF CARPET TACKING STRIPS OVER ASPHALT TILE

- GENERAL NOTES**
1. WORK TO BE DONE ON 2nd, 3rd, 4th, 5th, 6th, 7th, 8th, 9th, 10th, 11th, 12th, 13th, 14th, 15th, 16th, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st, 32nd, 33rd, 34th, 35th, 36th, 37th, 38th, 39th, 40th, 41st, 42nd, 43rd, 44th, 45th, 46th, 47th, 48th, 49th, 50th, 51st, 52nd, 53rd, 54th, 55th, 56th, 57th, 58th, 59th, 60th, 61st, 62nd, 63rd, 64th, 65th, 66th, 67th, 68th, 69th, 70th, 71st, 72nd, 73rd, 74th, 75th, 76th, 77th, 78th, 79th, 80th, 81st, 82nd, 83rd, 84th, 85th, 86th, 87th, 88th, 89th, 90th, 91st, 92nd, 93rd, 94th, 95th, 96th, 97th, 98th, 99th, 100th.
 2. ALL SHEET WORK PER ROOM SCHEDULE.
 3. DO NOT USE 17' 6" STUDS.
 4. ALL WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEET ROCK.
 5. ALL ASPHALT TILE TO BE REMOVED AND REPAIRED.
 6. ALL CARPET TO BE REMOVED AND REPAIRED.
 7. ALL CARPET TO BE REPAIRED IN THE FOLLOWING ROOMS TO BE REMOVED AND REPAIRED: 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 8. ALL APPLICABLE CODES TO BE OBSERVED.
 9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 10. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

NO.	REVISION	BY	DATE
1			
2			
3			
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11			
12			

JOB NO. 3842, PAC. DIV. 1944

SEATTLE, WASHINGTON
NEW RICHMOND HOTEL RESTORATION

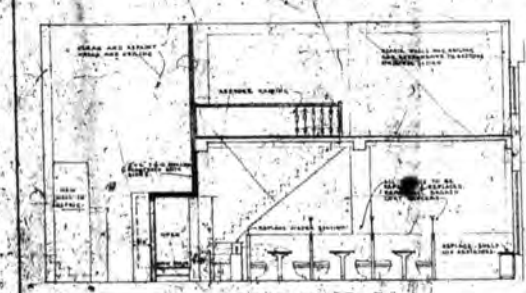
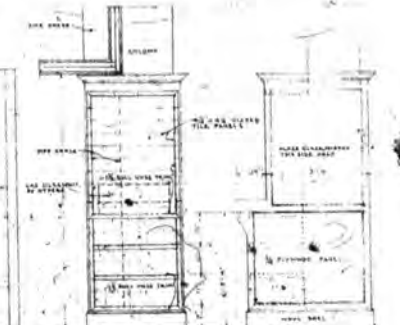
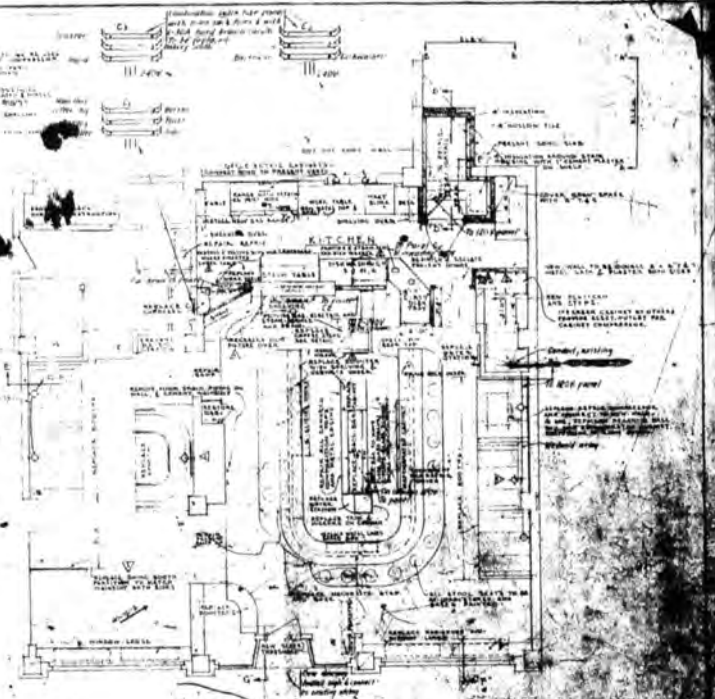
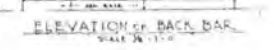
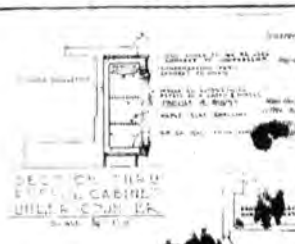
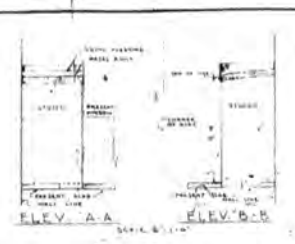
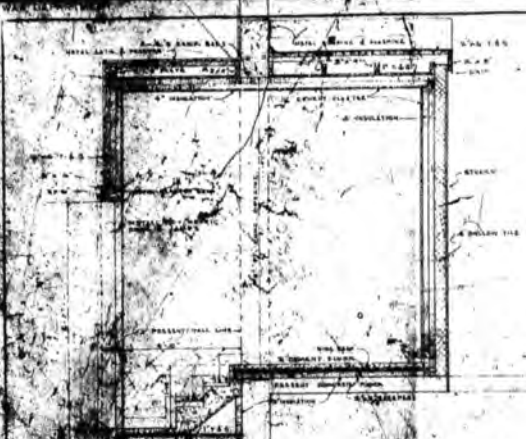
SECOND FLOOR PLAN
Sec. 4th, 5th & 6th FLOORS

Scale as noted

Prep. by W.K. [Signature]
Checked by [Signature]

