

United States Department of the Interior
National Park Service

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National Register of Historic Places
Inventory—Nomination Form

received
date entered DEC 11 1987

See instructions in How to Complete National Register Forms
Type all entries—complete applicable sections

1. Name

historic EL ENCANTO ESTATES RESIDENTIAL HISTORIC DISTRICT

and/or common same

2. Location

street & number El Encanto Estates Roughly bounded by Country Club n/a not for publication
Rd., Broadway Blvd., Fifth St., and Jones St.

city, town Tucson n/a vicinity of

state Arizona code 04 county Pima code 019

3. Classification

Category	Ownership	Status	Present Use
<input checked="" type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input checked="" type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input checked="" type="checkbox"/> n/a being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
		<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input checked="" type="checkbox"/> park
			<input checked="" type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

4. Owner of Property

name See accompanying inventory forms

street & number

city, town n/a vicinity of state

5. Location of Legal Description

courthouse, registry of deeds, etc. Pima County Court House

street & number 115 N. Church Ave.

city, town Tucson state Arizona

6. Representation in Existing Surveys

title None has this property been determined eligible? yes no

date federal state county local

depository for survey records

city, town state

7. Description

Condition		Check one	Check one
<input checked="" type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input checked="" type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		

Describe the present and original (if known) physical appearance

#7

SUMMARY STATEMENT

Located in the central portion of Tucson, Arizona, the El Encanto Estates Residential Historic District (1929-1941) is comprised of 145 exclusive single family residences displaying excellent examples of Period Revival and mid-twentieth century styles within a distinctly unique subdivision plan. The formal, geometric subdivision plat is one of the first in Arizona to incorporate a symmetrical, curvilinear layout. The subdivision plat includes a centrally located circular park with streets radiating to the well defined edges of the district. Landscape forms are a major cohesive entity within the district, walling and edging has been used in a highly formal manner, unifying each street. The implementation of early comprehensive deed restrictions restricted construction to specific styles, creating architectural compatibility and cohesion within the district boundaries. The community plan, landscaping forms, and architecturally significant residential structures combine to create a distinct, cohesive historic district with a visible sense of time and place.

The historic subdivision plan is the major contributing, cohesive entity which provides unity to the El Encanto Estates Residential Historic District. Within the district are 145 residences, fifty-three of which are considered contributors. Twenty-one residences are recommended to be added to the nomination as they meet the age criteria. Of the buildings which meet the age criteria (fifty years or more), only eight residences have been modified so as to compromise their original integrity, and are thus considered noncontributors. *

Development in the district has been generally steady since 1929, with lulls in construction during the Depression and during WWII. There are thirty-five residences which are fifty or more years old (built before 1937) and eighteen homes which were constructed from 1937 through 1941. These homes constructed between 1937 and 1941 are considered historic due to their architectural integrity and their contribution to the neighborhood's cohesion.

The community plan, the landscape architecture, and the eligible residential properties are significantly intact and display a high degree of integrity. In addition, building condition is generally good, and careful maintenance over the years has helped maintain the appearance and unique sense of place within the district boundaries.

* Resources counted as follows: fifty-three contributing residences, one contributing park (total fifty-four contributing resources), ninety-two noncontributing residences (twenty-one of which may be considered for later inclusion as contributors). See Item 7, continuation sheets 27-31 for lists of contributing and noncontributing resources.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input checked="" type="checkbox"/> community planning	<input checked="" type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900-1941	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates 1929-1941 **Builder/Architect** various, see accompanying forms

Statement of Significance (in one paragraph)

#8

STATEMENT OF SIGNIFICANCE

Summary

The El Encanto Estates Residential Historic District (1929-1941) is nominated to the National Register of Historic Places at the local level of significance under criteria A and C. It is nominated for its historic association with community planning, landscape planning, and the architectural significance of the residences which are associated with the lives of persons significant to Tucson's past. The district embodies distinctive characteristics that represent the period from 1929-1941; it contains excellent examples of southwestern, architect designed residences. A high degree of artistic value is seen in the district plan and the design of the El Encanto Estates subdivision as well as in the landscape architecture. The El Encanto Estates Residential Historic District represents a significant and distinguishable entity that is important to the history of Tucson.

El Encanto Estates Residential Historic District is nominated to the National Register of Historic Places as one of the early subdivisions in Arizona, and only subdivision in Tucson, to use a formal radiating, geometric layout plan. The district is nominated for its formal landscaping of public as well as individual lots, and for the cohesion and harmony in which architecture and landscaping blend. In addition, El Encanto Estates Residential Historic District is nominated to the National Register of Historic Places for the historic association of prominent occupants who contributed to the history and development of Tucson and Arizona, as well as for the association of numerous local architects who designed residences in the El Encanto Estates district.*

El Encanto Estates was subdivided in a radiating scheme reminiscent of Baroque land use patterns. This departure from the usual high density gridiron land use pattern reflects the Baroque Revival trend of an era and reflects the original intent of the El Encanto Estates founder, W.E. Guerin; that of providing a private and exclusive, high quality, low density, planned community. Baroque schemes are characterized by interpenetration of oval spaces, curved surfaces and conspicuous use of decoration.

* Significance under criterion B deleted by Arizona SHPO.

9. Major Bibliographical References

See continuation sheet

10. Geographical Data

Acreage of nominated property 123

Quadrangle name Tucson

Quadrangle scale 1:24000

UTM References

A	<u>1 2</u>	<u>5 0 7 5 8 0</u>	<u>3 5 6 5 5 9 5</u>
	Zone	Easting	Northing

B	<u>1 2</u>	<u>5 0 7 5 8 0</u>	<u>3 5 6 4 8 1 0</u>
	Zone	Easting	Northing

C	<u>1 2</u>	<u>5 0 6 9 8 0</u>	<u>3 5 6 4 8 1 0</u>
	Zone	Easting	Northing

D	<u>1 2</u>	<u>5 0 6 9 8 0</u>	<u>3 5 6 5 5 7 0</u>
	Zone	Easting	Northing

E	<u> </u>	<u> </u>	<u> </u>
	Zone	Easting	Northing

F	<u> </u>	<u> </u>	<u> </u>
	Zone	Easting	Northing

G	<u> </u>	<u> </u>	<u> </u>
	Zone	Easting	Northing

H	<u> </u>	<u> </u>	<u> </u>
	Zone	Easting	Northing

Verbal boundary description and justification

See continuation sheet

List all states and counties for properties overlapping state or county boundaries

state	<u>n/a</u>	code	<u>04</u>	county	<u>n/a</u>	code	
-------	------------	------	-----------	--------	------------	------	--

state		code		county		code	
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11. Form Prepared By

name/title Wendy Laird, Projects Manager

organization Linda Laird & Associates

date 9/16/87

street & number 346 N. Fourth Avenue

telephone (602) 792-1802

city or town Tucson

state Arizona

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national state local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature Shereen Turner

title SHPO

date 12/7/87

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I hereby certify that this property is included in the National Register

[Signature]
Keeper of the National Register

date 1/29/88

Attest:

date

Chief of Registration

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DISTRICT CHARACTERISTICS

The subdivision plat of El Encanto Estates was approved by the City of Tucson and by Pima County in August, 1928. At that time, the planned subdivision was located in the desert east of the Tucson City limits, adjacent to the location where the El Conquistador Resort Hotel was being constructed (opened November 22, 1928). The City of Tucson has since grown around the neighborhood; arterials on three sides and a major shopping center (El Con Mall) give strong definition to the district boundaries. Despite the peripheral development, El Encanto retains a unique sense of privacy and place. This is due to the strength of the community plan, the integrity of the subdivision layout, the maintenance of original landscaping, and the retention of well defined deed restrictions for over fifty years. In addition, recent development of a comprehensive neighborhood plan will serve to help protect this unique subdivision in the future.

Access to the district is limited to four streets with six entrances; Camino Miramonte, Camino Espanol, Calle Corta, and Calle Portal. These six entries feed into major arterials to the south, west and north sides of the district. Calle Resplandor, Calle Mirasol, Calle Encanto, Calle Conquista, and Calle Primorosa end in cul-de-sacs against vegetation and a six foot stuccoed wall along the eastern border, which protects the district from foot and vehicular traffic from adjacent El Con Mall.

DISTRICT BOUNDARIES

Defined Boundaries

The El Encanto Estates Residential Historic District is now roughly in the center of the City of Tucson (population 600,000), which lies in the Santa Cruz Valley, sixty miles north of the Mexican border. Four mountain ranges surround the City which is about 2400 feet above sea level. The historic district boundaries are formed by three major arterials; Broadway Boulevard to the south, Country Club Road to the west, Fifth Street to the north and the smaller Jones Street to the east. These boundaries are identical to the original subdivision plan of the neighborhood, plotted in 1928 (see appendix A for original subdivision map). The district boundaries include approximately 123

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acres of land, with single family residential development of low density.

There are currently eight vacant lots which are scattered throughout the district, with a slight cluster of vacant lots on Broadway Boulevard. Parcel size ranges from 1.05 acres to 0.429 of an acre. Only five built lots are less than 0.38 acres (16,000 square feet): 80 N. Camino Miramonte (0.365); 10 E. Calle Corta (0.375); 442 N. Country Club Road (0.377); 342 N. Country Club Road (0.377); and 14 N. Calle Conquista (0.366).

On the north side of Fifth Street, in the Virginia Heights subdivision, are seven homes which were once part of El Encanto Estates, Inc. The El Encanto Estates office and water well were also located here. The well and office no longer exist, though the seven historic homes do. Fifth Street is a major arterial, however, and therefore, the district boundaries do not extend beyond this street (see appendix A for copy of 1951 Sales List).

Justification of Boundaries

The district boundaries were chosen as they reflect the original -- unchanged -- subdivision plat filed in 1928, and because three major arterials bound the district, isolating it from nearby high density residential areas. Commercial intrusion, including El Con Mall, and businesses located on the south side of Broadway Blvd, have changed the context of the surrounding area while not intruding upon the district, which remains low density, single family, residential dwellings only. In addition, the El Encanto Estates Residential Historic District maintains a distinct visual sense of time and place as compared to neighborhoods to the south, west and the north. The planned, formal winding course of narrow streets, the harmony of landscaped lots which blend within the subdivision scheme, and the architectural compatibility within the district, similarly define the neighborhood as a distinct entity, unlike any other subdivision in the surrounding area. In addition, mature palm trees, originally planted to define the subdivision, create visual continuity as well as a significant, unique skyline effect in the mid-town section of Tucson. From the air the clearly visible vegetation looks like an oasis in the city desert.

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DEFINITION OF PERIOD OF SIGNIFICANCE

The chosen period of significance (1929-1941) reflects the inception of the El Encanto Estates Residential Historic District as well as the major lull in construction which occurred during WWII. This era, described below, is seen as a distinct and defined entity, and is similar to development patterns throughout the United States.

Development in the District

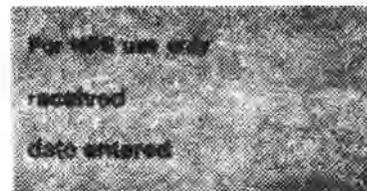
In 1908, Henry Bloise homesteaded the area located at Broadway and Country Club. It was the first home constructed in the district, and later became the home of L.C. James. After the subdivision was platted and formally approved and filed in the Recorder's Office in 1929, construction began in earnest. Ten residences were built in 1929 and nine homes were built in 1930. The Depression had a negative impact on construction, and the years between 1931 and 1933 show a minor lull in construction, with a total of only eight homes constructed over that three year period. A gradual increase in development can be seen between 1934 and 1938, with four residences constructed in 1934 and eight homes constructed in 1938. Pre-WWII development is low with a total of only ten residences constructed between 1939 and 1941. In 1941, a dramatic decline in development occurred. Only one home was constructed in 1942 and no homes were constructed during 1943 and 1944. This lull in construction was long lasting and development within the district did not pick up until 1947 when six residences were constructed. (see appendix G for date sort).

Development of Styles in the District

Spanish Colonial Revival was the preferential style choice upon the inception of the El Encanto Estates Residential Historic District. Six Spanish Colonial Revival style residences were constructed during 1929, and six were constructed during 1930. Pueblo Revival was the second preferential style choice with two homes constructed of this style during 1929 and two constructed in 1930. Only one Eclectic Revival home and one Sonoran style home were constructed during 1929. The Spanish Colonial Revival style continued to be the style of preference until 1941, when Ranch style residences took the lead with three residences constructed of that style and no Spanish Colonial Revival style residences constructed at all. Due to the major lull in construction

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Construction Patterns

Construction Date	Residences Constructed		
pre-1921	1	—	HOMESTEAD
1929-1930	10	—	INCEPTION
1930-1931	9		
1931-1932	3	—	DEPRESSION
1932-1933	4		
1933-1934	1		
1934-1935	4	—	INTENSITY OF CONSTRUCTION
1935-1936	5		
1936-1937	6		
1937-1938	7	—	Pre-WWII
1938-1939	8		
1939-1940	3		
1940-1941	2		
1941-1942	5		
1942-1943	1	—	WWII
1943-1944	0		
1944-1945	0		
1945-1946	0		
1946-1947	2		
1947-1948	6	—	INCREASED DEVELOPMENT
1948-1949	4		
1949-1950	3		
1950-1951	8		
1950 - to present			SPORADIC GROWTH DUE TO LESS OPEN LOT SPACE

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during WWII, only five homes were constructed that year. After 1942, Spanish Colonial Revival homes were no longer constructed in the El Encanto Estates Residential Historic District. The movement toward Ranch style residences continued to be a factor until the 1950's, with four Ranch style homes constructed in 1947 and six constructed in 1950. The preference for Ranch style residences continued until 1962, when Ranch style residences were no longer constructed within the El Encanto Estates Residential Historic District.

EL ENCANTO ESTATES PLAN AND LANDSCAPE

Plan

The El Encanto Estates community plan is important to the history of landscape planning as one of the few early, intact subdivisions in Tucson to deviate from the traditional, rectangular gridiron layout. The design, surveyed by Paul E. Fernald, a mining and civil engineer and Tucson City engineer (1931-32), was prepared by the Engineering Service Corporation of Los Angeles, California. It is the only known historic subdivision plan in Arizona modeled after Baroque Revival land use patterns. Baroque Revival schemes are characterized by interpenetration of oval spaces, curved surfaces and conspicuous use of decoration. The El Encanto Estates Residential Historic District is an excellent example of formal streetscape planning that incorporates the use of landscape materials to define distinct boundaries for residential subdivision use. This district differs from other residential subdivisions which were developed during the same period, by this formal, Baroque street layout which is defined by the formal use of palm trees to line each street. No other early subdivision with these characteristics remains intact in Tucson.

The original historic district plan incorporates a circular, geometric pattern with a centrally located park and six tributary streets, which radiate away from the center. The original plan clearly defined by the mature palm trees, provides a unique setting for the historic residences, and remains intact. The park, located at the center of the neighborhood, is circular, comprising 0.74 acres of land (200 foot diameter), with natural desert landscaping. Circling the park is the street Plaza del Encanto, which is cut by three streets, each at an angle; Calle Resplandor cuts northwest to southeast, Calle Primorosa cuts northeast to southwest and Calle Encanto cuts east to west.

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Except for Calle Encanto, the street with east to west orientation, the streets are connected midway by two small side streets (Calle de Amistad and Calle de Felicidad). All streets then travel further to connect with a set of streets which creates an oval shaped pattern. These connecting streets consist of Camino Miramonte, Calle Belleza, Calle Claravista and Camino Espanol. Several small streets extend from these streets with Calle Mirasol, Calle Conquista, Calle Corta, and Calle Portal additional streets in the pattern. Five of these streets continue outward to the east ending as cul-de-sacs.

Landscaping

The original plan consisted of laying the streets and lining them with palm trees. A California firm, Engineering Service Corporation of Los Angeles, was hired to lay out the subdivision which set the initial precedent in the district for the overall approach to site development. The California influence in the landscape architecture is particularly evident in the use of Mexican fan palms (*Washingtonia filifera*) to line the interior streets and date palms (*Phoenix dactylifera*) to line the remaining streets in the district. The palms were planted in 30' intervals on each of the district's streets and visually enhance the continuity of the neighborhood, by providing a strong, defined sense of place. One hundred and thirteen original Mexican fan palms remain intact, lining Calle Encanto (see appendix B for map and tree search nomination), and 249 date palms continue to line the further circle in the district (see appendix B for map and tree search nomination). These palms and the saguaros in the central circular park were recently inventoried and nominated for the Great Tree Search, which was sponsored by the University of Arizona.