1944

10-205-A-108

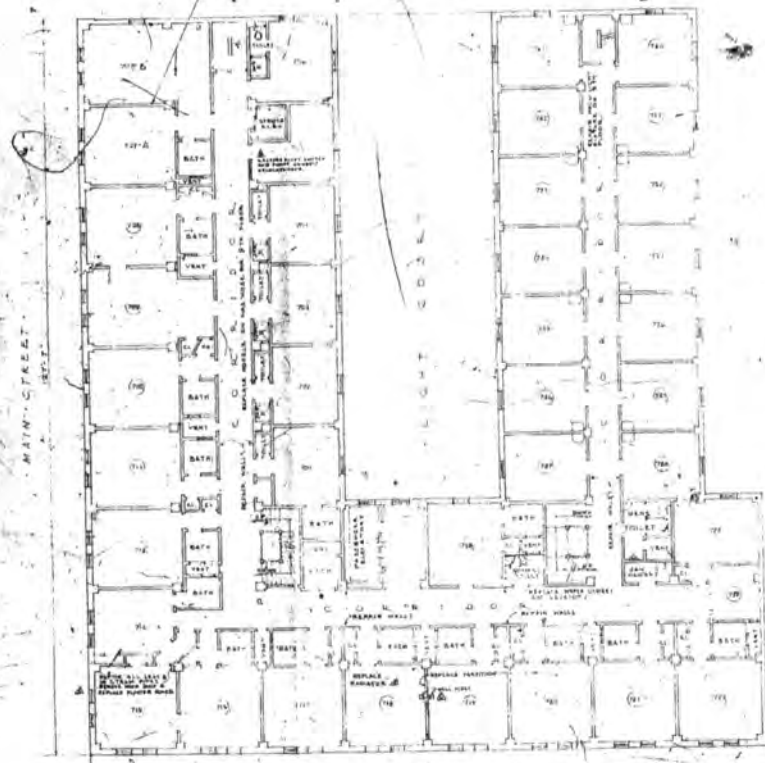


- GENERAL NOTES
1. APPROX. THE FLOOR IN COFFEE SHOP TO BE SET WITH MERRILL TILE TO BE REPAIRED WITH TILE TO MATCH OLD MERILL.
 2. CHECK ALL DIMENSIONS ON THE JOB, WORK AS DIFFERENCES WITH THE VIEW OF THE WORK BEING DONE.
 3. ALL DIMENSIONAL WALLS & CEILING IN THE COFFEE SHOP SHALL BE THE SAME AS EXISTING EXCEPT WHERE SHOWN OTHERWISE.
 4. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.
 5. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.
 6. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.
 7. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.
 8. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.
 9. ALL DIMENSIONAL WALLS TO BE REPAIRED CLEAN THOROUGHLY.



SEATTLE, WASH.
NEW RICHMOND HOTEL RESTAURANT
COFFEE SHOP PLAN
SECTIONS & DETAILS
Scale: 1/4" = 1'-0"
1938 W.C. GREEN ARCHITECTS

NOTE FOR ROOMS 207 A & B ONLY.
 REPAIR BOARD PARTITION REPAIRS - MAKE GOOD
 REPAIR WALL LIGHT FIXTURES - MAKE GOOD
 REPAIR WALL LIGHT FIXTURES - MAKE GOOD
 AND REPAIR ALL DOOR LOCKS.



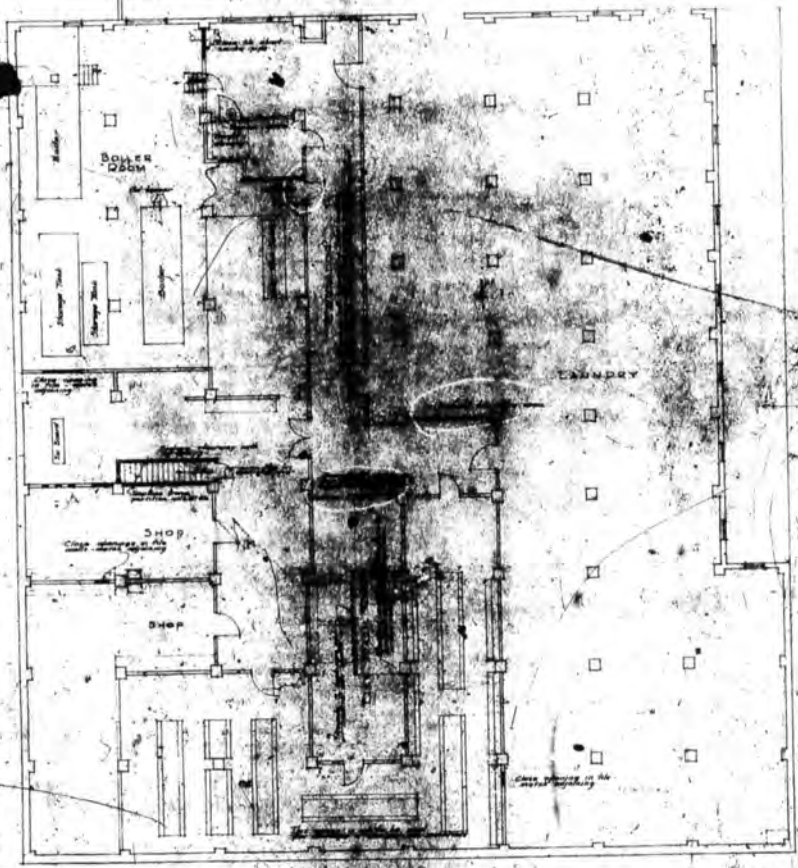
FOURTH AVENUE SOUTH
TYPICAL FLOOR PLAN
 7th, 8th & 9th FLOORS
 SCALE 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL NEW DOOR TRILLS ON 7th, 8th & 9th FLOORS.
 2. ALL NEW PLASTER SHALL BE SET IN REPAIR FORMS.
 3. ALL WOODWORK AND PARTITION SHALL BE PAINTED WITH OIL BASED PAINT. (SEE SPECIFICATIONS) AND REPLACE ALL DAMAGED OR BOTTEN CARBLY TRIMMING.
 4. ALL PARTIAL WALLS, CEILING, AND FLOOR IN 207 ROOMS AND TOLLEYS TO BE REPAIRED WITH NEW WORK.
 5. WALL JOINTS IN GYMNASIUM AND TRAIL TO BE REPAIRED AND REFINISHED.
 6. ALL CONCRETE STAIRS AND BATHROOM PLUMBING TO BE REPAIRED.
 7. REPAIR METAL STAIRS IN 207 ROOMS.
 8. ALL NEW PARTITION SHALL BE SET IN REPAIR FORMS.
 9. REPAIR ALL WALLS AND PARTITION DAMAGED BY WATER DAMAGE. SEE SPECIFICATIONS.
 10. REPAIR ALL WALLS AND PARTITION DAMAGED BY WATER DAMAGE. SEE SPECIFICATIONS.
 11. REPAIR ALL WALLS AND PARTITION DAMAGED BY WATER DAMAGE. SEE SPECIFICATIONS.

- GENERAL NOTES**
12. ALL WALL PAPER OVER OLD PAPER TO BE HUNG PARALLEL WITH OLD PAPER.
 13. WALLS TO BE COVERED UP TO PAINTED SHEET METAL LATH WITH OIL BASED PAINT.
 14. ALL DOOR AND WINDOW TRIMMING TO BE REPAIRED OR REPLACED WITH NEW WORK.
 15. WINDOW TRIMMING TO BE REPAIRED OR REPLACED WITH NEW WORK.
 16. WINDOW TRIMMING TO BE REPAIRED OR REPLACED WITH NEW WORK.

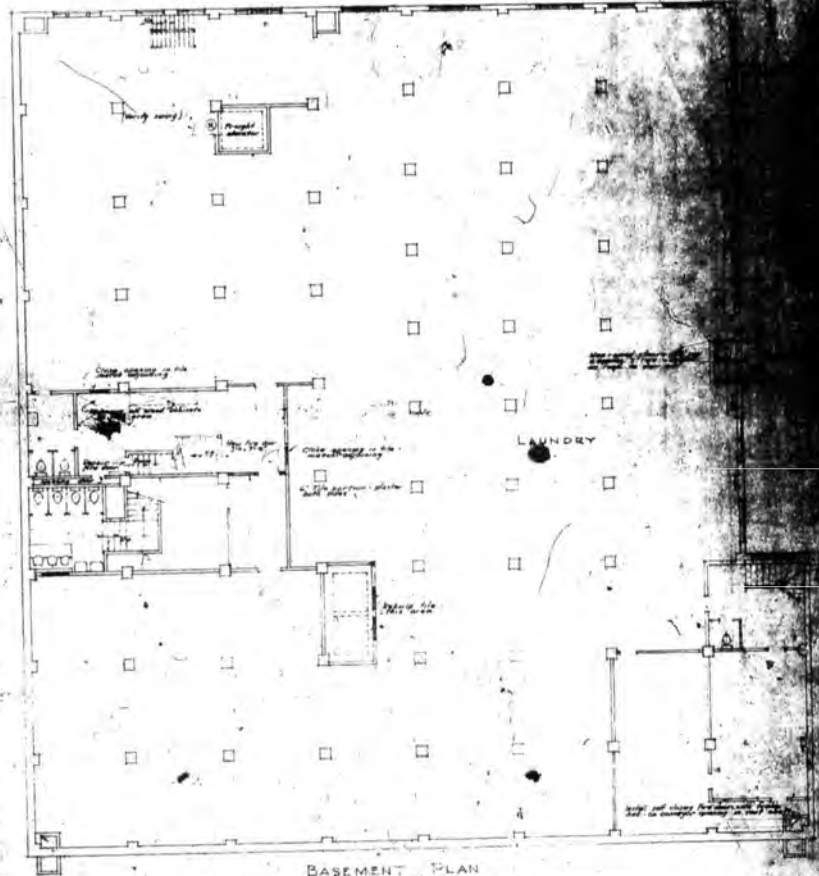
FINISH SCHEDULE FOR SECOND TO NINTH FLOORS INCL.