The park, which is the focal point of the neighborhood, is ringed by tall, slender fan palms and contains a collection of saguaro cacti -- 157 in number, which range up to 25 feet in height. Other native desert vegetation included in the park are: Desert Broom, Creosote Bush, Mexican Palo Verde, Cholla and *Opuntia* Cactus, Acacia and Yucca varieties. It is possible that many of the -- then small -- saguaros, prickly pear, and creosote plantings were transferred to their current site during early construction of several homes within the El Encanto Estates boundaries. These plantings now comprise a rich desert landscaped environment which is more formal than, and uncharacteristic

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of, natural desert areas. The circle is an "idealistic" representation of native desert plantings, rather than a "natural" illustration of a desert environment. It typifies a formal approach to landscaping, a prevalent theme in the El Encanto Estates Residential Historic District.

Two general landscape design themes for individual lots are most commonly observed within the district. The most prominent design theme (about 75% of the residences) are of formal design with origins in the east, mid-west and California. Bermuda grass lawns, well-trimmed ornamental shrubs, bedding plants, and mature shade trees are the principle characteristics of these formal gardens. A second theme is evident on only a few lots, featuring preserved native plants which were retained during construction. These are not landscaped, but rather left natural. Later practices incorporated these native plantings with imported desert vegetation, which when transplanted, create an idealistic representation of "natural" desert landscaping. These designs are more ornamental, and uncharacteristic of actual desert growth patterns. The formal theme and the natural desert theme co-existed in time, and are seen as differing from later practices, which utilize transported "natural" desert plantings in conjunction with pre-existing native desert plantings. It is the formal theme which prevails in El Encanto Estates, and which distinguishes the district from other early subdivisions in Tucson.

Walled yards and courtyards are common design elements used throughout the district; both are elements not found in surrounding neighborhoods. With few exceptions, residences include a portion, or all of the lot, in a walled enclosure. These walls consist of a variety of masonry types including exposed brick, stuccoed brick, tile, and even wrought iron. Design features inside these enclosures include brick and Spanish tile pavements, colorful tile wall features, fountains, and iron work with Mexican heritage as well as roots in the American Victorian design themes found in Tucson from about 1890 to 1920. In some cases, hedges and clipped hedges are used to define these enclosed yard areas. Fine examples of oleander, Japanese privet, and xylosma hedges are found throughout the district.

Roadside edging and curbing are also used extensively throughout the district. Almost all of the residences, particularly those with a formal design theme, have been developed with a brick or concrete curb at the property line. This design element enhances the visual continuity of the street plan as well as serving to formally define the winding streets.

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The plantings in El Encanto Estates are characteristic of the 1920's era and later; and many of the plants were used in Tucson as early as 1880. The visual continuity of the district is enhanced by the repetitive use of a number of common plant themes. A survey, done by Walt Rogers, ASLA, in 1979, of the earliest thirty to forty homes built from 1929 to 1935 revealed the following commonly used plants:

Trees

Prunus armeniaca (Apricot)
Pinus halepensis (Aleppo Pine)
Citrus cvs. (Orange, grapefruit, lime)
Citrus aurantium (Sour Orange)
Ligustrum lucidum (Glossy Privet)
Phoenix dactylifera (Date Palm)
Phoenix canariensis (Canary Island Date Palm)
Rhus lancea (African sumac)
Cupressus sempervirens (Italian cypress)
Vitex agnus-castus (Chaste Tree)
Eucalyptus camaldulensis (Red Gum)
Washingtonia filifera (California Fan Palm)
Ficus carica (Edible Fig)
Tamarix aphylla (Tamarisk)
Washingtonia robusta (Mexican Fan Palm)
Cupressus Arizona (Rough Barked Arizona Cypress)
Olea europaea (Olive)
Schinus molle (California Pepper Tree)
Melia Azadarach (Chinaberry)
Parkinsonia aculeata (Mexican Palo Verde)
Prosopis glandulos (Common Arizona Mesquite)
Punica granatum (Pomegranate)

Shrubs and Sub-shrubs

Ligustrum japonicum (Japanese Privet)
Nerium oleander (Oleander)
Xylosma congestum (Xylosma)
Agave americana (Agave)
Buxux microphylla japonica (Japanese Boxwood)
Thuja orientalis (Arborevitae)

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Gelsemium semperivirens (Carolina Jessamine)
Jasminum mesnyi (Primrose Jasmine)
Pyracantha crenulata (Pyracantha)
Pittosporum tobira (Pittosporum)
Juniperus c. pfitzeriaria (Pfitzer Juniper)
Juniperus c. horizontalis (Spreading Juniper)
Hedera canariensis (Algerian Ivy)
Yucca aloifolia (Spanish Bayonet)
Aloe vera (Aloe)
Ficus pumila (Creeping Fig)
Vinca minor (Dwarf Periwinkle)
Nandina domestica (Heavenly Bamboo)

Deed Restrictions

The El Encanto Estates deed restrictions, formally filed in the Pima County Recorder's office on January, 21, 1929, define required materials, the styles to be used for construction, the placement of homes, and construction cost requirements set per lot. (See appendix A for copy of deed restrictions)

The original subdivision plan created lot sizes which were large, ranging from 0.373 of an acre to 1.056 acres. The deed restrictions allowed the purchase of several adjacent lots, that would then constitute a single residential site (a frequent practice in the district). The 123 acres of the El Encanto Estates district was originally divided into 189 lots, and is currently defined today by 154 lots. Thus, many residential sites are larger today than originally plotted.

Costs per lot were assessed, with values ranging from \$1,000 to \$4,500. The values reflected the location and size of the lot. The deed restrictions required that lots bought must reach specific cost improvement prices. \$8,000, \$10,000 and \$12,000 were the set costs. The price of the lot plus the additional cost of improvement was greater than cost requirements for other early subdivisions in Tucson, and amounted to an ample sum of money in the late 1920's. These high cost requirements served to restrict construction in the district to only the wealthiest of home owners. Residential property values have remained high throughout the century, and still control, to some degree, future development within the district.

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Setbacks were to be at least thirty-five feet from "any" street line and at least twenty feet from any lot line. The deed restrictions also required that no detached garage could be erected within fifty feet of any street line, "or at any location that ha[d] not been first in writing authorized by El Encanto Estates." The building of walls was also controlled. All plans, including those for alterations, had to be submitted to the overseeing architect, M.H. Starkweather, a prominent Southern Arizona architect during the historic period. This attempt at monitoring construction and future improvements was a new concept in the late 1920's, and was designed to enhance the exclusive, aesthetic cohesion of the neighborhood, a ramification of the "city beautiful" movement.

The deed restrictions required that any "proposed building or other structure as shown by said plans and specifications, [must be] of Moroccan, Spanish, Italian, Mexican, Indian or Early Californian Architecture." Construction was monitored by the hired, overseeing architect (M.H. Starkweather) who had "the right and privilege to disapprove any and all plans and specifications submitted to him." Lot owners were required to submit two sets of plans, which would be accepted or rejected by the hired architect. The plans were perused for conformity to the required styles, and as to whether they were deemed to be "in harmony with the general surrounding[s]." The decision of the architect was final.

This attempt at defining required architectural styles resulted in the development of architect designed residences which conformed to a narrow range of southwestern styles, and served to create an historic cohesion and distinct sense of time and place within the district, as well as providing excellent examples of these styles. The El Encanto Estates Residential Historic District is one of the early subdivisions in Tucson whose landscape planning and residential construction was controlled by stringent deed restrictions, that enforced architectural and landscape restrictions on each individual property owner.

To further restrict residential ownership the El Encanto Estates deed restrictions stated that "no lot shall be sold conveyed [sic], rented, or leased, in whole or in part, to any person not of the White or Caucasian race." This was standard practice in the late 1920's to early thirties, and would not be outlawed for over twenty years. Though the other El Encanto Estates, Inc., deed restrictions were to remain in effect until 1979, this racial provision was to be "perpetual," another standard stipulation which served to enforce exclusivity in late 1920's and early 1930's subdivisions.

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ARCHITECTURAL DESCRIPTION

Materials and Features

Earlier homes in the district reflect the influence of local artisans who, for the most part, used local materials in constructing the homes. All homes in the district were constructed of masonry. A variety of tiled roofs are common, though some homes have asphalt shingle sheathing. A number of homes were built before air conditioning became widely available and their design emphasizes natural cooling. Fully-opening windows and picture windows are common, as are high ceilings, arcades, attics, "Arizona" rooms (a room, generally located at the rear of a home, which is screened or glassed in) and shady patios with fountains. All of the early homes have attached garages, indicating the increasing prominence of the automobile. Basements, an uncommon feature in Tucson due to a thick layer of caliche which is difficult to penetrate, are common in El Encanto, probably due to the ability of the residents to afford the additional construction costs.

Masonry walls are generally double with varying sized air gaps (1" to 3") between walls in order to insulate homes from heat conduction. A few homes have triple brick walls. These masonry walls are typically exposed, stuccoed, or painted brick. Several different types of brick can be found, including locally produced, hard fired brick, and imported brick. Standard red brick comprises the majority of masonry types; however, some blonde brick as well as flagstone is found. Only 4 homes are built of adobe. The Painter Home, located at 3242 E. Fifth Street (#56), the most prominent of the four, was constructed in 1936, on site by William Shuster, an architect from New Mexico, and is the only adobe craftsman residence in the neighborhood. Painted brick homes are generally of buff or white colors. Stuccoed finishes are dictated by styles, with rough finishes used for Ranch styles and smoother finishes used for Pueblo Style homes.

Most of the homes in El Encanto are large one story, single family dwellings, with the exception of sixteen homes which are two story and seven which are one and a half stories. Most of the homes are large in proportion, ranging from 67 feet to 122 feet in length and 34 feet to 94 feet in width. The majority of the homes have lengths of 70 (plus) feet for length and 80 (plus) feet for width.

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Porches, for the most part, are not prominent, with some exceptions (see #111, #63, #14). Sundecks, pergolas, enclosed "Arizona" rooms and rear patios are typical. Some patio areas have fountains, most are of inlaid brick, and typically are positioned at the rear of the home. Privacy is a distinct element in the neighborhood, and many of these rear patios have four to six foot walls surrounding large back yards and in some cases front yards which utilize vegetation for additional privacy. A few homes have second story balconies (see #147, #84,) and some have balconets (see #160, #85, #70).

Ornamental features such as painted tiles (generally of a floral design), decorative wood shutters, and painted motifs around windows and entries can be found on many of the homes. Wrought iron, a southwest design element, is used to cover windows as well as entries and is the most extensively used ornamental feature in the neighborhood. Some homes have canvas awnings over windows, used for additional shade.

Architectural Styles

The El Encanto Estates Residential Historic District is architecturally significant as a major collection of southwestern style residences designed by prominent local architects. The deed restrictions assured that these homes would become some of the finest examples of residential Tucson architecture built during the historic period.

The California influence of the original planning of El Encanto can be seen in the architectural styles used in the neighborhood. The styles in El Encanto are generally of Period Revival types, Early and Later Ranch Styles and Modern Style homes. There are fifty Ranch Style homes (includes early and later designs), thirty-six Spanish Colonial Revival Style homes, sixteen Pueblo Revival Style homes, five Mission Revival Style, four Eclectic Revival Style homes, two early "Modern" Style homes and twenty-eight post WWII Modern Style homes, one Sonoran Style home, one Neo-Colonial Revival home, one Georgian Revival home, and one unknown style due to current construction (see appendix C for style sorts). Revival Styles and Ranch Styles are the most widely found styles in El Encanto.

Though construction occurred from 1929 to the present, there are few homes which deviate from the specific style requirements as set forth by the deed restrictions. Contributing properties comprise 37% of the buildings in the El Encanto Neighborhood. Of the contributing properties, twenty-nine are of the Spanish Colonial Revival Style,

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twelve are of the Pueblo Style, three are of the Eclectic Revival Style, four are of the Early Ranch Style, two are of the Mission Revival Style, one is of the Sonoran Revival Style, and two are early "Modern" Style residences (see appendix C for Long Form Style sort).

The noncontributing structures include forty-six buildings which are defined as being of the Ranch Style, twenty-seven of the Modern Style, seven of the Spanish Colonial Revival Style, three of the Mission Revival Style, four of the Pueblo Revival Style, one is an early "Modern", one is a Georgian Revival Style, one is an Eclectic Revival Style, one is of the Neo-Colonial Style, and one is of an unknown style, due to current construction. (see appendix C for Short Form Style sort). There are a total of ninety-two noncontributing residences in the El Encanto Estates Residential Historic District.

The accompanying nomination forms describe general style terms, rather than the eclectic names for current styles. These terms, as described by Virginia & Lee McAlester in a Field Guide to American Houses, reflect a change in name, rather than a change in characteristic traits for each style, and are described below. Eclectic styles have been gathered under broader descriptive style terms. For example, Mexican Revival is a derivative of the Spanish Colonial Style, and will here be defined simply as "Spanish Colonial Revival"; the Monterey Style represents an off-shoot of the Ranch Style, and here is categorized under "Ranch Style."

STYLES IN EL ENCANTO ESTATES

Spanish Colonial Revival Style

Early Spanish Colonial Style homes in the United States were constructed with few decorative or stylistic details. They were built of adobe in remote outposts, where simplicity was a necessity. The opening of trade in the United States (ca. 1830), increased the popularity of the style, and along with the expanded wealth, brought a variety of elaborate decorative, and stylistic details to the Spanish Colonial design. Two story variants on the original theme became fashionable. Cantilevered second story porches were introduced.

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The "Monterey" Style, was inspired by the Anglo-influenced Spanish Colonial designed homes located in northern California. The Monterey Style blends Spanish adobe construction with pitched-roof types and English massing-plan. The style is noted for its low-pitched roof, usually gabled, and by the second-story balcony, which is generally cantilevered and recessed under the main roof line. Several examples of this "Monterey" Style exist in El Encanto, with the O'Reilly Home at 25 E. Plaza del Encanto (#96) the best example of this style.

Another variant of the Spanish Colonial Revival Style, is the "Mexican Colonial" Style. These homes have flat roofs without the traditional roof framing. The massing is horizontal. Cylindrical rainspouts of tile (canales) project through the parapet to provide drainage, or are used as ventilation for attics. This type of variant on Spanish Colonial theme was introduced into Spain from North Africa by the Moors. It was developed independently by Native Americans, and was well established in Mexico and southwestern portions of the United States when the Spaniards arrived. It is assumed that the flat earthen roofed variant on Spanish Colonial theme was suitable for very hot and dry regions (McAlester p. 129). This flat roofed version of Spanish Colonial Style increased in demand upon the opening of trade in the United States. Similar to the "Monterey" Style, the design became more elaborate. Decorative elements such as shingled shed roofs were added to the parapet, usually superimposed on the traditional adobe construction. Porches were normally recessed under the main roof line, generally facing internal patios, and thus rarely were visible at the facade.

A few homes in El Encanto share these Spanish Colonial Revival characteristic features. Porches, for the most part are not a visible element in the design of the homes. Back patios, "Arizona" rooms (a screened or glass rear porch) and enclosed back porches are found on most Spanish Colonial Revival Style homes. Many of these homes use heavy vegetation in addition to walling for additional privacy. The Smith Home at 25 E. Calle Belleza (#121) is U-shaped, with a large rear patio protected from sun and traffic noise by the house and with the use of additional walling. The first Siddal Home at 100 E. Calle Encanto (#24), and the Herndon Home at 25 N. Calle Mirasol (#23), are two excellent examples of Mexican Colonial Revival in the El Encanto Estates historic district.

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In early construction of the variant Spanish Colonial themes in New Mexico, western Texas, and Arizona, an additional feature of protective brick or tile coping was added, used to crown the roof parapet. This variation was known as "Territorial" Style. Several examples of the "Territorial Revival" Style can be found in El Encanto. The Robinson Home at 95 E. Calle Encanto (#31), the first Shoenhair Home at 80 N. Camino Miramonte (#27), and the Mansfield Home at 40 E. Plaza del Encanto (#103) are all fine examples of the "Territorial" Style.

Decorative design features for the Spanish Colonial Revival Style homes in El Encanto range from simplistic to elaborate. The homes at 50 N. Camino Espanol (#99), 45 Plaza del Encanto (#85), and 70 E. Calle Encanto (#111) are all excellent examples of elaborately designed Spanish Colonial Revival residences with much ornamental detailing. They are all of imposing proportions (84' length, 61' width #111, 100' length, 70' width #99, and more modest 71' length, 63' width for #85), have stuccoed exteriors of rough surface finish, and have heavy Mission tile roof sheathing, as well as prominent exposed rafters and thick masonry walls.