ROOM NO.	FINISH	REMARKS	ROOM NO.	FINISH	REMARKS	ROOM NO.	FINISH	REMARKS
201	W.P.	REPAIR WALLS	401	W.P.	REPAIR WALLS	601	W.P.	REPAIR WALLS
202	W.P.	REPAIR WALLS	402	W.P.	REPAIR WALLS	602	W.P.	REPAIR WALLS
203	W.P.	REPAIR WALLS	403	W.P.	REPAIR WALLS	603	W.P.	REPAIR WALLS
204	W.P.	REPAIR WALLS	404	W.P.	REPAIR WALLS	604	W.P.	REPAIR WALLS
205	W.P.	REPAIR WALLS	405	W.P.	REPAIR WALLS	605	W.P.	REPAIR WALLS
206	W.P.	REPAIR WALLS	406	W.P.	REPAIR WALLS	606	W.P.	REPAIR WALLS
207	W.P.	REPAIR WALLS	407	W.P.	REPAIR WALLS	607	W.P.	REPAIR WALLS
208	W.P.	REPAIR WALLS	408	W.P.	REPAIR WALLS	608	W.P.	REPAIR WALLS
209	W.P.	REPAIR WALLS	409	W.P.	REPAIR WALLS	609	W.P.	REPAIR WALLS
210	W.P.	REPAIR WALLS	410	W.P.	REPAIR WALLS	610	W.P.	REPAIR WALLS
211	W.P.	REPAIR WALLS	411	W.P.	REPAIR WALLS	611	W.P.	REPAIR WALLS
212	W.P.	REPAIR WALLS	412	W.P.	REPAIR WALLS	612	W.P.	REPAIR WALLS
213	W.P.	REPAIR WALLS	413	W.P.	REPAIR WALLS	613	W.P.	REPAIR WALLS
214	W.P.	REPAIR WALLS	414	W.P.	REPAIR WALLS	614	W.P.	REPAIR WALLS
215	W.P.	REPAIR WALLS	415	W.P.	REPAIR WALLS	615	W.P.	REPAIR WALLS
216	W.P.	REPAIR WALLS	416	W.P.	REPAIR WALLS	616	W.P.	REPAIR WALLS
217	W.P.	REPAIR WALLS	417	W.P.	REPAIR WALLS	617	W.P.	REPAIR WALLS
218	W.P.	REPAIR WALLS	418	W.P.	REPAIR WALLS	618	W.P.	REPAIR WALLS
219	W.P.	REPAIR WALLS	419	W.P.	REPAIR WALLS	619	W.P.	REPAIR WALLS
220	W.P.	REPAIR WALLS	420	W.P.	REPAIR WALLS	620	W.P.	REPAIR WALLS
221	W.P.	REPAIR WALLS	421	W.P.	REPAIR WALLS	621	W.P.	REPAIR WALLS
222	W.P.	REPAIR WALLS	422	W.P.	REPAIR WALLS	622	W.P.	REPAIR WALLS
223	W.P.	REPAIR WALLS	423	W.P.	REPAIR WALLS	623	W.P.	REPAIR WALLS
224	W.P.	REPAIR WALLS	424	W.P.	REPAIR WALLS	624	W.P.	REPAIR WALLS
225	W.P.	REPAIR WALLS	425	W.P.	REPAIR WALLS	625	W.P.	REPAIR WALLS
226	W.P.	REPAIR WALLS	426	W.P.	REPAIR WALLS	626	W.P.	REPAIR WALLS
227	W.P.	REPAIR WALLS	427	W.P.	REPAIR WALLS	627	W.P.	REPAIR WALLS
228	W.P.	REPAIR WALLS	428	W.P.	REPAIR WALLS	628	W.P.	REPAIR WALLS
229	W.P.	REPAIR WALLS	429	W.P.	REPAIR WALLS	629	W.P.	REPAIR WALLS
230	W.P.	REPAIR WALLS	430	W.P.	REPAIR WALLS	630	W.P.	REPAIR WALLS
231	W.P.	REPAIR WALLS	431	W.P.	REPAIR WALLS	631	W.P.	REPAIR WALLS
232	W.P.	REPAIR WALLS	432	W.P.	REPAIR WALLS	632	W.P.	REPAIR WALLS
233	W.P.	REPAIR WALLS	433	W.P.	REPAIR WALLS	633	W.P.	REPAIR WALLS
234	W.P.	REPAIR WALLS	434	W.P.	REPAIR WALLS	634	W.P.	REPAIR WALLS
235	W.P.	REPAIR WALLS	435	W.P.	REPAIR WALLS	635	W.P.	REPAIR WALLS
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239	W.P.	REPAIR WALLS	439	W.P.	REPAIR WALLS	639	W.P.	REPAIR WALLS
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242	W.P.	REPAIR WALLS	442	W.P.	REPAIR WALLS	642	W.P.	REPAIR WALLS
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248	W.P.	REPAIR WALLS	448	W.P.	REPAIR WALLS	648	W.P.	REPAIR WALLS
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256	W.P.	REPAIR WALLS	456	W.P.	REPAIR WALLS	656	W.P.	REPAIR WALLS
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259	W.P.	REPAIR WALLS	459	W.P.	REPAIR WALLS	659	W.P.	REPAIR WALLS
260	W.P.	REPAIR WALLS	460	W.P.	REPAIR WALLS	660	W.P.	REPAIR WALLS
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264	W.P.	REPAIR WALLS	464	W.P.	REPAIR WALLS	664	W.P.	REPAIR WALLS
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286	W.P.	REPAIR WALLS	486	W.P.	REPAIR WALLS	686	W.P.	REPAIR WALLS
287	W.P.	REPAIR WALLS	487	W.P.	REPAIR WALLS	687	W.P.	REPAIR WALLS
288	W.P.	REPAIR WALLS	488	W.P.	REPAIR WALLS	688	W.P.	REPAIR WALLS
289	W.P.	REPAIR WALLS	489	W.P.	REPAIR WALLS	689	W.P.	REPAIR WALLS
290	W.P.	REPAIR WALLS	490	W.P.	REPAIR WALLS	690	W.P.	REPAIR WALLS
291	W.P.	REPAIR WALLS	491	W.P.	REPAIR WALLS	691	W.P.	REPAIR WALLS
292	W.P.	REPAIR WALLS	492	W.P.	REPAIR WALLS	692	W.P.	REPAIR WALLS
293	W.P.	REPAIR WALLS	493	W.P.	REPAIR WALLS	693	W.P.	REPAIR WALLS
294	W.P.	REPAIR WALLS	494	W.P.	REPAIR WALLS	694	W.P.	REPAIR WALLS
295	W.P.	REPAIR WALLS	495	W.P.	REPAIR WALLS	695	W.P.	REPAIR WALLS
296	W.P.	REPAIR WALLS	496	W.P.	REPAIR WALLS	696	W.P.	REPAIR WALLS
297	W.P.	REPAIR WALLS	497	W.P.	REPAIR WALLS	697	W.P.	REPAIR WALLS
298	W.P.	REPAIR WALLS	498	W.P.	REPAIR WALLS	698	W.P.	REPAIR WALLS
299	W.P.	REPAIR WALLS	499	W.P.	REPAIR WALLS	699	W.P.	REPAIR WALLS
300	W.P.	REPAIR WALLS	500	W.P.	REPAIR WALLS	700	W.P.	REPAIR WALLS
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303	W.P.	REPAIR WALLS	503	W.P.	REPAIR WALLS	703	W.P.	REPAIR WALLS
304	W.P.	REPAIR WALLS	504	W.P.	REPAIR WALLS	704	W.P.	REPAIR WALLS
305	W.P.	REPAIR WALLS	505	W.P.	REPAIR WALLS	705	W.P.	REPAIR WALLS
306	W.P.	REPAIR WALLS	506	W.P.	REPAIR WALLS	706	W.P.	REPAIR WALLS
307	W.P.	REPAIR WALLS	507	W.P.	REPAIR WALLS	707	W.P.	REPAIR WALLS
308	W.P.	REPAIR WALLS	508	W.P.	REPAIR WALLS	708	W.P.	REPAIR WALLS
309	W.P.	REPAIR WALLS	509	W.P.	REPAIR WALLS	709	W.P.	REPAIR WALLS
310	W.P.	REPAIR WALLS	510	W.P.	REPAIR WALLS	710	W.P.	REPAIR WALLS
311	W.P.	REPAIR WALLS	511	W.P.	REPAIR WALLS	711	W.P.	REPAIR WALLS
312	W.P.	REPAIR WALLS	512	W.P.	REPAIR WALLS	712	W.P.	REPAIR WALLS
313	W.P.	REPAIR WALLS	513	W.P.	REPAIR WALLS	713	W.P.	REPAIR WALLS
314	W.P.	REPAIR WALLS	514	W.P.	REPAIR WALLS	714	W.P.	REPAIR WALLS
315	W.P.	REPAIR WALLS	515	W.P.	REPAIR WALLS	715	W.P.	REPAIR WALLS
316	W.P.	REPAIR WALLS	516	W.P.	REPAIR WALLS	716	W.P.	REPAIR WALLS
317	W.P.	REPAIR WALLS	517	W.P.	REPAIR WALLS	717	W.P.	REPAIR WALLS
318	W.P.	REPAIR WALLS	518	W.P.	REPAIR WALLS	718	W.P.	REPAIR WALLS
319	W.P.	REPAIR WALLS	519	W.P.	REPAIR WALLS	719	W.P.	REPAIR WALLS
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321	W.P.	REPAIR WALLS	521	W.P.	REPAIR WALLS	721	W.P.	REPAIR WALLS
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326	W.P.	REPAIR WALLS	526	W.P.	REPAIR WALLS	726	W.P.	REPAIR WALLS
327	W.P.	REPAIR WALLS	527	W.P.	REPAIR WALLS	727	W.P.	REPAIR WALLS
328	W.P.	REPAIR WALLS	528	W.P.	REPAIR WALLS	728	W.P.	REPAIR WALLS
329	W.P.	REPAIR WALLS	529	W.P.	REPAIR WALLS	729	W.P.	REPAIR WALLS
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333	W.P.	REPAIR WALLS	533	W.P.	REPAIR WALLS	733	W.P.	REPAIR WALLS
334	W.P.	REPAIR WALLS	534	W.P.	REPAIR WALLS	734	W.P.	REPAIR WALLS
335	W.P.	REPAIR WALLS	535	W.P.	REPAIR WALLS	735	W.P.	REPAIR WALLS
336	W.P.	REPAIR WALLS	536	W.P.	REPAIR WALLS	736	W.P.	REPAIR WALLS
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341	W.P.	REPAIR WALLS	541	W.P.	REPAIR WALLS	741	W.P.	REPAIR WALLS
342	W.P.	REPAIR WALLS	542	W.P.	REPAIR WALLS	742	W.P.	REPAIR WALLS
343	W.P.	REPAIR WALLS	543	W.P.	REPAIR WALLS	743	W.P.	REPAIR WALLS
344	W.P.	REPAIR WALLS	544	W.P.	REPAIR WALLS	744	W.P.	REPAIR WALLS
345	W.P.	REPAIR WALLS	545	W.P.	REPAIR WALLS	745	W.P.	REPAIR WALLS
346	W.P.	REPAIR WALLS	546	W.P.	REPAIR			