The home at 45 Plaza del Encanto (#85) has a balconet, an uncommon feature in El Encanto, with molded supports. There is a circular vent at the pediment above the entry and a walkway with arched cover at the northwest side. Another touch to this design is the triangularly capped chimney at the facade with tiled sheathing. The home at 70 E. Calle Encanto (#111) is another two story home with arched lintels, shed roofed porch with tiled sheathing, rough hewn posts and carved wood rail. There is a sundeck to the west of the roof, with similarly designed porch. This home is an early home in the neighborhood, constructed in 1932, and is prominent on a large corner lot.

The home at 50 N. Camino Espanol (#99) has been modified with side additions. The modifications, however, have not jeopardized its integrity. It retains the feeling and design of the original intent. The circular tower is its most prominent feature. This tower has prominent exposed rafters and molded pediment. Only one other home (#23) in El Encanto has a tower. Wrought iron work has been used extensively and adds to the design. Facade windows and entry ways have ornamental iron grills.

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More simplistically designed Spanish Colonial Revival Style homes include the Solve Home at 3342 E. Fifth Street (#49), the Small Home at 95 N. Calle Miramonte (#83), and the Levy Home at 30 N. Calle Mirasol (#16). Decorative features for these homes include; canales, vents, and heavily tiled roofs, but little more.

Mission Revival Styles

California was the birthplace of the Mission Style. The earliest example of this style dates back to the 1890's. By the early 1900's, this style began to spread eastward, its popularity noted in "fashionable" architect and national builder magazines. California architects advocated the use of the style circa 1888. Its use was further spread when the Southern Pacific Railroad adopted the style for its stations and hotels located along the railroad tracks. The Mission Style never became popular in the East, however, remaining primarily a southwestern design.

Typical design elements such as tapered parapet, arches, tiled roof sheathing, etc. are characteristic of Hispanic elements of the design. These elements, including towers, elaborately molded arches and arcades, were adaptations taken from early Catholic missions located along the California coast and parts of Arizona and Mexico. Later Mission Revival Styles freely use these early Mission Style themes.

The Taylor Home, at 442 N. Country Club Road (#167) and the Bledsoe Home at 85 N. Camino Espanol (#160) are two examples of this style and are two of the most imposing homes in El Encanto. Both of these two story residences were designed by Tucson contractor W.B. Winchester. They have prominent red, barrel tiled roofs, Mission Style pediments, exterior chimneys with gables topped by red tiled scroll curves, belt course and arched openings at the pediment. The home at 85 N. Camino Espanol has a balconet with wrought iron rail, a bay window and a window with heavily molded sill. Other ornamental features include a large sundeck on the north side, a Greek Revival porch on the south side with vernacular doric square piers and molded open rail, large tiled fountain at central position of front walkway, four facade entries with double leaf wood panel doors with engaged columns at either side and central arched and molded entryway as well as two upper story oriels. A unique circular tower serves as a corner chimney and is the only one of its kind in the district. There are five Mission Revival Style homes in the district.

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Pueblo Revival Style

The Pueblo Revival Style receives its influence from Spanish Colonial as well as Native American pueblo designs. Early examples are found in California by the turn of the century. This style became popular in Arizona and New Mexico around 1910, and remains a prevalent style type to the present. Santa Fe and Albuquerque, New Mexico today prominently exhibit this style due to strict historic district design controls. The Santa Fe influence is found in El Encanto.

The construction of 2 homes was directly influenced by Santa Fe Pueblo design, the Muriel Thayer Painter Home at 3242 E. Fifth Street (#56) and a newer home at 55 E. Calle Belleza (#124). Of the two, the Painter Home is the most outstanding example of this Pueblo Revival Style. Designed by William Shuster, an architect from New Mexico, it is of mud adobe baked on the premises. Decorative carvings are of iron forgings and adobe. The residence effectively demonstrates the beauty and effectiveness of traditional construction by local artisans, utilizing plaster work as well as wood carving to enhance the Pueblo Revival design. The construction of this home is documented in Muriel Thayer Painter's notes and photographs located in Special Collections at the University of Arizona Main Library. The front gate and interior elements were modeled after El Santuario de Chimayo, a church in Chimayo, New Mexico and include the large, sixteen foot high ceilinged living room supported by Douglas fir telephone pole beams with fir shakes between and two large tin candelabras, designed by Shuster, which are suspended by ropes from the ceiling and can be lowered. In addition, archways with carved studded iron bands and bolt doors were also designed by Shuster and modeled after entries in El Santuario. These decorative wood carvings remain intact in the home.

Another excellent example of Pueblo Revival design is the Henry Boice Home at 75 E. Calle Primorosa (#70), constructed in 1937 by Bailey & McCoy. It is of impressive height, untraditionally of two stories. The rounded parapet, large irregularly rounded exterior chimney and weathered tone stucco finish are typical characteristics of the Pueblo Revival Style. Interesting design elements include the use of a rowlock belt course of brick to accentuate the second story and a corbeled timber balconet at the facade as well as exposed wood linteled windows. These design elements add a primitive dimension to the design.

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More simply designed Pueblo Revival Style homes include the Young Home at 90 E. Calle Encanto (#26), and the home at 90 E. Calle Primorosa (#41). The home at 90 Calle Primorosa is atypically two stories with Greek Revival Style recessed porch with engaged piers. The Young Home displays recessed arched entry which is more typical of the Spanish Colonial Revival Style.

Eclectic Revival Style

The Eclectic Revival Style is characterized by features found in all Period Revival Style designs. Homes that do not easily fit into the above Revival style types are here described as Eclectic Revival. Four residences have been defined as Eclectic Revival Style. The Sundt Home at 55 E. Calle Encanto (#84), the second Shoenhair Home at 110 Calle Resplandor (#14), the home at 139 N. Camino Espanol (#181), and the home at 35 E. Calle Claravista (#65). The Shoenhair Home, designed in 1940 by G.R. Colcord, displays characteristics of the French Colonial Revival Style with hipped roof of low pitch and full width broad porch under the main roof line with slender wooden posts. Shutters accentuate multi-light double hung windows, and a double leaf entry is found at first and second stories. The formal entry has side lights and lighted transom. The home is of gray slump block, its size accented by a expansive front lawn and inlaid central walkway.

The Sundt Home, designed in 1937 by Thoralf Sundt, brother of the owner, John, and partner in the MM Sundt Corporation, has a recessed balcony of Monterey design with curved fascia and open, diamond patterned railing. There is a three sided bay and moulding at the main entry; windows have fixed lighted transoms. The cornice is prominently boxed with wide band. Awnings have been added and tastefully shade the upper story windows. According to Mrs. Sundt, the asbestos shingle siding at the upper story is original, verified by notation on the existent, original blueprints of the building, and though siding is not typical of Colonial Style homes, second-story overhang types do display different wall sheathing types for upper and lower stories, shingle or clapboard being more typically used.

Modern Style

Construction in the United States ceased during World War II, to resume after its conclusion. Variations of Modern Style residences were favored after the war. Four styles, according to McAlester, describe

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the period from 1946 up to 1970. Minimal Traditional, Ranch, Split Level, and Contemporary are all categorized under the general heading "Modern." Construction in El Encanto depicts this national trend. Only four homes were constructed between the years 1942 and 1946. After 1946, seventy-seven homes were built in the district. These Modern Style homes are currently, because of insufficient age, considered noncontributors.

There are twenty-one homes which should be considered for future addendum to the district nomination as they reach the minimum age criteria. These homes display a variety of influences. Several Early Ranch Styles constructed by 1941 are considered historic, as they contribute to the understanding of the architectural development in the district, and are perceived as transitional between Period Revival styles and later Ranch styles.

Early Ranch Style homes (built before WWII) in the El Encanto Estates historic district were controlled by the same deed restrictions which earlier homes were measured by. They represent a prevalence for Ranch Styles upon entering World War II, yet conform to the earlier set style requirements laid out in the El Encanto Estates deed restrictions in 1928. These early Ranch Styles can easily be described as "Early Californian" Styles, and therefore are not considered intrusions. In addition, most of these early Ranch Style homes were constructed by the same local architects who were responsible for the design of earlier homes, and are thus of high quality. Improvement costs were still in effect and these early Ranch Style homes followed those set improvement costs.

Early Ranch Style residences are considered contributors in the district, and have been identified on State Historic Property Long Forms, significant for individual architectural merit. Since these Ranch Style homes in the El Encanto Estates Residential Historic District have been included as contributing structures within the district a discussion of this style is appropriate.

Early Ranch Styles

The Ranch Style originated in the mid-1930's in California. Its popularity gained during the 1940's and become dominant in the United States in the 1950's and 1960's. This rambling form coincided with the greater use of automobiles. Homes no longer had to be compact. As automobile travel became more widely used, larger homes on larger lots

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became more popular. Maximum facade width, and attached one and two bay garages were an integral part of the Ranch Style. Early Ranch Styles were transitional, with origins traced to the Spanish Colonial theme. This stylistic continuum is important to the historic development of architecture in Tucson. The early Ranch Style residences are a cohesive element within the district and are thus considered as contributing to the understanding of the architectural development within the El Encanto Estates Residential Historic District. In addition, later Ranch Style homes, which maintain comparable integral elements, should be considered as addenda to the nomination as they meet the age criteria.

Ranch Style homes are generally asymmetrical with low-pitched roofs of one story. Roof types vary from low hipped to side and extended gable forms (the more popular) to L-shaped gable designs. All of these roof types can be found in Ranch Style homes in El Encanto. (#138, #125, #113) are all examples of L-shaped gable roofed Ranch Style homes; (#64, #161, #156) are examples of low hipped roof Ranch Style homes; (#134, #137, #119) are examples of extended gable forms.

Decorative detailing for Ranch Styles vary, with the most popular detail being decorative shutters. Porch types also vary, with recessed (under the main roof line) being the most common. Porches are generally supported by an even number of thin wood posts. Expansive front lawns are used to accentuate the length of the Ranch Style. These large formal lawns are popular in the El Encanto Estates district. The Oliver Drachman Home at 25 E. Calle Claravista (#63) is the best example of the use of landscaping to enhance the architectural length and design of the home. The landscaping for this home has been featured in Sunset Magazine as well as Home and Garden and is well-known for the elaborate flowerbeds planted each year.

"Modern"

Of architectural interest are two residences which do not neatly fit into any of the above categories. Two homes are defined as "Modern". One has pronounced Pueblo Revival features, and the other has Moorish details. These two homes, though of different style types than is found in the neighborhood, do not create discord in the harmony of their surroundings. Both were designed with sensitivity to the environment, and thus maintain integrity and add to the cohesion of the neighborhood. M.H. Starkweather was the designing architect for both homes, one his personal residence (#128, 30 E. Calle Belleza) and the other El Encanto Estates President, W.E. Guerin's Home (#86, 30 E. Calle de Felicidad).

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It can be assumed that both homes were designed as exceptional homes. Both are featured in a promotional pamphlet for El Encanto and various "exclusive" neighborhoods.

The promotional ad describing the Guerin Home, promotes the exotic nature of the residence. It is described as Moorish, "with true Moorish arches...[and] large masses so typical of Moorish houses in Algiers and Morocco." The Starkweather Home is described as being of the latest modern architecture. The ad claims it is an "Indian Pueblo dwelling...modernized by eliminating vegas [sic] and all lines have been run in a vertical plan which would bring it into what is known today as modern architecture." These early homes (#86, 1929; #128, 1932) display the "latest" in architectural design and anticipated intrigue for exotic, far away places.

MODIFICATIONS AND BUILDING CONDITION

Integrity in El Encanto

Of the residences that currently meet the age criteria (fifty years or more), only eight have been altered to the extent that their integrity has been compromised. Minor alterations to other homes are reversible, or do not jeopardize the original integrity of the design. Alterations, for the most part, have been done by registered architects, many of whom were the original designing architects. Thus, alterations are of high quality and uniquely sensitive to the original design of the residence. This high quality is also due in part to the required review of any alterations by the overseeing architect.

Alterations to the subdivision plan are minimal. Only two residences have been razed, one of these was constructed in 1931 and one was constructed in 1948. The residence, which was constructed in 1931, was located at 100 Camino Espanol. It was originally designed for Sallie Houston Henry. The residence incorporated three lots and was an expansive mansion with elaborate formal gardens. This later became the home of author Erskine Caldwell in 1946. In 1978, William A. Small, Jr., son of William A. Small, Sr., both publishers for the Tucson Citizen Newspaper (1936 & 1966), bought the large mansion located on lots 91, 92, and 94, and razed the home. He divided the large single lot back into three lots and constructed three Modern style residences.

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The home at 135 Camino Espanol (#180) was razed in 1986. The home had been constructed in 1948, and the lot is currently undergoing construction.

Though some high maintenance plantings have been replaced, a majority of the large lawns and formal gardens remain a strong feature in the neighborhood. El Encanto is unique in this regard, for large lawns, once prominent in Tucson, are slowly being replaced with desert landscaping and low water maintenance vegetation. Higher water prices and a continuing lack of water in Tucson have created a need for this change which is typical throughout Tucson. As noted by Walt Rogers in "Looking Backward to Cope with Water Shortages.. " a sudden shift in landscaping development is now being perceived. "The industry has begun an about-face to cope with water shortages...rapidly abandoning the ornamental plants used for the past century." Though residents and landscape architects throughout Arizona are reverting to "native" plant materials, El Encanto Estates residents retain many of their expansive lawns.

Conditions

All of the buildings in El Encanto are in good to excellent condition. There are no exceptions. Conditions remain high due to the on-going maintenance by new owners as they buy the older buildings in the neighborhood.

Landscaped rear and front yards have had similar treatment over the years. For many years, El Encanto Estates, Inc. offered a gardening service which consisted of a corps of "experienced" gardeners who would water lawns, care for flowers, and trim hedges and trees. El Encanto Estates, Inc. was the only subdivision in Tucson to offer this service. The El Encanto Estates Improvements Association (Homeowners Association), in its 1951 brochure, even touted their own gardeners.

"Under the supervision of the Superintendent, the Association has experienced gardeners who may be hired for a minimum of four hours. These men mow grass, trim, plant and trim trees, fertilize, plant bedding plants, spray roses, shrubs, plants and trees, keep pea gravel driveways raked, do odd jobs such as sweeping porches, cleaning garages, roofs and basements.

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Winter lawns are also put in by the Association.

Garden and lawn soil, tested and approved by the University of Arizona may be bought through the Association, as well as fertilizer for lawns, plants and shrubs. Other materials may also be purchased.

This service eliminates the chore of hiring and instructing gardeners by the individual residents."

This service helped achieve a continuity in garden maintenance not seen in an early subdivision in Tucson or Arizona. The fifty plus years of policing and monitoring of the area has benefitted the neighborhood by maintaining its historically significant appearance as well as heightening the sense of neighborhood pride.

ARCHAEOLOGICAL

No archaeological survey has been conducted within the historic district. No known sites exist and no evidence is available that would indicate the presence of archaeological findings.

METHODOLOGY

Linda Laird & Associates was hired by the El Encanto Estates Homeowners Association to complete a nomination to the National Register of Historic Places in 1987. Arizona State Historic Property Inventory forms for all properties in El Encanto, completed in the summer of 1985 by architecture students from the University of Arizona, in addition to forms of significant structures in El Encanto, completed by Arthur B. Darton, RA in 1980 were updated. Additional historical documentation was compiled utilizing the El Encanto Estates title records.

Research was completed in the Arizona Historical Society in Tucson, Special Collections at the University of Arizona, and University of Arizona Science, Main and Architecture libraries. Oral interviews were

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completed with Clare Ellinwood and Oliver Drachman. In addition, conversations with Bill Barrow aided in compiling information on early subdivision and local community planning.

The study on significant architectural structures completed by Roy Noggle, RA of Noggle & McCarthy and a study of landscape significance completed by Walter Rogers, ASLA were both used in this report. See item #9, Bibliography.

Additional photographs were taken. Several residences in the El Encanto Estates Residential Historic District have heavy vegetation and/or walling which makes photographing difficult. Attached to each form is the best possible photograph. The El Encanto Estates Homeowners Association, in conjunction with Linda Laird & Associates has tried to depict these hard to photographic residences through accurate verbal description.

Historic occupants were determined utilizing the El Encanto Estates title records. In many cases, both husband and wife were equally historically significant. Space on the Property Inventory forms does not allow for the addition of first and last names for both members of these early households. Rather than choose which member of the family was more significant, last names only have been included on the State Historic Property Inventory forms.

Definition of Contributing & Noncontributing Structures

Visual inspection, aided by Roy Noggle's list of architecturally significant structures, in addition to historic documentation, were utilized to determine contributing and noncontributing status for each residence.

Contributing structures were defined as being 1) constructed within the period of significance (built by 1941); 2) sufficiently intact with minor alterations which do not compromise the architectural integrity of the structure; 3) of significant architectural merit, including style, displaying craftsman qualities and/or unusual or unique design; and/or 4) associated with an historically prominent resident, or a designing architect.