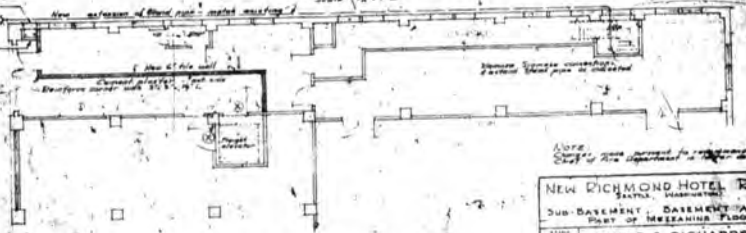


SUB-BASEMENT PLAN

GENERAL NOTES:
 1. In the basement of this structure, there is a boiler room, a laundry, and two shops.
 2. In the basement of this structure, there is a boiler room, a laundry, and two shops.
 3. In the basement of this structure, there is a boiler room, a laundry, and two shops.

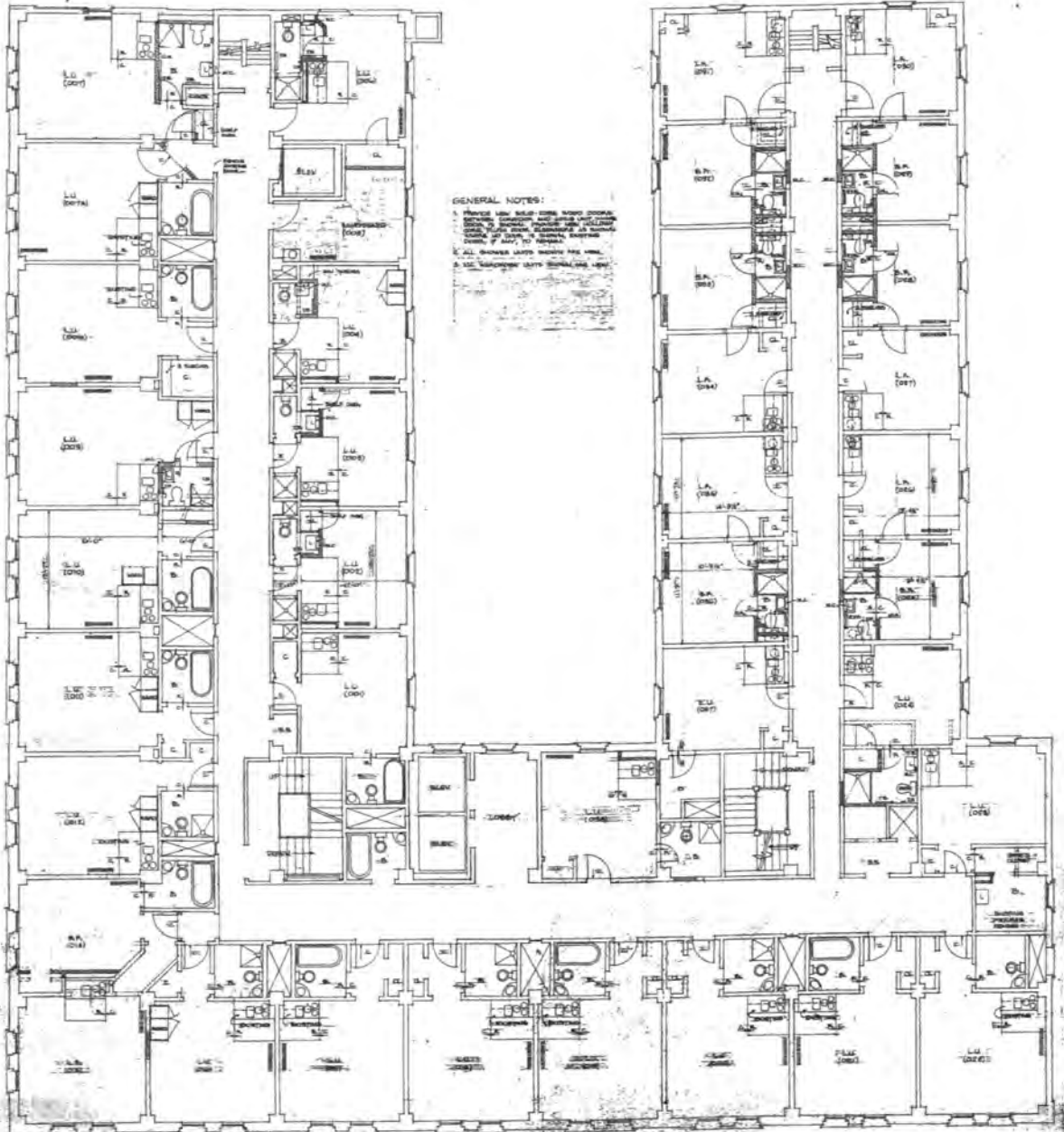


BASEMENT PLAN



PARTIAL MEZZ FLOOR PLAN

NEW RICHMOND HOTEL REPAIRS
 SUB-BASEMENT, BASEMENT AND EAST
 PORT OF MEZZANINE FLOOR
 YOUNG & RICHARDSON
 ARCHITECTS AND ENGINEERS
 100 N. BROADWAY
 NEW YORK, N. Y.



GENERAL NOTES:

1. Refer to blue line work book for details of construction and materials.
2. All dimensions are in feet and inches.
3. All dimensions are to the center of wall, unless otherwise noted.
4. All dimensions are to the center of door, unless otherwise noted.
5. All dimensions are to the center of window, unless otherwise noted.

GENERAL FLOOR PLAN
NEWTON'S HOTEL REHABILITATION
 SCALE: 1/8" = 1'-0"
 DATE: 10/15/88
 DRAWN BY: [Name]
 CHECKED BY: [Name]

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: NOMINATION

PROPERTY NAME: New Richmond Hotel

MULTIPLE NAME:

STATE & COUNTY: WASHINGTON, King

DATE RECEIVED: 5/27/11 DATE OF PENDING LIST: 6/17/11
DATE OF 16TH DAY: 7/05/11 DATE OF 45TH DAY: 7/12/11
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 11000426

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: ~~NY~~ LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT _____ DATE

ABSTRACT/SUMMARY COMMENTS:

The New Richmond Hotel is locally significant under National Register Criterion C (Architecture), as a fine example of early twentieth century Neoclassical/Beaux Arts-inspired commercial design in the center city. Built in 1911 in conjunction with the newly completed Union Station complex one block to the south, the imposing nine-story commercial building served as a prominent symbol of the growing prosperity of the City of Seattle at the turn of the century.

RECOM./CRITERIA Accept Criterion C

REVIEWER Paul R. Lusignan DISCIPLINE HISTORIAN

TELEPHONE _____ DATE 7/12/2011

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.



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WA - KING COUNTY - NEW RICHMOND HOTEL - D1



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WA - KING COUNTY - NEW RICHMOND HOTEL_02



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WA - KING COUNTY - NEW RICHMOND HOTEL - 03



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WA - KING COUNTY - NEW RICHMOND HOTEL - 04



WA - KING COUNTY - NEW RICHMOND HOTEL - 05



WA - KING COUNTY - NEW RICHMOND HOTEL - 06



No Smoking

VACANT

[White notice]

GN-IN ONLY



WA - KING COUNTY - NEW RICHMOND HOTEL - 07



WALKING COUNTY, NEW RICHMOND HOTEL

OR



WA - KING COUNTY - NEW RICHMOND HOTEL - 09



WA - KING COUNTY - NEW RICHMOND HOTEL - 010



WA - KING COUNTY - NEW RICHMOND HOTEL - 011



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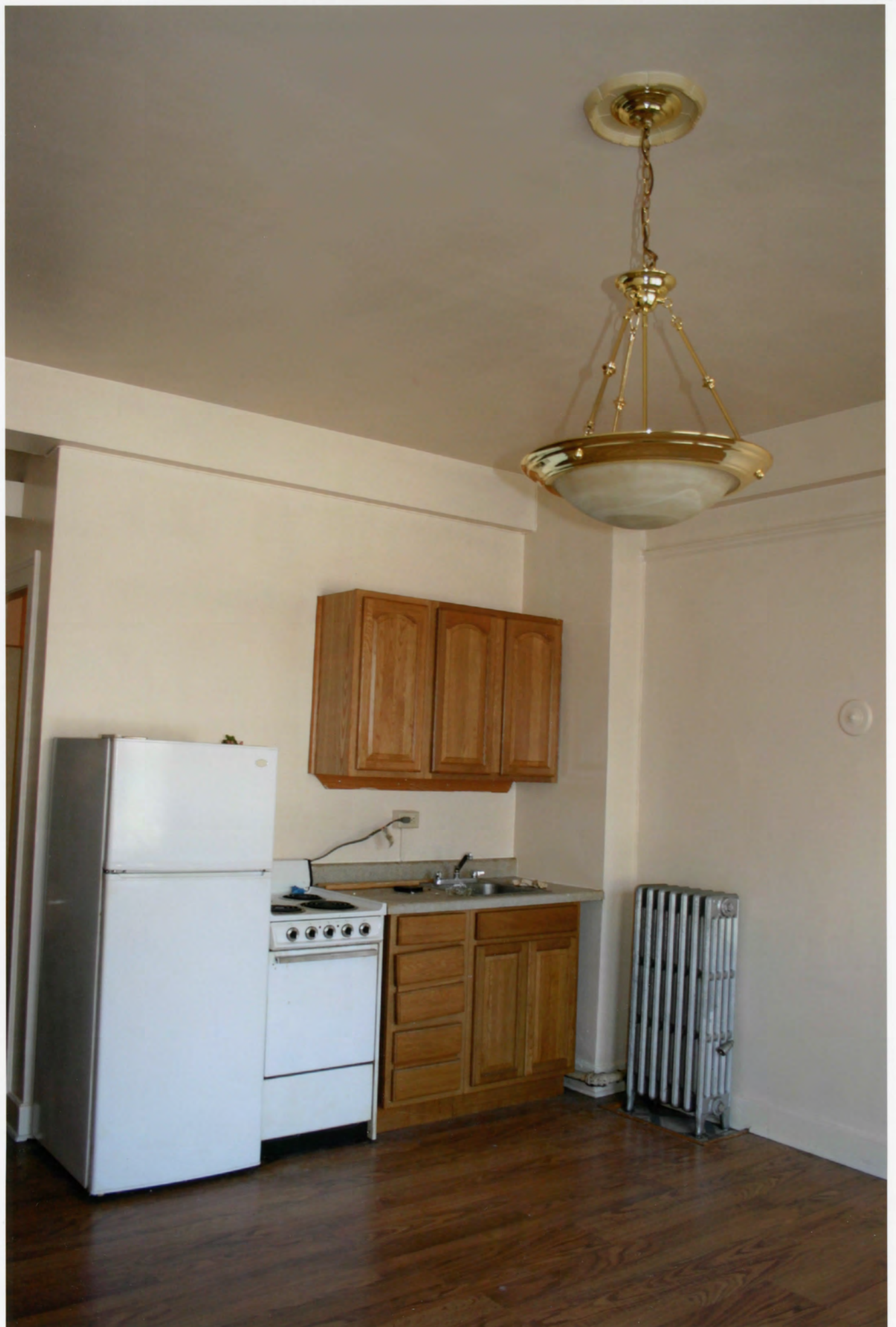
WA_KING COUNTY_NEW RICHMOND HOTEL_013