Alterations were considered intrusive, if they compromised the architectural integrity of the residence. Alterations were considered to have a negative impact on integrity if they included window

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replacement, which was not in keeping with the original feeling or intent of the design, or had large incompatible additions, which altered the original appearance of the structures. These alterations were determined as compromising the integrity of the original design of the structure, and thus these residences have been considered noncontributing structures within the El Encanto Estates Residential Historic District. Residences which meet the age criteria, but have been altered and considered noncontributors have been documented on State Historic Inventory Property Short Forms. In addition, a compilation of minor alterations which obscured the original appearance of the building were also considered to have a negative impact on integrity, and thus were considered noncontributing structures within the district.

Noncontributing structures are thus specified as residences which were 1) altered to such an extent that the original intent of design has been compromised; 2) were built after the period of significance (constructed after 1941); 3) having no outstanding architectural merit, or are of a common design; and/or 4) having no historic association with either an historically significant resident or architect.

Suggested Future Addenda to the District Nomination

Noncontributing structures in El Encanto comprise the majority of the residences (approximately 63%). Twenty-one of these noncontributing residences are architecturally significant for their contribution to the understanding of the architectural development within the historic district, and when they reach the minimum age criteria, and if maintained in their present state, should be considered for future inclusion to the district nomination. These structures should be considered for future inclusion to the district nomination due to their adherence to specific style requirements as set forth in the deed restrictions, and because they are examples of architecturally significant or historically significant structures within the El Encanto Estates Historic District.

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Tucson, Arizona

1987

Properties recommended for future inclusion to the
National Register Nomination

SURVEY NO	ADDRESS	NAME	DATE
#3	3327 E. Broadway	Williams Home #2	1950
#12	50 Camino Miramonte	none	1955
#20	70 Camino Miramonte	none	1958
#28	85 Calle Encanto	UofA Pres. Home	1953
#35	100 Camino Miramonte	none	1950
#44	130 Camino Miramonte	Bellinger Home	1942
#51	140 Camino Miramonte	Boice (Frank) Home	1952
#54	3270 E. Fifth St.	none	1950
#68	65 Calle Claravista	Atkinson	1958
#69a	75 Calle Claravista	Bredin Home	1946
#75	10 Calle Resplandor	Williams Home #1	1947
#81	60 Calle Primorosa	Jacome	1947
#87	20 Calle de Felicidad	none	1966
#98	60 Calle Espanol	Solot Home	1955
#100	25 Calle Primorosa	Darton	1970
#106	25 Calle de Amistad	Glennie	1955
#109	50 Calle Encanto	Buehman	1948
#113	55 Camino Miramonte	Breck	1951
#126	50 Calle Belleza	Ivancovich	1951
#175	228 N. Country Club	none	1946
#181	139 Camino Espanol	none	1963

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EL ENCANTO ESTATES RESIDENTIAL HISTORIC DISTRICT
Tucson, Arizona
1987

Contributing Properties

No.	Address	Historic Name
C-1	Central in district	El Encanto Estates Circle
10	30 N. Camino Miramonte	Nail Home
13	90 Calle Resplandor	None
14	110 Calle Resplandor	Shoenhair Home #2
16	30 N. Calle Mirasol	Levy Home
23	25 N. Calle Mirasol	Herndon Home
24	100 E. Calle Encanto	Siddal Home #1
26	90 E. Calle Encanto	Young Home
27	80 N. Camino Miramonte	Shoenhair Home #1
31	95 E. Calle Encanto	Robinson Home
33	20 N. Calle Conquista	Heineman Home
39	15 N. Calle Conquista	None
41	90 E. Calle Primorosa	None
48	3356 E. Fifth Street	Starns Home
49	3342 E. Fifth Street	Solve Home
55	3256 E. Fifth Street	None
56	3242 E. Fifth Street	Painter Home
58	3228 E. Fifth Street	Storts Home
60	140 N. Camino Espanol	Underwood Home
63	25 E. Calle Claravista	Drachman Home
65	35 E. Calle Claravista	None
67	55 E. Calle Claravista	None
70	75 E. Calle Primorosa	Boice Home
71	50 E. Calle Claravista	Mills Home
72	40 E. Calle Claravista	Ellinwood Home
74	20 E. Calle Claravista	Bale Home
83	95 N. Camino Miramonte	Small Home
84	55 E. Calle Encanto	Sundt Home
85	45 E. Plaza del Encanto	None
88	10 E. Calle de Felicida	None
97	10 E. Calle Encanto	None
102	35 E. Calle Primorosa	Manley Home
103	40 E. Plaza del Encanto	Mansfield (Mansfeld) Home
111	70 E. Calle Encanto	Jones Home
121	25 E. Calle Belleza	Smith Home

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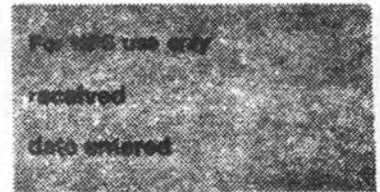
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Contributing Properties (contd.)

122	35 E. Calle Belleza	Powers / O'Malley Home
123	45 E. Calle Belleza	Miller Home
128	30 E. Calle Belleza	Starkweather Home
130	20 E. Calle Belleza	None
138	3251 E. Broadway Blvd.	None
140	3263 E. Broadway Blvd.	None
141	15 N. Camino Miramonte	Baker Home
145	35 N. Camino Espanol	None
148	10 E. Calle Portal	None
149	142 N. Country Club Road	None
160	85 N. Camino Espanol	Bledsoe Home
166	10 E. Calle Corta	Littlefield Home
167	442 N. Country Club Road	Taylor Home
169	414 N. Country Club Road	Siddall Home #2
171	342 N. Country Club Road	Spaid Home
173	314 N. Country Club Road	Cox Home
183	145 N. Camino Espanol	Stonecypher Home
186	542 N. Country Club Road	Rudolph Home
188	528 N. Country Club Road	None

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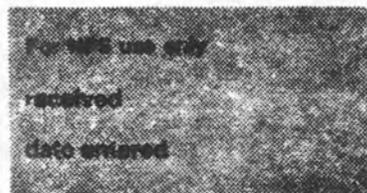
Noncontributing Properties

No.	Address	Historic Name
1	16 N. Camino Miramonte	None
* 3	3327 E. Broadway Blvd.	Williams Home #2
4	3339 E. Broadway Blvd.	Tweed Home
5	115 Calle Resplandor	None
6	105 Calle Resplandor	None
8	95 Calle Resplandor	None
11	40 N. Camino Miramonte	None
* 12	50 N. Camino Miramonte	None
17	20 N. Calle Mirasol	None
19	60 N. Camino Miramonte	Simons Home
* 20	70 N. Camino Miramonte	None
21	15 N. Calle Mirasol	None
* 28	85 E. Calle Encanto	UofA President's Home
34	14 N. Calle Conquista	None
* 35	100 N. Camino Miramonte	None
37	110 N. Camino Miramonte	Haskell Home
40	100 E. Calle Primorosa	Bailey Home
42	80 E. Calle Primorosa	None
* 44	130 N. Camino Miramonte	Bellinger Home
45	85 E. Calle Primorosa	None
47	95 E. Calle Primorosa	None
* 51	140 N. Camino Miramonte	Boice Home
52	145 N. Camino Miramonte	None
53	3284 E. Fifth Street	Rollings Home
* 54	3270 E. Fifth Street	None
59	5 E. Calle Claravista	None
61	132 N. Camino Espanol	Drachman Home
66	45 E. Calle Claravista	None
* 68	65 E. Calle Claravista	Atkinson Home
* 69a	75 E. Calle Claravista	Bredin Home
69b	135 N. Camino Miramonte	None
73	30 Calle Claravista	Smith Home
* 75	10 Calle Resplandor	Williams Home #1
76	5 E. Calle de Felicidad	None
77	35 E. Calle de Felicidad	None
79	65 E. Calle Primorosa	None
80	115 N. Camino Miramonte	None
* 81	60 E. Calle Primorosa	Jacome Home
82	105 N. Camino Miramonte	None
86	30 E. Calle de Felicidad	Guerin Home
* 87	20 E. Calle de Felicidad	None
89	35 E. Plaza del Encanto	None
91	100 N. Camino Espanol	None
92	98 N. Camino Espanol	None
93	5 E. Calle Encanto	Wilson Home

* Properties recommended for later inclusion as contributors when they meet the age criterion.

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Noncontributing Properties (cont'd.)

94	83 N. Calle Resplandor	None
95	15 E. Calle Encanto	None
96	25 E. Plaza del Encanto	O'Reilly Home
* 98	60 N. Camino Espanol	Solot Home
99	50 N. Camino Espanol	Brown Home
* 100	25 E. Calle Primorosa	Darton Home
101	20 E. Calle Encanto	None
105	15 E. Calle de Amistad	Silverman Home
* 106	25 E. Calle de Amistad	Glennie Home
107	65 Calle Resplandor	None
108	60 Calle Resplandor	None
* 109	50 E. Calle Encanto	Buehman Home
110	60 E. Calle Encanto	None
112	75 N. Camino Miramonte	Palermo Home
* 113	55 N. Camino Miramonte	Breck Home
114	40 E. Calle de Amistad	None
115	20 E. Calle de Amistad	None
117	14 E. Calle de Amistad	None
118	10 E. Calle de Amistad	None
119	10 E. Calle Primorosa	None
120	15 E. Calle Belleza	None
124	55 E. Calle Belleza	None
125	75 Calle Resplandor	None
* 126	50 E. Calle Belleza	Ivancovich Home
132	30 N. Camino Espanol	None
134	12 N. Camino Espanol	None
136	3227 E. Broadway Blvd.	None
137	3239 E. Broadway Blvd.	None
144	25 N. Camino Espanol	None
147	45 N. Camino Espanol	McKinney Home #1
151	128 N. Country Club Road	James Home
154	55 N. Camino Espanol	None
156	65 N. Camino Espanol	None
158	75 N. Camino Espanol	None
161	95 N. Camino Espanol	Elsing Home
162	109 N. Camino Espanol	None
164	123 N. Camino Espanol	None
165	20 E. Calle Corta	None
172	328 N. Country Club Road	None
174	300 N. Country Club Road	None
* 175	228 N. Country Club Road	None
176	15 E. Calle Portal	None
179	15 E. Calle Corta	Hewitt Home #1
180	135 N. Camino Espanol	None
* 181	139 N. Camino Espanol	None
185	582-586 N. Country Club	None
189	5 E. Calle Corta	None

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The subdivision layout plan is based upon a formal geometric pattern, representing a significant departure from the grid pattern used in Tucson's earliest subdivisions developed to the west and north of El Encanto Estates. At the time when El Encanto Estates was initially developed, it was at the outer fringes of the growing city and its circular, geometric plan represented a definitive contrast to the standard city blocks. The formal, geometric pattern of the subdivision has roots in the prevailing subdivision planning standards developed out of the "city beautiful movement" in the United States during the first quarter of the twentieth century.

Landscape architecture adds to the continuity and harmony of visual imagery realized by the repetitive use of a number of common plant themes. These plants are significant for they reflect characteristics of the pre 1920's era and later. Many of the original plantings were used in Tucson as early as 1880. These plants have matured, reflecting in their growth many years of extended care and nurturing. These mature trees create a significant skyline effect in a central portion of Tucson; a unique characteristic that defines a sense of place when compared to nearby areas.

The central city-owned park is additionally significant as a terminus of the original palm trees which line each street. The park with 157 giant Saguaro cacti, is a collection which rivals any other private collection of Saguaros in urbanized Tucson. It is speculated that many of the circle's plantings were preserved from the original environment and with additional transplantation of native desert vegetation, landscaped into a formal native desert theme. El Encanto Estates is the only known early subdivision in Arizona to have a formal, desert landscaped park.

Architecture, controlled for over fifty years to defined styles, reflects the late 1920's architectural preference of Period Revival Styles, and reflects the influence of California design themes on Southwestern architecture. A change in style preference over time is also reflected in the movement from Revival Styles to Early Ranch Styles. The southwestern architecture, superimposed on the classical subdivision layout fuses classical and contemporary design into a vision of harmony and cohesion, a characteristic unique to El Encanto.

In addition, El Encanto Estates is unique for its high maintenance and continued integrity, throughout the century, of the subdivision plan, landscape architecture, and historically significant residences. Only minor intrusions have altered the neighborhood which remains true to the original community plan developed by its founder, W.E. Guerin.

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PERIOD OF SIGNIFICANCE

The Period of Significance (1929-1941) was chosen as it reflects the original inception of the subdivision, and the distinctly negative impact on construction within the district during WWII (1941). The major construction lull which occurred after 1941 (only four residences built between 1942 and 1946) is seen as a visible dividing point in the district's development. In addition, architectural preference took a decided turn after WWII. Ranch Style residences were chosen over earlier Revival Styles, and later, Modern Style homes took precedence over Ranch Styles. The movement from Revival Styles to Ranch styles after WWII is indicative of a national trend, and shows a development pattern apparent in subdivisions throughout Arizona and in Tucson.

HISTORICAL CONTEXT

Founding El Encanto Estates

The land on which El Encanto exists was initially a large portion of land which included a section on which the El Conquistador Resort Hotel was built and opened on November 22, 1928. This section of land was homesteaded by Henry Bloise in 1908. Bloise was foreclosed on and all of the SW 1/4 of Section 9, Township 14, Range 14, after passing through the sheriff's office, eventually was sold to Hugo J. Donau in March, 1913 by the Citizens Bank. Donau sold the entire portion of land to Urban Realty in June, 1913. In 1914, Urban Realty split a ten acre portion, located at the intersection of Broadway and Country Club, and sold it to P.E. Fogle. The remaining portion of the SW 1/4 of Section 9, Township 14, Range 15 which encompasses the historic district, was not sold until 1925, when Urban Realty sold it to William B. Powhatan.

A 10 acre portion at Broadway and Country Club became the property of L.C. James in 1926. At a sale price of \$3,700, these 10 acres included a three-room cottage. L.C. James is listed as residing at "Country Club and Broadway" in the City Directories as early as 1921. This cottage, assumed to have been built prior to 1921, is the earliest constructed residence in the El Encanto Estates Historic District. Though the home, located at 128 N. Country Club Road (#151), is a noncontributor--due to alterations--it still stands on the corner lot at Broadway and Country Club.

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In 1925, Urban Realty sold the E 1/2, of the E 1/2 of the SW 1/4 of Section 9 Township 14, Range 14 to William M. Pryce, a prominent realtor, one time partner in the firm of Mose Drachman and Frank H. Lee, and an investor in the El Conquistador Resort Hotel. This property, is now part of the El Con Mall parking lot, and was once part of several parcels assembled by Ben Mathews, on which the El Conquistador Resort Hotel was constructed.

After a series of realty maneuvers, the remaining SW 1/4, excluding the E 1/2, of the E 1/2 and the ten acres sold to L.C. James, was sold to William B. Powhatan. On May 29, 1928, Powhatan sold this land to El Encanto Estates. William B. Powhatan, Leroy Charles "Jessie" James, William E. Guerin and their wives incorporated to become El Encanto Estates, Inc., with W.E. Guerin, El Encanto Estates president and Walter E. Lovejoy, Sr., who along with Harry Talmadge, founded the Arizona Trust Company in 1933, as assistant secretary.

In June, 1928, the El Encanto Estates Company hired Paul E. Fernald, a registered local civil and mining engineer, to complete the original survey of the subdivision plan (see appendix A for a copy of the original sketch). Accepted by W.E. Guerin in July, 1928, this plan was laid out by a Los Angeles firm, Engineering Service Corporation, and filed in the recorder's office in two sheets on August 8, 1928. On January 21, 1929, the El Encanto deed restrictions were filed in the Recorder's Office. M.H. Starkweather was hired as overseeing architect and construction in El Encanto Estates began.

Street names were obtained through a contest, which paid a "cash prize" to the person furnishing the company with a Spanish name. Six hundred names were submitted, and street names were chosen. Residences were addressed, and though they no longer coincide with current city of Tucson addresses, they remain today.

The first home built was the R.M. Nail Home at 30 N. Camino Miramonte (#10). Built in 1929, this home is an excellent example of the Spanish Colonial Revival Style. It reflects the style requirements set by the 1929 deed restrictions, and displays typical Spanish Colonial Revival features such as heavy roof sheathing of barrel tile with honeycomb vents of stacked mission tile and deep front portal. Enclosed areas were used to advantage, with a large, enclosed rear patio and a walled front patio. Awnings and ornamental ironwork have been added to the facade and sides.

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Construction began in earnest throughout the district with ten homes built in 1929, and nine homes built the following year. The influence of the Depression took its toll from 1931 through 1934, with only twelve homes constructed during that five year period.