WA - KING COUNTY - NEW RICHMOND HOTEL - **diy**



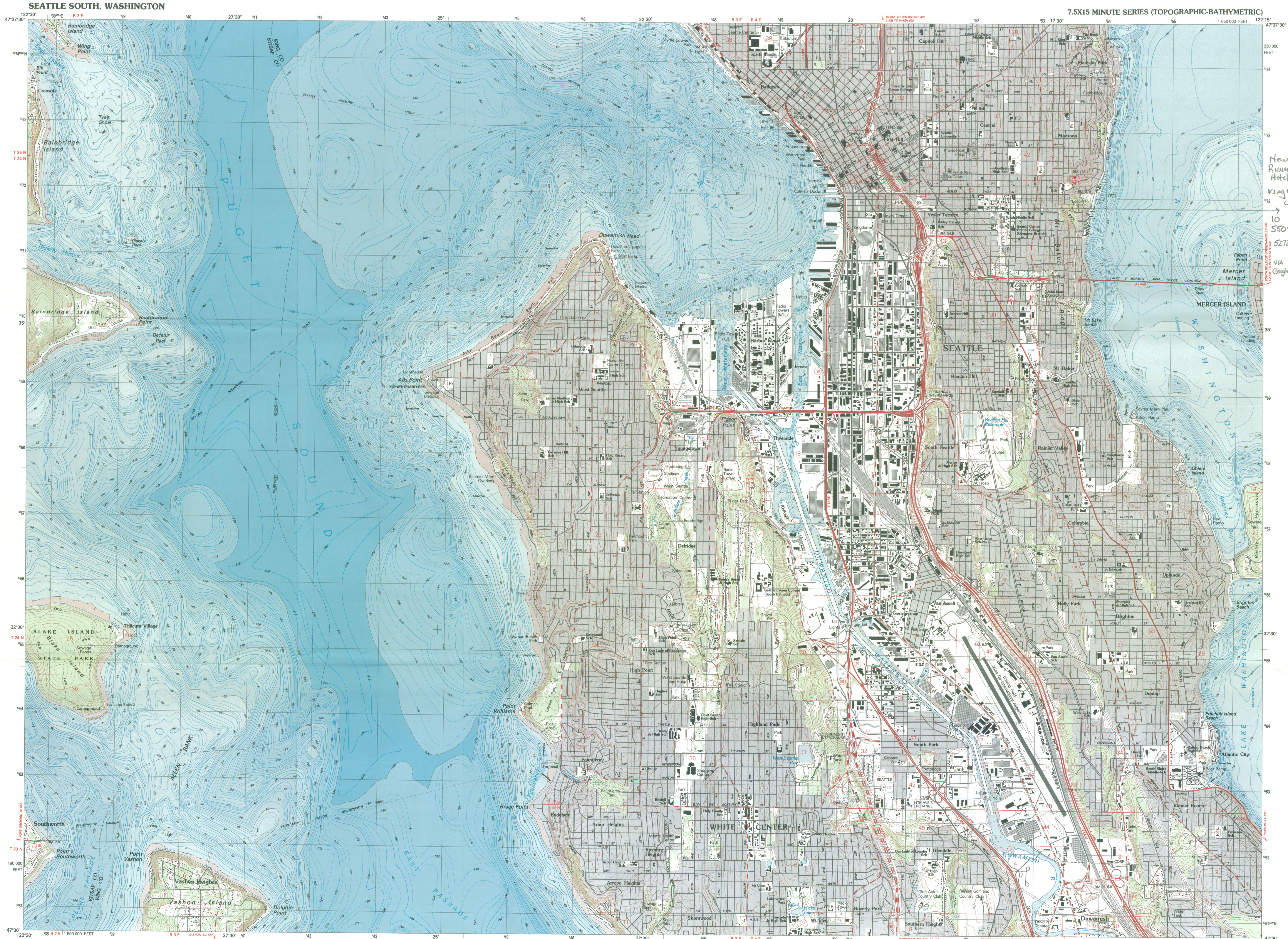
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WA_KING COUNTY - NEW RICHMOND HOTEL - 016



WA - KING COUNTY - NEW RICHMOND HOTEL - 017

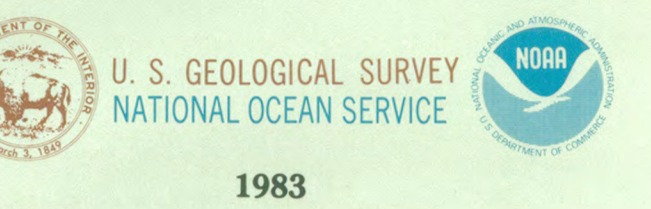


Seattle South WASHINGTON

1:25 000-scale metric topographic-bathymetric map

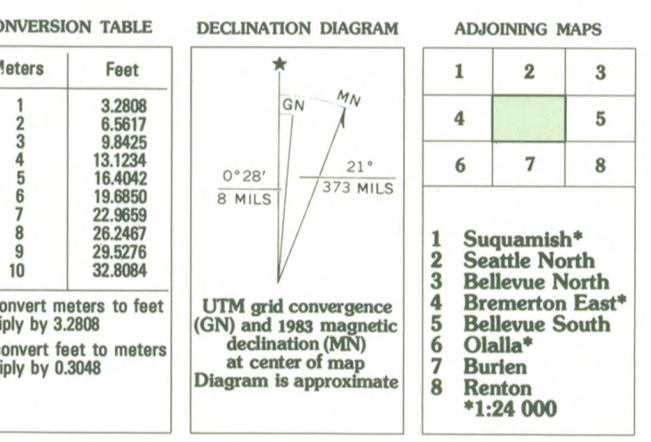


- 7.5 X 15 MINUTE QUADRANGLE SHOWING
- Contours and elevations in meters
 - Highways, roads and other manmade structures
 - Water features
 - Woodland areas
 - Geographic names
 - Bathymetric contours in meters