Only single family dwellings were constructed, as required by the deed restrictions. Residents could maintain businesses in their homes only if the office was in one or more rooms of a "private residence building." Advertisement for the business was restricted to a one square foot sign whose placement was authorized by the El Encanto Estates, Inc. Three residents took advantage of this; Dr. Roy O. Williams who maintained a dental office out of his first home at 3327 E. Broadway (#3) around 1950; Dr. Bledsoe who saw patients in an upper story addition of his home at 85 N. Camino Espanol (#160), which was originally built for the purpose; and Dr. Wittels who worked out of his home on Broadway.

Later commercial intrusion has not occurred in the neighborhood, due primarily to continued monitoring as well as a zoning ordinance granted by the Tucson City Council in July, 1978 from R-1 (single family residence, 7000 square foot lots) to RX-2 (single family, 16,000 square foot lot size). The southeast, southwest and northwest corners were the only areas zoned as R-3 (multi-family residential). No commercial zoning exists in the neighborhood. Swimming pools and tennis courts have been added to residential properties over the years, but the original subdivision plan has not changed.

El Encanto Estates residents have become increasingly concerned with protecting the integrity of the original plan since the deed restrictions lapsed in 1979. The El Encanto Estates Homeowners Association developed a City adopted neighborhood plan (1979). The historic properties facing Broadway and the integrity of the subdivision layout plan are currently threatened by the widening of this major arterial.

COMMUNITY PLAN SIGNIFICANCE

W.E. Guerin's goal when developing El Encanto Estates was to create a unique environment of privacy and peace. He intended to preserve residential property values. The design of the subdivision insured privacy, protected from traffic, and intrusion by few access routes. Styles were monitored to create orderly development, aesthetic cohesion

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and harmony in design. Guerin perceived the need for urban beauty and utilized the existing desert landscaping to enhance the "exotic" environment and spatial continuity. Guerin strove to create a place set apart from the surrounding Tucson community, an enchanted place, as the name implies.

The "city beautiful" movement, a movement begun in retaliation to deplorable housing conditions in New York, Boston and London, focused on the beautification of the built environment. The movement strove to unify existing landscaping, to enhance residential as well as commercial development. This movement is clearly seen in the development of El Encanto. Landscaping blends in a pleasing harmonic quality. Homes were built to take full aesthetic advantage of their surroundings. Lot size, and cul-de-sacs, combined with lush vegetation enforce a sense of privacy.

L'Enfant's design of Washington revolutionized community planning schemes in the United States. This late Renaissance tradition was based on the effective placement of public buildings on a radial design which connected focal points. El Encanto Estates reflects this theme as well. The circular park is the focal point for the district which radiates out from a central core. Each home then becomes a show piece for the eye, with vegetation and additional edging and walling acting as the cohesive connecting entity.

The El Encanto Estates plat was sketched by the Engineering Service Corporation of Los Angeles. Founded by Thomas A. Jordan in 1919, the corporation was responsible for civil, structural, mechanical, mining and subdivision engineering in southern California. The company was also noted as being responsible for aerial survey as well as hydraulic and municipal engineering, and remained in operation until the early 1930's.

El Encanto Estates, Inc. hired Paul E. Fernald to make the required calculations for the subdivision. Fernald was a mining and civil engineer, born in Waterloo, Indiana. He came to Arizona in 1908, and was Tucson city engineer from 1931 to 1936. He served several terms on the state board of technical registration, both as member and chairman before his death on January 9, 1941. Fernald was not hired to landscape or design the subdivision, rather, he was hired to make the required mathematical calculations and to determine whether the sketch submitted by the Los Angeles corporation would suffice in terms of land use and layout. This was typical practice in the late 1920's.

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The layout of the subdivision is designed so that each of the main intersecting streets off the circle has a view of either the Rincon, Catalina or Tucson mountain ranges, with one street directed toward the El Conquistador Hotel water tower, located in Colonia Solona to the south, which is currently listed on the National Register. The Engineering Service Corporation and Paul Fernald utilized not only the internal environment of the subdivision, its landscaping and desert vegetation, but were sensitive to views and impressions in the surrounding area. Few intact, early subdivisions were as carefully planned as El Encanto Estates.

EARLY COMMUNITY PLANNING IN TUCSON

Comprehensive deed restrictions (covenants & conditions) were used in Tucson as early as 1920, with the implementation of deed restrictions which applied to all lots in the University Manor subdivision (see appendix D for dated map of early subdivisions). Deed restrictions had been used earlier, but they applied to specific lot uses, for example water rights, rather than as overall requirements for an entire subdivision. University Manor was plotted in the traditional gridiron land use pattern with north/south, east/west orientation. The subdivision was located toward the center of the city, and was in keeping with earlier subdivisions in the area, except for the addition of these comprehensive deed restrictions which monitored setback, minimum home costs, residential uses and "white" occupancy.

Zoning was not to be placed upon developed or developing areas until the 1940. The implementation of comprehensive deed restrictions was an early attempt by private sector developers to monitor construction within an entire subdivision. Deed restrictions (covenants & conditions) were established in an attempt to assure continued property values.

The Speedway - Broadway loop, an early scenic route, encouraged development east of the Tucson city limits. In addition, Harold Bell Wright's "palacial" residence located on Wilmot Road near Speedway and the homes of Charles A. Belin and a Mr. Hoyt spurred further interest in developing land to the east of the city's center. In an article which ran in the Tucson Citizen on April 28, 1929, Harold Bell Wright is given the credit for the interest in developing east Broadway. "The movement

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originated with the magnificent estate of Harold Bell Wright...a pioneer in this district...[who] procured 20 acres on a desirable knoll and erected a palatial residence...people would drive out to see his home and realize the beauties of the section."

Interest in high end development sparked the plotting of the Williams Addition, which was approved on August 19, 1927. No longer in existence, the Williams Addition was once located at Broadway and Kenyon (now known as Craycroft). Lots were large in size, with homes designed to be modest single family residences. The subdivision had a traditional gridiron pattern which was superimposed with four radiating streets and central circular park. The subdivision also had comprehensive deed restrictions.

A need to compete in a saturated market may be responsible for the movement toward the implementation of comprehensive deed restrictions and the use of a non-gridiron pattern in subdivision layout. Creating a unique subdivision was probably a marketing ploy utilized to tempt affluent citizens seeking privacy, individuality, and protection of property values.

This influence upon the developing market can be seen in the original design of the San Clemente subdivision. Earlier platted (1923) as Country Club Heights, located on Broadway between Maple Blvd. (now Alvernon) and Thoreau (now Columbus), it was plotted utilizing the traditional gridiron pattern. In 1930, under new ownership, portions of the subdivision were replatted as San Clemente with winding street patterns similar in design to Colonia Solona street patterns. It can be assumed that the interest and marketability apparent in the immediate sale of large expensive lots in the El Encanto Estates (1928) and Colonia Solona (1928) subdivisions influenced the developers (Tucson Realty & Trust) to try new and innovative street patterns, to test renewable deed restrictions and to create sections in the city of Tucson which would stand out, be unique and, hopefully, protect property values. Other non-gridiron plotted subdivisions include the Country Club Homesite (1928), Catalina Foothills Estates (1930), the Terra Deconcini subdivision (1937), the Catalina Vista subdivision (1940), and the Winter Haven subdivision (1948). See enclosed dated subdivision map.

Developers responding to an upper class clientele, found non-gridiron street patterns, southwestern architecture, comprehensive deed restrictions and formal or desert landscaped lots were excellent marketing commodities. These early subdivisions accommodated an upper

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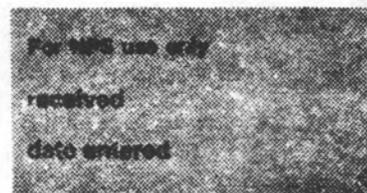
class clientele, by creating unique alternatives to the norm. Both the El Encanto Estates and Colonia Solona subdivisions stand out as prominent examples in this movement toward implementing comprehensive community planning in the City of Tucson. Both subdivisions were developed with restrictive deed restrictions, and non-gridiron patterns. The developers for these two subdivisions responded to subdivision planning differently, however, and the planned, conspicuous formality found in El Encanto sets it apart from Colonia Solona and other early subdivisions in Tucson.

Colonia Solona, El Encanto's neighbor to the south, was subdivided a few months before El Encanto. Influenced, as El Encanto was, by market values, a competitive market and the need to create a unique sense of place, Country Club Realty (the developer for Colonia Solona) strove to create a unique desert environment east of the city limits. Plotted so that the layout, done by Stephen Child, utilized the existing contours of the land, it differed from the method used in planning El Encanto, that of molding the land to accommodate the subdivision plan. The two arroyos (washes) in Colonia Solona were enhanced and incorporated into the subdivision plan, used as a visual cohesive entity to the winding street layout plan. Vegetation was left in its natural setting, and landscaping was used sparingly. Unlike El Encanto, where large lawns, formal landscaped lots and non-native desert plants are found, Colonia Solona preserved and enhanced the natural desert plantings, maintaining a desert vista of creosote, agave, sage, and palo verde trees.

In addition, many of the formal landscaping features seen in El Encanto, are not found in Colonia Solona. Edging, walling, and the palm trees which line each street in El Encanto, serve to create an internal continuity within the district boundaries, enhancing the formal sense of place. These internal cohesive landscaping features are not found in Colonia Solona. It is the informal use of native desert plantings found on each of the large, individual lots which serve to unify the Colonia Solona neighborhood. Formality is what separates the two subdivisions. Though Guerin and Country Club Realty were responding to similar marketing pressures, they both chose different avenues to achieve the same goal, and so while these two subdivisions, are similar in their movement away from the norm, they are both two distinctly, and uniquely different subdivisions.

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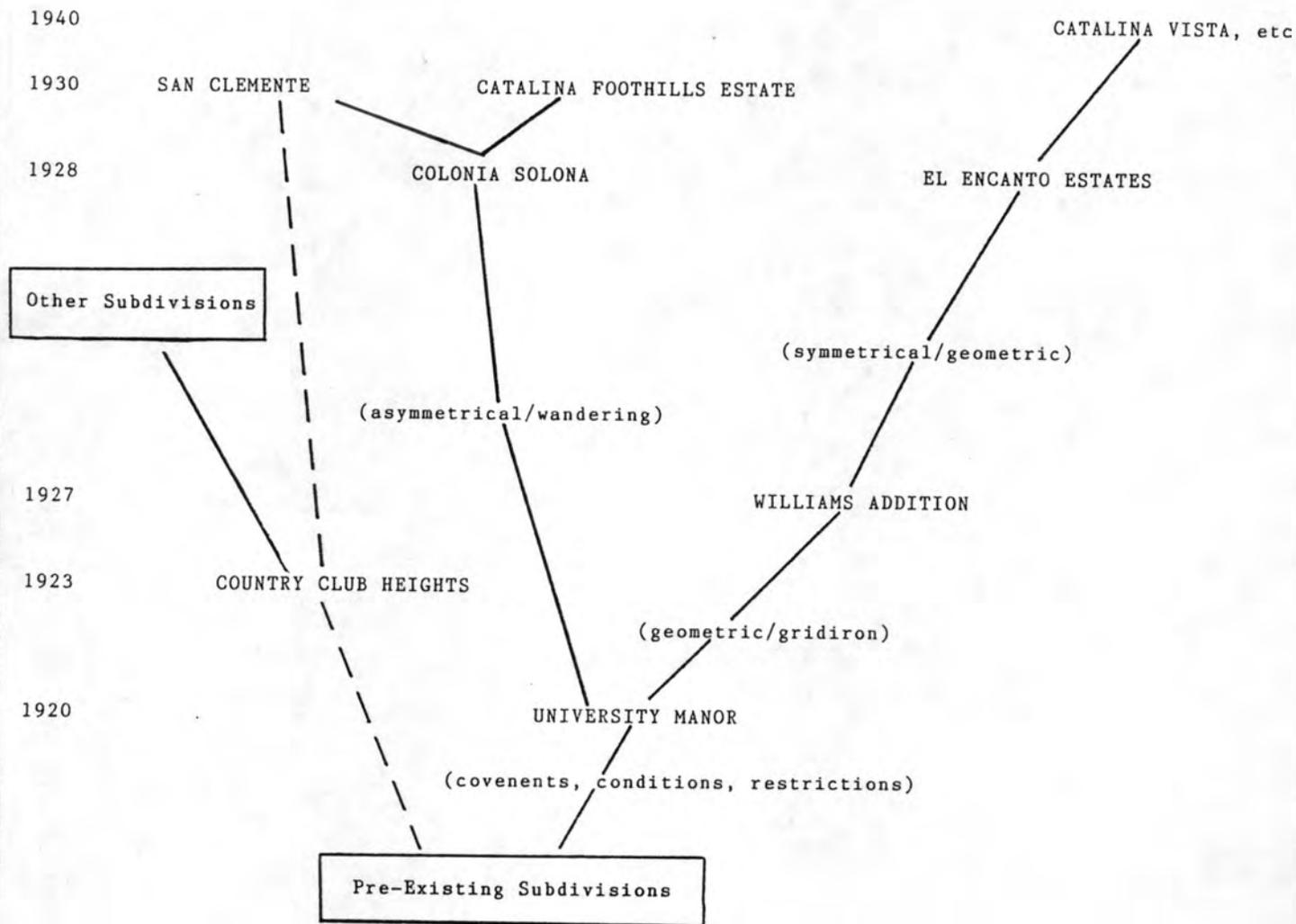
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EARLY SUBDIVISION DEVELOPMENT

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LANDSCAPE ARCHITECTURE SIGNIFICANCE

The significance of the landscape architecture in El Encanto Estates Residential Historic District is embodied in its unique subdivision layout plan and its mature street tree plantings which utilize desert flora in a classical, formal landscape architecture scheme, as well as the individual residential landscaping which has been maintained with a high degree of integrity since the initial development of the neighborhood.

In addition to the California influence on the subdivision layout and street tree plantings, many of the plant materials used in the individual yards and gardens typify the plants commonly used in Southern California and extensively introduced to Tucson from 1890 to 1930. These include the California pepper tree, citrus trees, sour orange, eucalyptus, glossy privet, California fan palm, Mexican fan palm, olive and Bermuda grass. The informal mixing of these plants, typical of the early "California School of Landscape Architecture," is very evident in the El Encanto Estates District and combines with the eastern and mid-western school of landscape design which used plants in a more formal and architectural way. Both California and Eastern design themes are illustrated throughout El Encanto Estates today. The roots of the more formal Eastern and Midwestern design theme in general can be traced to the so-called "country place era" of landscape architecture which dominated the profession from about 1890-1930.

Impeccable garden maintenance through the years is another prominent historical influence on the visual character of the district and should not be underestimated. The maintenance, often carried out by Mexican laborers, is referred to in local vernacular as the "Mexican gardener" approach. In addition to their intensive maintenance, these Mexican gardeners frequently added familiar design details such as fountains or masses of bedding plants which over the years has resulted in an accumulation of their influence on the gardens of El Encanto Estates.

Bermuda grass lawns overseeded with winter rye are another dominant landscape design feature of important historic significance. The Bermuda grass lawn began appearing with regularity in Tucson by 1910. Recently, there has been a trend in Tucson, mostly in older subdivisions to the west and north of El Encanto Estates, to replace the grass lawns with drought resistant plants, rocks and gravel, or to just let the lawns die for lack of water. The Bermuda grass lawn is rapidly becoming

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diminishing in Arizona and nomination of the El Encanto Estates as an historic district provides the future opportunity to preserve some of the best remaining examples of this design genre in Tucson.

Walled yards and courtyards are another significant feature of historic merit in the landscape architecture of El Encanto Estates. With few exceptions, residences include a portion or all of the site in a walled enclosure -- a common design theme since the early 19th century building development in Tucson. Today, the walled gardens evoke a sense of mystery and privacy. The high incidence of these garden walls adds immeasurably to the continuity and sense of place in the district.

The most significant aspect of the landscape architecture in El Encanto Estates is the continuity and harmony of visual imagery realized by the repetitive use of a number of common plant themes. These plants are definitely characteristic of the 1920's era and later; and many of the plants were used in Tucson as early as 1880. Most of these plants have matured into fine specimens today (see Landscape section #7 for list of common plantings).

The maturity of the trees in the El Encanto Estates Residential Historic District are also of historic merit, for they create a significant skyline effect in the midtown section of Tucson, resulting in a distinct character from other nearby areas, and concisely define the district's visual boundaries. Of particular interest to landscape architectural historians are several hedgerows of arborvitae that have matured to twenty-foot trees. Mature Italian Cypress, Eucalyptus, Mexican fan palms, and Aleppo Pines are also extremely valuable to the landscape architectural historic merit. Many of the trees and shrubs also have a scientific value because of their adaptation to the hot arid climate and their continued value as ornamental and shade plants.

The central circle is also of landscape architectural merit, because it is the terminus of the palm trees which line the streets. It represents an attempt at creating "idealistic" desert landscaping with the preservation of existing vegetation and the addition of transplanted native flora. El Encanto Estates is the only subdivision or neighborhood in Arizona which utilizes a circular central park as a terminus with formal desert landscaping. In addition, there is no other private collection of Saguaros in urbanized Tucson which has a greater significance. Development has, in the past, threatened this park, which is owned by the City of Tucson.

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ARCHITECTURAL SIGNIFICANCE

The architecture in the El Encanto Estates Residential Historic District is significant as it reflects local interpretation of prevalent national style preferences. It is the only intact neighborhood in Tucson where the collective work of the foremost in local architectural talent can be examined and carefully scrutinized for form, detail and adherence to styles restricted by deed restrictions which were in effect for over fifty years.

Many of the early residences are significant as they reflect simplified versions of more ornate styles. This simplification is due to material constraints and the unavailability of skilled labor. The resulting simplified styles are unique to El Encanto Estates and the immediate surrounding area.

The El Encanto Estates Residential Historic District reflects an early era consisting of high quality architecture that has been well maintained over the years. The structures in the district demonstrate an important achievement in the evolution of high quality architecture from the late 1920's to early 1940's in the City of Tucson. These residences, built for prominent and affluent citizens, are excellent examples of large southwestern styled homes. This high degree of architectural compatibility found in El Encanto, is not found in other early subdivisions in midtown Tucson.

Trends from Colonial Revival Styles to Ranch Styles are found in El Encanto. These trends reflect the influence of eclectic, rather than traditional design themes. Characteristics of the Craftsman Style as well as French Colonial and Greek Revival design elements were used to add decorative detailing and enhance the general overall style of the homes. Local designing architects utilized their own techniques, while following specific deed restrictions, thus creating cohesion for the overall character of the neighborhood, while maintaining an individual and innovative mixture. The designing architects hired to construct the homes in El Encanto, thus, played a major roll in the district's creation.

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Architect Association

Prominent designing architects in the El Encanto Estates Residential Historic District include: Josias Thomas Joesler, Henry O. Jaastad (while in partnership with Knipe), Cecil H. Moore, William Shuster (of New Mexico), Arthur T. Brown, H.E.A. Figge, M.H. Starkweather, Burr D. DuBois and Bernard Friedman, while in partnership with Fred H. Jobusch (see appendix E for architect sort). Bailey & McCoy was the major designing company, responsible for the design and construction of twenty residences. M.H. Starkweather, El Encanto's overseeing architect, designed sixteen homes, and Arthur T. Brown later designed five homes. One female architect is associated with the later design of eight homes in El Encanto; Anne J. Rysdale.

Due to deed restrictions which required the submission of two sets of plans per home, one to be submitted to the overseeing architect and one to be filed with the El Encanto Estates, original blueprints have been preserved. These blueprints, for the most part, indicate the designing architect, by either a company stamp or a signature. The original architectural design of the majority of the homes is historically documented and preserved.

The majority of the designing architects for the homes in El Encanto are local architects or civil engineers. The architects, with the exception of two known to be out-of-state, are from Tucson, or Phoenix and from the surrounding area. The value to architectural history of being able to compare the principal works of a majority of prominent local architects in a single neighborhood -- restricted to specific styles and forms -- is unique to the El Encanto Estates Residential Historic District.

M.H. Starkweather: the Overseeing Architect

Merritt Howard "Starky" Starkweather was hired as overseeing architect by El Encanto Estates, Inc. in the late 1920's. He was born November 10, 1891 in Chicago, grew up in Oshkosh, Wisconsin, and learned wood working from his father R.R. Starkweather. M.H. Starkweather never received formal schooling. He learned his trade by working for several engineering and construction companies in British Columbia; Spokane, Washington; Oregon and Los Angeles. Starkweather came to Tucson in 1915, and went to work for William Bray, a local pioneer architect and one of the first national AIA organizers. Starkweather eventually went into business for himself, opening the Tucson Blueprint Company (located

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on N. 6th Avenue) in 1917. He sold the business to enter World War I, but returned after the war, in 1919, and bought the business back. He operated the business until 1947, when he sold the business so he could devote himself solely to architecture. In 1945, Starkweather was associated with Richard A. Morse under the firm name Starkweather & Morse.

M.H. Starkweather was one of the original founders of the Arizona chapter of the American Institute of Architects, and named a fellow in 1968 for public service. He designed the first rodeo arena in Tucson and later became Rodeo chairman. Starkweather was chairman of the City Zoning Commission for eleven years, president of the Board of Health in 1926, and was elected to the City Council in 1924. Starkweather married Lilly E. Jettinghoff.

Lilly Starkweather was a local conservationist and championed the use of desert plantings for landscaping. She was not a landscape architect, and had no formal training. She may, however, have indirectly influenced the use of desert vegetation for landscaping themes found on individual lots in El Encanto Estates.

Starkweather is responsible for designing several public schools, including Carrillo, Drachman, Bonillas, Doolen Junior High School and the Tucson High School Stadium. In addition, Starkweather designed the Arizona Inn (listed 1987), the American Legion Club, additions to St. Mary's Hospital, and several homes in Tucson including sixteen homes in the El Encanto Estates neighborhood. The Women's Club in Safford, Arizona; the Elk's Lodge in Nogales, Arizona and the Casa Grande Hospital were also designed by M.H. Starkweather.

The position as overseeing architect for El Encanto Estates came mid-way in Starkweather's career. He was well established and locally renowned by then. The creation of such a position reflects the beginnings of the trend toward community planning and the importance of architectural control over subdivision development, a level of control heretofore unknown in Tucson. Starkweather continued to approve residential plans in the subdivision until into the 1970's, thus influencing construction and design in El Encanto Estates for over fifty years. On September 16, 1972, M.H. Starkweather died.

As an architect, Starkweather is responsible for the design of several distinctive homes in the El Encanto Estates District. The most outstanding of these are the Mills Home at 50 E. Calle Claravista, 1930 (#71); the home at 50 N. Camino Espanol, 1933 (#99); and the Manley Home

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at 35 E. Calle Primorosa, 1929 (#102). He is also responsible for the outstanding design of his own home located at 30 E. Calle Belleza, 1932 (#128), and the home of W.E. Guerin, president of El Encanto Estates, Inc, which is located at 30 E. Calle de Felicidad, 1932 (#86), both of which were discussed above.

Henrik Olsen Jaastad

"Henry" O. Jaastad was born in Ullenvang's Parish, Hardanger, Norway on July 24, 1872, one of seven children born to Mr. and Mrs. Ole Hendrikson Jaastad. The family immigrated to the United States in 1886, and settled in Marshfield, Michigan where Henry received training in cabinet making. In 1910, Henry O. Jaastad moved to Tucson and began work as a journeyman-carpenter. By 1908, he completed a correspondence course in architecture, soon enrolled at the University of Arizona and began private practice in architecture, which consisted primarily of residential construction. By 1912, Jaastad was responsible for the construction of public (Pima County Court House), as well as commercial structures all over the Southwest.

In 1924, Jaastad was elected to the City Council. In 1933, he was elected mayor and served for fourteen years (seven consecutive terms). Tucson was expanding in leaps and bounds, and Jaastad was responsible for a large portion of its construction. Jaastad died on December 20, 1965 at the age of 93.

As well as one later constructed home, the Ivancovich Home located at 50 E. Calle Belleza, 1951 (#126) in El Encanto, Jaastad was responsible for the design of thirty-five churches and fifty schools in Arizona as well as over one hundred homes in Tucson and the surrounding areas, including; the El Conquistador Resort Hotel (razed 1967) the Methodist-Episcopalian Church (razed 1987), located at Euclid and University, the Grace Lutheran Church at 830 N. First, Elizabeth Borton Elementary School, Safford High School, in Safford, Arizona, the Nogales City Hall, as well as the facade remodeling of Saint Augustine Cathedral on South Stone Avenue.

Josias Thomas Joesler

Joesler born in Zurich Switzerland, on November 3, 1895, was the son of an architect. He graduated, with honors, from the Technikum Bergdorf Center, in Bern Switzerland in 1916. After receiving his degree and

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working briefly for his father, Joesler went to Heidelberg to study engineering. He studied in Paris at the Sorbonne, and later traveled in Italy, France and South Africa, before arriving, and settling in Barcelona, Spain. After a few years, Joesler moved to Mexico City, where he spent two years designing buildings for the city. From Mexico, Joesler came to the United States, working first in Los Angeles, before arriving in Tucson -- on the recommendation of George Washington Smith (a prominent Los Angeles architect) -- to work for John W. and Helen Murphey on their "dream house."

Joesler helped the Murphey's complete the Old World Addition, one of Tucson's early subdivisions, built between 1925 and 1929, (razed due to University of Arizona expansion), and then in joint partnership designed more than seventy homes, many located in the Catalina foothills and Tucson Country Club Estates. In addition, the Joesler/Murphey team designed St. Phillip's in the Hills, a church; the Murphey/Keith offices; and Joesler's own office (the original Catalina Foothills Estates sales office). Joesler was also responsible for the design of such buildings as St. Michael and All Angels, the Broadway Village Shopping Center, the Broadway branch of the Valley National Bank (now razed), the El Conquistador Water Tower (currently on the National Register), and the Arizona Historical Society in Tucson.

Recent development in Tucson has threatened many Joesler homes. Six homes in the El Encanto Estates Residential Historic District were designed by Josias Thomas Joesler. These homes at 3327 E. Broadway Blvd., 1950 (#3); 10 Calle Resplandor, 1947 (#75); 35 E. Calle Belleza, 1931 (#122); 45 E. Calle Belleza, 1930 (#123); 542 N. Country Club Rd., 1937 (#186); and 25 E. Plaza del Encanto, 1939 (#96) are architecturally significant to the district and need to be protected.

Arthur Thomas Brown

Arthur Thomas Brown was born in Missouri in 1900. He was schooled at Tarkio College and received a Bachelor of Architecture as well as the AIA school medal at Ohio State in 1927. Upon graduation he received a scholarship to the Lake Forest Foundation for Architecture and Landscape Architecture. He began his career amidst the Depression, serving seven years as apprentice in five architectural offices, one of which was the architectural department of the 1933 Chicago World's Fair.

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In 1935, he moved to Arizona, became president of the Arizona Chapter, AIA and served on the AIA National School Committee. In 1961, he was named fellow to the AIA from Arizona.

Inventor as well as architect Arthur Brown has several patents on various architecture-related inventions, including a prototype modular house. Arthur Brown in partnership with his son, Gordon, still lives in Tucson and was overseeing architect for Colonia Solona in the 1940's. He is responsible for the design of five homes in El Encanto: 15 N. Calle Mirasol, 1947 (#21); 130 N. Camino Miramonte, 1942 (#44); 140 N. Camino Miramonte, 1952 (#51); 75 E. Calle Claravista, 1946 (#69a); and 15 E. Calle Corta, 1941 (#179). He also supervised interior renovation for several residences, including; 95 E. Calle Encanto (#31), 95 E. Calle Primorosa (#47), and 40 E. Calle Claravista (#72).

Anne J. Rysdale

A later architect associated with the design of eight homes, Anne J. Rysdale, is the only woman architect responsible for designing homes in El Encanto Estates. She was born in Tucson, attended Tucson High School and graduated from the University of Arizona in 1949. Her degree was in engineering and fine arts since the University did not offer an architecture degree at the time. She went to the University of Washington for further schooling, before returning to Tucson and starting a practice in architecture.

Rysdale's early work was primarily in designing residences. She designed homes in Highland Manor, Palo Alto Village, Colonia Solona, and the Country Club Estates. Later commercial structures she designed include the Rosemont and Broadway shopping center. She was responsible for the remodeling of Rhodes Jewelry Company as well. Anne J. Rysdale designed eight homes in El Encanto. The homes at 115 Calle Resplandor, 1955 (#5), 105 Calle Resplandor, 1951 (#6), 95 Calle Resplandor, 1951 (#8), 65 Calle Resplandor, 1950 (#107), 55 N. Camino Miramonte, 1951 (#113), 40 E. Calle de Amistad, 1954 (#114), 3227 E. Broadway, 1950 (#137), and the home at 109 Camino Espanol, 1961 (#162) were all designed by Anne J. Rysdale.

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Other prominent architects include:

Frederick A. Eastman, the Tucson Mountain Park architect who designed the first structures for what is now the Arizona-Sonora Desert Museum, and the architect responsible for the design of homes in the Catalina foothills, the Blenman-Elm neighborhood (located near the Arizona Inn), as well as the Ralph Bilby Home in Colonia Solona.

Gordon Luepke, the architect responsible for the design of the Pima County Superior Courts Building in Tucson, several buildings on the University of Arizona campus, as well as Vail Junior High School, Palo Verde High School and the Casas Adobes Shopping Center, all in Tucson.

James Macmillan, the architect responsible for designing the first Tucson Newspapers Inc. building (located downtown), and the later TNI building on South Park Avenue (built 1940), as well as designing several University of Arizona buildings.

Emerson Scholer, the architect who designed St. Joseph's Hospital, the Wilmot Medical Center, Catalina High School and the Woods Memorial Branch Library in Tucson.

In addition, such architects and contractors as: Tony Blanton, Frederick P. Cole (Blanton & Cole), Morris Elsing, Frederick O. Knipe, Sr., Russell Hastings, Andres "Ed" M. Herreras (contractor for the Santa Rita Hotel, as well as other churches in Tucson, as well as City engineer) all designed or constructed one or more homes in the El Encanto Estates.

These architects represent the more celebrated local talent. Their significance lies in their contribution to the architectural development of Tucson. They are responsible for the design of many locally noted public, residential and commercial buildings; these architects are responsible for a distinct portion of the architectural vista we call Tucson. The combined talents of these renowned architects has formed the El Encanto Estates Residential Historic District. Each has left his distinct signature on the homes in the district, yet each of these architects strove to meld the structures into a common concert of visual continuity and harmony unparalleled in Tucson.

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EXPLORATION/SETTLEMENT SIGNIFICANCE *

Early residents within the El Encanto Estates Residential Historic District include persons significant to our past. Many of these early residents were instrumental in development, early settlement and commerce in Tucson and the State of Arizona. Several early residents are historically significant for their contribution to science. Listed below are some of the more outstanding early residents, their achievements and the homes they are associated with.

State Level

Henry G. Boice (#70)

Henry G. Boice is responsible for early ranching development of areas in southern Arizona. He was born in 1893, in Independence, Missouri at the home of his grandfather, Henry Gudgell, one of the owners of the ranch which became known as the first home of the Hereford breed in the United States. Henry G., II was the son of Henry Stephen Boice, noted range cattleman and one of the early trail drivers to drive cattle from Texas to the Dakotas. Henry S. established the H.S. Boice Cattle Co. at the Point of Rocks ranch on the Cimarron River. This expansive ranch extended through three states: Kansas, Colorado and Oklahoma.

Henry G., II began ranching himself at the age of nine for the XIT ranch in the Texas Panhandle. He later went to Occidental College in California, and graduated in 1916. In 1917, he came to Arizona and began managing the famous Southern Arizona ranches, owned by his family and their associates, under the name of the Chiricahua Cattle Company. These ranches eventually included the Empire, Rail X, Sulphur Springs Valley and Arivaca ranches. Henry's brother, Frank, came to Arizona in 1920 to help his brother, taking over the management of the Sulphur Springs Valley ranches. The brothers bought the Arivaca ranch in 1930 and their younger brother Charles operated it. The corporation was dissolved in 1944, becoming a partnership. The ranches were divided between Henry and Frank in 1951, so their sons could participate more directly in the business. Henry took the Arivaca operation and Frank took the Empire Ranch. Frank, Jr. (see #51), operated the Empire ranch, while Robert, Henry's son, operated the Slash S ranch, located south of Globe, Arizona.

* Exploration/Settlement Significance deleted by Arizona SHPO. Preserved for information only.

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Henry G. Boice was president of the Arizona Cattle Grower's Association (1921-1927), president of the American National Livestock Association (1930-1933) and president of the Arizona Tax Research Association (1941-1960). He lived at 75 E. Calle Primorosa (#70), which was constructed in 1937, until 1957, and then moved to 75 E. Calle Claravista (#69a). Henry Gudgeall Boice died May 11, 1978.