Produced by the United States Geological Survey and the National Ocean Service
 Contour interval 5 meters
 Bathymetric contour interval 2 meters
 Datum: Mean Lower Low Water of Lake Washington
 Projection: UTM Zone 18N
 Scale: 1:25,000

CONVERSION TABLE
 METERS TO FEET
 FEET TO METERS



Topographic Map Symbols

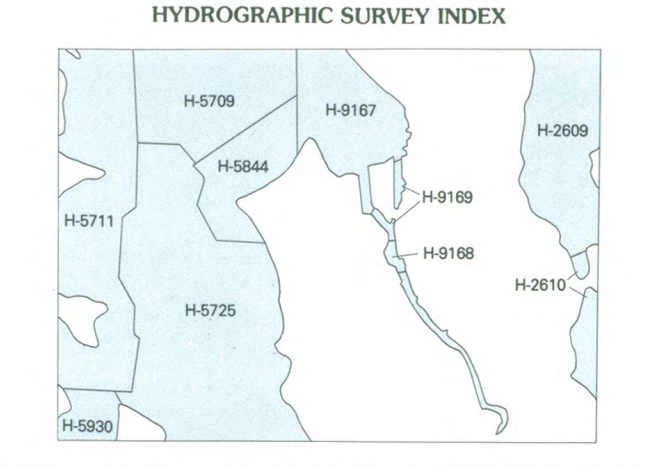
- Primary highway, hard surface
- Secondary highway, hard surface
- Light-duty road, hard or improved surface
- Unimproved road, trail
- Road marker: Interstate, U.S. State
- Railroad: standard gauge, narrow gauge
- Bridge: drawbridge
- Footbridge, overpass, underpass
- Build-up area: only selected landmark buildings shown
- House: barn; church; school; large structure
- Boundary: National, with monument; State; County, parish; Civil township; precinct; district; Incorporated city, village, town; National or State reservation; small park; Land grant with monument; found section corner; U.S. public lands survey: range, township, section; Range, township, section line: location approximate; Fence or field line; Power transmission line, isolated tower; Dam; dam with lock; Canals; grave; Cartographic, picnic area; U.S. location monument; Wellhead, water well, spring; Mine shaft; prospect; adit or cave; Control: horizontal station; vertical station; spot elevation; Contour: index, intermediate; supplementary; depression; Distorted surface: strip mine, levee, sand; Bathymetric contours: index; intermediate; Potential lake and stream; intermittent lake and stream; Rapid, large and small; fall, large and small; Swamp; marsh; Submerged marsh; land subject to controlled inundation; Woodland: scattered tree; Scrub; mangrove; Orchard; vineyard

SCALE 1:25 000
 1 CENTIMETER ON THE MAP REPRESENTS 250 METERS ON THE GROUND
 SCALE 1:25 000
 1 INCH REPRESENTS 2500 FEET ON THE GROUND

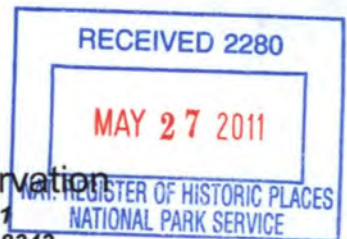
CONTOUR INTERVAL 5 METERS
 NATIONAL GEODETIC VERTICAL DATUM OF 1929
 BATHYMETRIC CONTOUR INTERVAL 2 METERS-DATUM IS MEAN LOWER LOW WATER, DATUM OF LAKE WASHINGTON IS LOW WATER WHICH IS 20 FEET ABOVE THE PLANE OF MEAN LOWER LOW WATER IN PUGET SOUND
 THE RELATIONSHIP BETWEEN THE TWO DATUMS IS VARIABLE

HYDROGRAPHIC SURVEY INFORMATION

SURVEY NUMBER	SURVEY DATE	SURVEY SCALE	LINE SPACING (INCHES)	DATE
H-2809	1902	1:10,000	06-25	
H-2810	1902	1:10,000	06-25	
H-2811	1903	1:20,000	06-25	
H-2812	1903	1:20,000	06-25	
H-2813	1904	1:20,000	06-20	
H-2814	1905	1:20,000	06-20	
H-2815	1906	1:20,000	06-20	
H-2816	1907	1:20,000	06-20	
H-2817	1907	1:20,000	06-20	
H-2818	1907	1:20,000	06-20	
H-2819	1907	1:20,000	06-20	



Photographic copies of the above and prior surveys may be obtained, at the cost of reproduction, by addressing the Director, U.S. Geological Survey, National Ocean Service, National Oceanic and Atmospheric Administration, Rockville, Maryland 20852



STATE OF WASHINGTON
Department of Archaeology and Historic Preservation
1063 S. Capitol Way, Suite 106 - Olympia, Washington 98501
(Mailing Address) PO Box 48343 - Olympia, Washington 98504-8343
(360) 586-3065 Fax Number (360) 586-3067

May 20, 2011

Paul Lusignan
Keeper of the National Register
National Register of Historic Places
1201 "I" Street NW, 8th Floor
Washington, D.C. 20005

RE: **Washington State NR Nominations**

Dear Paul:

Please find enclosed new National Register Nomination forms for the.

- **Queen Anne Post Office & Regional Headquarters - King County, WA**
- **New Richmond Hotel - King County, WA**

Should you have any questions regarding these nominations please contact me anytime at (360) 586-3076. I look forward to hearing your final determination on these properties.

Sincerely,

Michael Houser

State Architectural Historian, DAHP

360-586-3076

E-Mail: michael.houser@dahp.wa.gov