Benjamin J. McKinney (#147)

Benjamin J. McKinney is significant as a pioneer Arizona cattleman, former U.S. marshal and Pima County sheriff. As a political delegate before statehood, McKinney took part in the selection of Arizona delegates to the Arizona Constitutional Convention. He was precinct committeeman for Willcox, and then later for Tucson just after statehood. He came to Bowie, Arizona from Texas by wagon with his family in 1892. They homesteaded and developed the LITE brand. McKinney later bought the Dimmitt Ranch twenty-five miles west of Willcox, which he operated until 1916, when he purchased the ZV Ranch on Mt. Lemmon, and consequently moved to Tucson.

McKinney was the first Arizona cattleman to import purebred Brahma bulls into Arizona and helped organize the Cochise County Cattle Growers Association. In 1924, he was chairman of the State Livestock Sanitary board. In 1932, he became delegate to the Democratic National Convention. On July 1, 1935, McKinney was appointed as United States Marshal for Arizona, the third largest court district in the country, filling the position of his successor, George Mauk. He served longer than any marshal to date, and was honored at his retirement for eighteen and a half years of service. He was later appointed Pima County sheriff at the age of 71, when Frank Eyman resigned to become warden of the state prison. He lost his position to Republican James W. Clark in an election held in 1959.

Benjamin J. McKinney lived at the El Encanto Estates home constructed in 1932, designed and built for him by Bailey & McCoy, located at 45 N. Camino Espanol (#147) until 1943.

Gerald Jones (#111)

Gerald Jones is significant as a territorial lawyer. Admitted to the Arizona Bar in 1909, he served fifteen years as Chairman of the State Board of Law Examiners, was county bar head in 1935, and was later a

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Board of Law Examiners, was county bar head in 1935, and was later a director of the Southern Arizona Bank and Trust Co. from 1951 until his death in 1971. In 1924, Governor W.H. Hunt appointed Jones as judge of the Superior Court. He was elected to the position in 1926, and two years later resigned, to form a partnership with Archie R. Conner. His resignation, according to newspaper accounts, occurred because he felt the judgeship did not pay enough. While Jones was Superior Court Judge, he taught constitutional law at the University of Arizona.

Gerald Jones was born in Alexandria, Virginia on December 3, 1887, and received his bachelor's degree from William and Mary College in 1907. He received his law degree from Georgetown University in Washington, D.C., and came to Tucson in 1909. Gerald Jones resided at 70 E. Calle Encanto (#111). This home, one of the early homes built in the El Encanto Estates Residential Historic District, was constructed for Jones in 1932. The home was not sold until 1971.

C.W. Miller (#123)

Claude Webster Miller is significant for his association with the early construction of road ways in Phoenix and southern Arizona. Miller came to Arizona in 1889 from Muncie, Indiana. He worked as transit and telegraph operator for the Santa Fe Railroad Company before becoming a civil engineer. As civil engineer for the railroad company, Miller worked on branch lines from Sulphur Springs, Arizona to the Mexican border. In 1920, Miller joined L.M. White to form the firm White & Miller Paving and Construction Company. This company was a major construction company in southern Arizona in the 1930's, and was responsible for laying the first asphalt streets in Phoenix, as well as for paving a ten mile stretch of experimental highway between Tombstone and Bisbee. In 1941, Miller sold his interests to White and retired. He settled in Tucson in 1928, and on May 11, 1961, Miller died.

Claude Miller lived in the home designed for him 1930 by Josias Thomas Joesler until 1935. This home, located at 45 E. Calle Belleza (#123), is one of the earliest constructed home in the El Encanto Estates Residential Historic District.

William J. Young (#26)

William J. Young was a leading pioneer figure in southwestern mining around the turn of the century. He held interests in the Courtland

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mine, located near Tombstone, which produced over \$1,000,000 worth of copper ore. He was founder of the W.J. Young Company. His residence was at 90 E. Calle Encanto (#26). This home was designed and built for him by Bailey & McCoy in 1931, and remained his residence until 1944. It is another early residence constructed in the El Encanto Estates District.

Eldred D. Wilson (#93)

Eldred D. Wilson is significant for his contribution to early mining development and geology in the state of Arizona. Born in Beatrice, Nebraska, Wilson received his bachelor degree from the Missouri School of Mines and Metallurgy. He worked briefly for Ray Consolidated Copper Company and then served in the Army before joining the Arizona Bureau of Mines at the University of Arizona in 1918. He received his master's degree from the University of Arizona and later received his doctorate from Harvard while on a fellowship in 1931. At the time of his death, Wilson was noted as the "foremost authority on Arizona geology." Early mining development was heavily dependent upon his "pioneering work." A map of Arizona counties, devised under Wilson's supervision, is currently the geological map for the state.

Dr. Wilson died on July 29, 1965. His home at 5 E. Calle Encanto (#93) was designed and constructed for him by Bailey & McCoy in 1938 and remained his home until 1946.

Local Level

The Founder: W.E. Guerin (#86)

W.E. Guerin is significant locally for his association with early subdivision development and for furthering the progression toward comprehensive community planning. A native of Columbus, Ohio, Guerin graduated from Cornell University. He practiced law in Sandusky and served in the Ohio State Legislature. He was vice president of the Guardian Bank of Cleveland, before coming to Tucson in 1928.

It can be assumed he came to Tucson with a goodly sum of money, for the year he arrived, he bought all the land, save a ten acre portion, that now comprises the El Encanto Estates Residential District. He entered into agreements with L.C. James and William B. Powhatan. The mood in Tucson at the time was that of improving and speculating. The plot of

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built El Conquistador Resort Hotel was just about to open, and though far from Tucson's center, this hotel promised to become "the" Tucson resort hotel. The location and speculated grandeur of the hotel, directly enhanced the development of the neighborhood, whose clientele were wealthy, local and out-of-state businessmen. It was in this environment Guerin invested. His intent was to provide an exclusive neighborhood, one of privacy and prestige. He anticipated the impact of the hotel, hoping to attract winter visitors, many of whom would buy and construct homes in the neighborhood. He strove to create one of the "show places of the West."

Guerin's home, designed by overseeing architect, M.H. Starkweather, is located at 30 E. Calle de Felicidad (#86). It was constructed in June, 1929, as one of the early homes in the El Encanto Estates Residential Historic District.

Aaron Levy (#16)

Aaron Levy is significant for his association with early commerce in Tucson, and for his association with Jacob Levy, his father, a prominent businessman in Tucson and Southern Arizona. Born in Peoria, Illinois, Jacob Levy, Aaron Levy's father, opened the Red Star Store in 1903 in Douglas, Arizona. Two years later he was joined by his brother, Ben, and the two men formed Levy Brothers Dry Good Company. Aaron was born in 1904, in the back room of the tiny Red Star Store. He grew up in Douglas, later attended Montclair Academy in New Jersey, and graduated with a degree in business and public administration from the University of Arizona in 1925. In 1931, Jacob and Ben Levy purchased the Myers and Bloom Company (a men's clothing store) and founded Levy's of Tucson. By 1935, the Levy's had stores in Douglas and Warren, Arizona as well as Tucson, and the firm's name was changed to Levy's of Southern Arizona.

Aaron Levy operated the Tucson store until his father's death in 1946, when he became president. The store moved to Pennington and Scott after World War II, and then later moved to El Con Mall (adjacent to the El Encanto Historic District). Aaron Levy died of a heart attack on April 21, 1958 at the age of fifty-three. Aaron Levy lived at 30 N. Calle Mirasol (#16) from 1937 to 1958. The home, built in 1937, was designed and constructed for him by Bailey & McCoy.

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George A. Stonecypher (#183)

George A. Stonecypher is significant for his pioneering efforts in the bakery business and as a prominent businessman in Tucson. Vice-president and later president of Consolidated National Bank (now Valley National Bank), Stonecypher began his business endeavors as the president and founder of Stonecypher Bakery, Inc., which later sold to Rainbow Bakery (1940). Stonecypher is also significant as one of the founders, along with Hiram Corbett, of the El Rio Country Club, the first Tucson grass golf course, constructed in 1929. He later became president of the board of directors for the country club.

Stonecypher's Home was located at 145 N. Camino Espanol (#183). It was constructed in 1938 and designed by Bailey & McCoy, and remained his residence until 1949.

Harry W. Powers (#122)

Harry Powers is significant for his local association with lumber and the construction business. Born in Urbana, Ohio on July 10, 1892, Powers graduated from Urbana University in 1911. He was assistant paymaster for the Pennsylvania Railroad Company until he arrived in Tucson in 1916. After his marriage to Hellen O'Malley, Harry Powers became director/manager for O'Malley Lumber Company, the largest early lumber distributor in Tucson. Powers later became president, a position he maintained until his retirement in 1953.

The Powers/O'Malley Home is located at 35 E. Calle Belleza (#122), and was designed for the couple by Josias Thomas Joesler in 1930. Harry Powers died on October 11, 1977.

Ralph Everett Ellinwood (#72)

Ralph Ellinwood is historically significant for his association with E.E. Ellinwood, a pioneer Arizonan, United States Attorney under President Cleveland and member of the State Constitutional Convention, and for his association with the Arizona Daily Star, acting as owner from 1924 until his death. Born in Flagstaff, Arizona on August 9, 1893, Ellinwood attended several private schools back east before attending Montclair Military academy. He then went on to graduate from Amherst College in 1918. He fought in World War I, was captured by Germans and held prisoner until 1919.

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After the war, Ellinwood returned to Arizona and re-entered college for two years to obtain a degree in literature, which he completed at Columbia School of Journalism. Ellinwood worked as a reporter for the Arizona Daily Star, and then acted as night editor for the Sacramento Union, before returning once again to Tucson. In 1924, Ellinwood, in partnership with William R. Mathew, purchased the Arizona Daily Star. According to Mrs. Ellinwood, Mr. Ellinwood submitted an essay on the Spanish Conquistadores, which won him \$50.00, and which served to name the new hotel, constructed to the east of El Encanto Estates, called the El Conquistador Resort Hotel.

Ralph Ellinwood died on August 31, 1930. His wife, Clare, continues to reside in their home, located at 40 E. Calle Claravista (#72), which she designed. The specifications and blueprints were drawn by W.B. Winchester and the home was built by Frank Putter in January, 1929. The Ellinwood home is one of the oldest homes in the El Encanto Estates Residential Historic District. Clare Ellinwood served for one year in France during WWI as secretary for the University of Pennsylvania Hospital #20, and is noted as being one of three woman elected to membership in the Rocky Mountain Oyster Club, a prestigious businessmen's club.

John S. Sundt (#84)

John S. Sundt is historically significant for the construction of many commercial, public and residential structures in Arizona, New Mexico and Nevada. The son of Mauritz Martins Sundt, a Norwegian born immigrant who came to the United States in 1886, John Sundt learned the carpentry trade from his father before moving to Tucson and opening his own company. He and his brother, Thoralf M., organized a company named the M.M. Sundt Construction Company, in 1930, in honor of their father.

During WWII, John and his brother, Thoralf, directed the building of approximately \$40 million worth of military installations in California, Arizona and New Mexico. They received an award for their atomic bomb facilities at Los Alamos, at that time. Much of the work done during the war included work at Davis-Monthan Airbase, the Consolidated Vultee Aircraft Plant (now the Tucson International Airport), the Marana Airbase, the Japanese prisoner of war and relocation camps at Lordsburg

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and Sacaton and the reconstruction of the United States Navy training school at the University of Arizona. The M.M Sundt Construction Company also oversaw construction in Alamogordo, Clovis, and Fort Sumner, New Mexico.

After the war the M.M. Sundt Co. worked on such projects as; Tucson Medical Center, St. Mary's and St. Joseph's hospitals; a number of Tucson schools, including; Blenman, Rose, Rincon and the remodeling of Drachman school. The M.M. Sundt Construction Co. was also responsible for extensive construction at the University of Arizona, as well as the Tucson Federal Savings Building. The M.M. Sundt Construction Company still exists as an internationally important construction firm, though both John and Thoralf have died.

John Sundt was a director of the Tucson Electric Power Co., of Pima Savings & Loans, the YMCA and the Tucson Medical Center. He died on March 18, 1965. His wife, Marion, remains in the home at 55 E. Calle Encanto (#84), which was designed by Thoralf, constructed in 1937. Marion was actively involved in the El Encanto Improvement Association, when it formed in the early 1950's.

National Level

Bert E. Underwood (#60)

Bert E. Underwood is significant as the inventor of the half-tone photograph, and founder of the international photographic firm of Underwood & Underwood. He sold his first stereoscopic photographs in Kansas in 1882, and formed a partnership with his brother, which later was incorporated. The business prospered, expanding from coast to coast, into Canada and then with branches throughout Europe and Asia. In 1902, Underwood secured the only picture of King Edward VII and Queen Alexandria wearing coronation crowns and robes. Twice, Underwood traveled around the world, photographing presidents, kings, and emperors. He is noted for his photographs of Mark Twain, President Theodore Roosevelt, President Wilson, President McKinley, and numerous celebrities. During World War I, Underwood was commissioned to serve as commanding officer of the U.S. Photographic Division.

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It was during the Greco-Turkish War that Underwood marketed his first news picture and became the first photographer to have a news photograph in a paper. The photographs, of Greek troops in camp and in training, appeared as half-tone zinc etchings in the London Illustrated News in 1896.

Bert Elias Underwood was born on April 29, 1862, in Oxford, Illinois. He received his degree at Ottawa, Kansas University. He came to Tucson in 1926, and later bought a lot of land in El Encanto (1931), where he eventually constructed a home (140 N. Camino Espanol (#60), a home designed and constructed for him by Bailey & McCoy in 1935. Underwood resided here until his death on December 19, 1943. The home remained in the family until 1946.

Muriel Thayer Painter (#56)

Muriel Thayer Painter is historically significant for her contribution to the understanding of Yaqui tribal ceremonies. As an author and authority on Yaqui Indian tribal ceremonies, Thayer is internationally renowned for her research and writings on Yaqui Easter ceremonies. She devoted her time to the Pascua Village Yaqui settlement in Tucson where she discovered a mix of 17th century Spanish Catholicism and the ancient Yaqui tradition which the refugee Mexican-Indian families brought with them to Tucson. She was the author of two major definitive studies on Yaqui ceremonial life, a ceremonial life which up to that point had been seen as wild and half-pagan. She was research associate for the Arizona State Museum until her death on March 19, 1975. Thayer Painter was a founder of the San Xavier Easter Pageant, appointed member of the Chamber of Commerce Yaqui Committee, as well as member of a variety of social service organizations. It is said that whatever understanding we have today of the Yaqui Indian population is owed "in no small measure" to the research and social service efforts of Muriel Thayer Painter.

Muriel "Budge" Thayer was born in 1892, in Minnesota. She graduated from Wellesley College in 1916. She lived in the home designed for her by William Shuster, a New Mexico architect. Constructed in 1936, of adobe dried on site, the home is located at 3242 E. Fifth Street (#56). Its construction attests to Muriel Thayer's love for Indian culture. Painter died on March 19, 1975.

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Dr. Charles W. Mills (#71)

Dr. Charles Mills is significant for his contribution to our understanding of tuberculosis, and as a founder of the Desert Sanatorium (known today as Tucson Medical Center). Nationally renowned for his efforts in tuberculosis, Mills was a fellow of the American College of Physicians and director of the National Tuberculosis Association. The son of Charles A. and Clara Mills, Mills was born in South Williamstown, Massachusetts, where he attended school. He received a Bachelor of Arts degree from Williams College and later matriculated in the medical school of Johns Hopkins University, from which he received the degree of Doctor of Medicine in 1908. He entered into practice in New York remaining there until 1917, when he moved to Colorado to hold a position as acting medical director of the Cragmor Sanatorium. Mills came to Tucson after World War I, and was a member of the advisory board of the Desert Sanatorium, which changed names in the 1940's to the Tucson Medical Center. He later became director of the Tuberculosis Sanatorium Committee. His studies on tuberculosis have been published in many national journals.

Charles W. Mills resided in the home designed for him by M.H. Starkweather in 1930, located at 50 E. Calle Claravista (#71) until his death in 1945. The home remained in the Mills family until 1958.

Margaret Cammack and Howard V. Smith (#121)

Margaret Cammack Smith and her husband Howard are significant for their contribution to the scientific community, receiving international recognition in 1930, when she and her husband, Howard V., an associate professor of agriculture chemistry at the University of Arizona, discovered that mottled human tooth enamel was caused by the presence of fluorine in drinking water. Smith discovered that baby teeth, thought to never be affected by fluorine in water, actually were affected either prior to their birth or afterwards. Smith discovered that the presence of fluoride in the mother's system affected prenatally formed temporary teeth of the child.

Smith's research, done primarily in St. David, Arizona, where numbers of children were affected by mottled teeth, served to show the impact of insecticides, which had high fluorine counts. These insecticides, when used on vegetables and fruits, caused mottled teeth.

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When the vegetables were shipped, the effect spread and had the potential of creating a national threat. Smith's discovery served to help create legislation and protection against fluorine. The Smith's devised a method which removed fluorine from drinking water by use of a bone filter.

In 1933, Margaret C. Smith was elected to membership in the American Institute of Nutrition, a national society for advancing scientific knowledge in nutrition. Smith was a research chemist at the University of Arizona for twenty years. She began her work for the University as an associate professor in nutrition in 1925. That same year she became a research chemist. She was responsible for various studies in sorghum and Arizona-grown wheat and dates as well as the loss of vitamin content in hays stored for long periods of time, and properties of vitamin D obtained by exposure to the sun.

She was born in St. Paul, Minn., graduated from the University of Minnesota in 1917, and received her master's degree and doctorate in nutrition from Columbia University. She came to Arizona in 1925. Her husband, Howard V. Smith, was an associate professor in agricultural chemistry. He died in 1973. Margaret Smith died on September 2, 1978. The couple resided in the home built for them in 1930, by Joe Carlucci, located at 25 E. Calle Belleza (#121).

Nelson C. Bledsoe (#160)

Nelson C. Bledsoe is historically significant for his pioneering efforts in medicine. As a physician, Bledsoe began his medical practice in Bisbee in 1904. He worked for thirty years as chief surgeon for the Calumet and Arizona Mining Company (now known as the Phelps Dodge Corporation), after receiving his degree from the University of Southern California in 1903. The Bledsoe's owned a summer home in Ramsey Canyon for many years before they moved to Tucson in 1930. Bledsoe began a lucrative medical practice while in Tucson, working out of his home, in an addition designed for the purpose. His home, located at 85 N. Camino Espanol (#160) was designed for him by W.B. Winchester and built in 1931. He resided at this home until his death on February 23, 1974.

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Later Occupants

Monte Mansfield (Mansfeld) (#103)

Monte Mansfield is said to have been the man who played the "greatest single role in Tucson's growth." He is credited for the establishment of Davis-Monthan Air Force Base and Hughes Aircraft Corporation in Tucson. He was president of the Tucson Airport Authority, at the time.

Monte Mansfield's business ventures began in 1904, when he was the director for Arizona's horticultural exhibit at the St. Louis World's Fair. From 1905-1908 he worked for the Consolidated National Bank (now Valley National Bank), after which he spent four years in the hotel business in the East. After various other positions held in Arkansas, Chicago, and Los Angeles (where he attended Brownsberger Business College), he returned to Tucson. In 1914, Mansfield opened his own Ford dealership. He remained as the firm's head for forty years, retiring when the dealership was sold to the Holmes Tuttle Company (still in operation).

During his active business career, Mansfield formed the Broadway Improvement Association (dedicated to developing the thoroughfare into a cosmopolitan boulevard), and was instrumental in the construction of the Stone Avenue underpass as well as president of the Southwest Improvement Company (1922) which helped promote its University Manor subdivision in the Sam Hughes neighborhood. Mansfield held numerous political offices including offices in the Tucson Chamber of Commerce, on the Arizona Aviation Committee as well as serving on the Tucson City Council from 1917 until 1918.

Mansfield's Home, at 40 E. Plaza del Encanto (#103), was constructed in 1934. He and his wife, Eleanor, lived in the home from 1946 until 1961. Monte Mansfield's died on December 19, 1959. Eleanor remained in the home until 1961.(1946-61)

James Byron McCormack (#148)

James Byron McCormack is significant as the thirteenth president of the University of Arizona. Born in Emden, Illinois on February, 28, 1895, McCormack graduated from Western Military Academy in Alton, Ohio and obtained a law degree at Illinois, Wesleyan in 1915. He received his master's degree in law from the University of Southern California in 1930, and his doctorate from Duke University in 1933.

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In 1930, McCormick was appointed as assistant professor of law at the University of Arizona. He became full professor in 1933 and dean of the law school in 1938. In 1948, McCormick became thirteenth president of the University of Arizona.

James Byron McCormick remained University president until November 11, 1950, when he resigned and Richard A. Harvill became the University's fourteenth president (see #28). The McCormick's lived at 10 E. Calle Portal (#148) from 1946 to 1976. James Byron McCormick died on August 18, 1970.

Albert R. Buehman (#109)

Albert R. Buehman is significant for his contribution to the photographic history of early Tucson and the surrounding area. Buehman was the son of Henry H. Buehman, a German immigrant born in 1851, who at the age of twenty, came to the United States and six years later arrived in Tucson (1874). In Tucson, Henry pursued a career in photography, a career his son, Albert, continued after Henry's death in 1912. In 1926, Albert Buehman received the highest salon honors for five of his pictures entered in the Photographic Association of America's exhibit. In 1932, he was awarded the second-place medal and became president of the association in 1939. Albert was also president of the Arizona Association of Photographers and an organizer of the American Society of Photographers. His son, Remick, took over the prospering Buehman Studios photography business in 1949, a business which soon sold (1953).

Albert Buehman's extensive photographic collection of early prominent Tucson residents and businessmen, as well as various photographs of homes and schools are now housed at the Arizona Historical Society in Tucson. Albert lived in the home designed for him by M.H. Starkweather in 1948 until 1968. The home was located at 50 E. Calle Encanto (#109).

In addition to these early and later residents listed above, other prominent occupants include: Alexander G. Jacome (#81), son of Carlos, president (1931) of the family's Jacome Department Store located on Congress Street, and diplomat to Mexico for the State of Arizona; William D. Breck (#113), president and founder (1959) of Bill Breck Dodge, operated today by his son, Dan Breck; Benjamin H. Solot (#98), a Tucson real estate broker and civic leader, founder of Solot Realty Company; Frank O'Reilly (#96), founder and president of O'Reilly Motor

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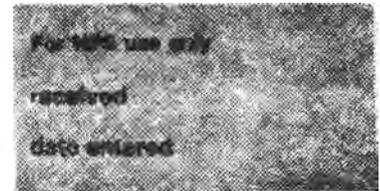
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Company, once noted as the "second largest" auto dealership in Tucson; **Terrance C. Atkinson (#68)**, an architect who designed his own home as well as various commercial, religious and public buildings; **Arthur Darton (#100)**, an architect who designed his own home as well as other homes in El Encanto, **Harry A. Rollings (#53)**, founder and president of Rollings Chrysler-Plymouth dealership (1944), a business that still thrives on E. Broadway; **Fletcher O. Haskell (#37)**, founder of Haskell Linen & Supply, one of the largest linen services in the Southwest, with offices in New Mexico and southern Arizona; **Dr. Charles H. Tweed (#4)**, a renowned orthodontist, recipient of fourteen awards, founder of the Charles H. Tweed Foundation, and inventor of the "Tweed Method," a technique used for rearranging teeth using wire traction (ie. braces); **Dr. Richard A. Harvill (#28)**, fourteenth president of the University of Arizona, and **Oliver Drachman (#63)**, son of Mose Drachman, member of the pioneer Drachman family, school board member of eight years, city councilman in 1928, and owner of Tucson Steam & Laundry, later known as Oliver's Cleaners.

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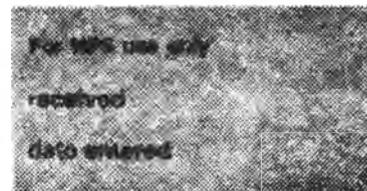
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- Argan, Giulio C. Translated by Susan Edna Bassnett. The Renaissance City. George Braziller, Inc: New York, NY, 1969.
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Newspapers:

Obituaries were used from the: Arizona Daily Star
Tucson Citizen
Phoenix Gazette
Phoenix Republic

Pertinent newspaper articles found in the clippings file at the State Historical Society in Tucson were also utilized.

Legal Documents:

Articles of Incorporation of El Encanto Estates Improvement Company.
January 13, 1947.

Declaration of Establishment of Conditions and Restrictions of El Encanto Estates, Inc., et al. Filed January 21, 1928, and compiled by the El Encanto Estates, Inc. to be given to new owners.

El Encanto Estates Subdivision Plan. Filed in the Pima County Recorder's Office on August 7, 1928 in two sheets (5/35, 1 and 2).

El Encanto Estates Deed Restrictions. Filed in the Pima County Recorder's Office on January 21, 1929.

"Quick Reference." El Encanto Estates Deed Restrictions given to new owners. Compiled by the El Encanto Estates, Inc. 1951.

Articles:

Barrow, William C. "El Encanto: An Enchanting Place to Get Lost." The Saguaro. August, 1986, p.6.

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Barrow, William C. "Historical Tucson." The Saguaro. June, 1986, p.12.

Child, Stephen "Colonia Solona: A Subdivision on the Arizona Desert." Landscape Architecture. Unknown publisher, unknown date. p.1-8.

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A Neighborhood Plan for Colonia Solona - El Encanto, Tucson, Arizona. February 12, 1979.

"El Encanto: 'The Enchanted Place.' " Paper by Lloyd W. Gay. February 21, 1979.

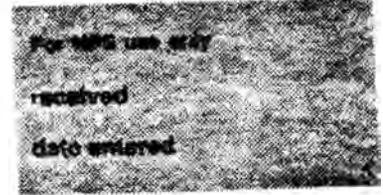
Landscape Architectural Historical Merit Study. Walter Rogers, ASLA. July 26, 1979.

1980 Survey of several residences in the El Encanto Estates Neighborhood. Completed by Arthur B. Darton, RA. February, 1980.

1983 Nomination to the National Register of Historic Places for the Encanto-Palmcroft Historic District. Survey and nomination completed by Woodruff Minor (Architectural Historian), Page, Anderson & Turnbull, Inc.

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1986 Survey of all structures in the El Encanto Estates Neighborhood.
Completed by John Everin, Karen Halle, C. Anderson, Peter Dube,
and Colin Baden. December, 1985 - April, 1986.

"Report on the Architectural Significance of El Encanto Neighborhood,
Tucson, Arizona." Noggle McCarthy Architects, AIA. April 10, 1980.

Directories:

Arizona State Board of Technical Registration. 1923 - 1933.

Tucson City Directories: 1921-1928.

Miscellaneous:

Clippings from the Arizona Historical Society in Tucson, Arizona,
Clippings of Arizona residents. various dates and newspapers.

Promotional Pamphlet for the El Encanto Estates, publ. by El Encanto
Improvement Co., 1951.

Promotional Pamphlet for El Encanto Estates, El Montevideo Estates,
Colonia Solona, Catalina Foothills Estate, San Clemente, and
Village of Palomar.

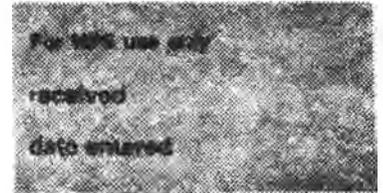
Photographs:

Birdseye View of Tucson, Arizona Historical Society. Tucson, Arizona.
Photo Collection.

Buehman Photograph Collection, Arizona Historical Society. Tucson,
Arizona. Photo Collection.

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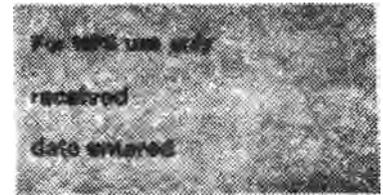
Oral Interviews:

Were completed by Wendy Laird with:

Walter Rogers, June, 1987
Roy Noggle, June, 1987
Oliver Drachman, July, 1987
Clare Ellinwood, July, 1987
Bill Barrow, September, 1987

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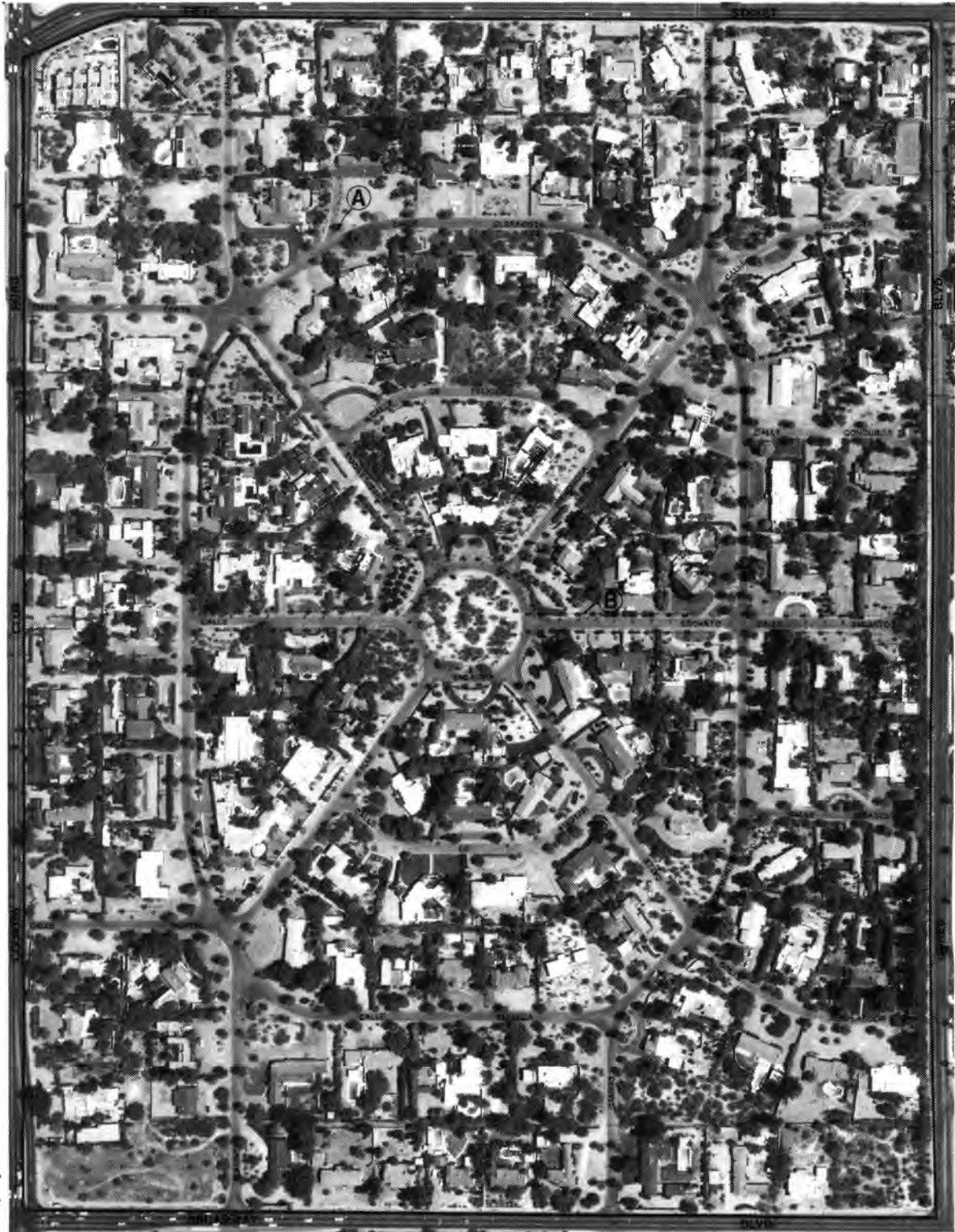
Item #10

Verbal Boundary Description

Beginning at the intersection of the south curblineline of Fifth Street and the west curblineline of Jones Street, then proceeding south following the west curblineline of Jones Street 2,568 ft south to the north curblineline of Broadway Blvd., then turning west following the north curblineline of Broadway 1,860 ft west to the east curblineline of Country Club Road, then turning north following the east curblineline of Country Club Road 2,451 ft north to the south curblineline of Fifth Street, then turning northeast and following the south curblineline of Fifth Street 175 ft northeast to the south curblineline of Fifth Street, then turning east and following the south curblineline of Fifth Street 1,677 ft east to the point of beginning.

EL ENCANTO ESTATES

AERIAL LANDSCAPE PLAN



LEGEND

— HISTORIC DISTRICT BOUNDARY LIMITS

(A)

PHOENIX DACTALPERA PALM (TYP.)

LINING ALL STREETS ON BOTH SIDES

(B)

WASHINGTON ROBUSTA PALM (TYP.)

LINING BOTH SIDES OF CALLE ENCANTO AND PARK AREA

NOTE:

ALL PALMS WERE PLANTED IN A SYMMETRICAL PATTERN AS AN ORIGINAL PART OF THE SUBDIVISION. ALL PALMS ARE APPROXIMATELY THE SAME SIZE.

APPENDIX A

Copy of Original Sketch Map
Copy of Original Subdivision Map*
Copy of Original Deed Restrictions
Copy of Original 1932 Sales List
Copy of Original 1951 Sales List

* Subdivision map in two parts: north $\frac{1}{2}$ and south $\frac{1}{2}$.

EL ENCANTO ESTATES, INC.

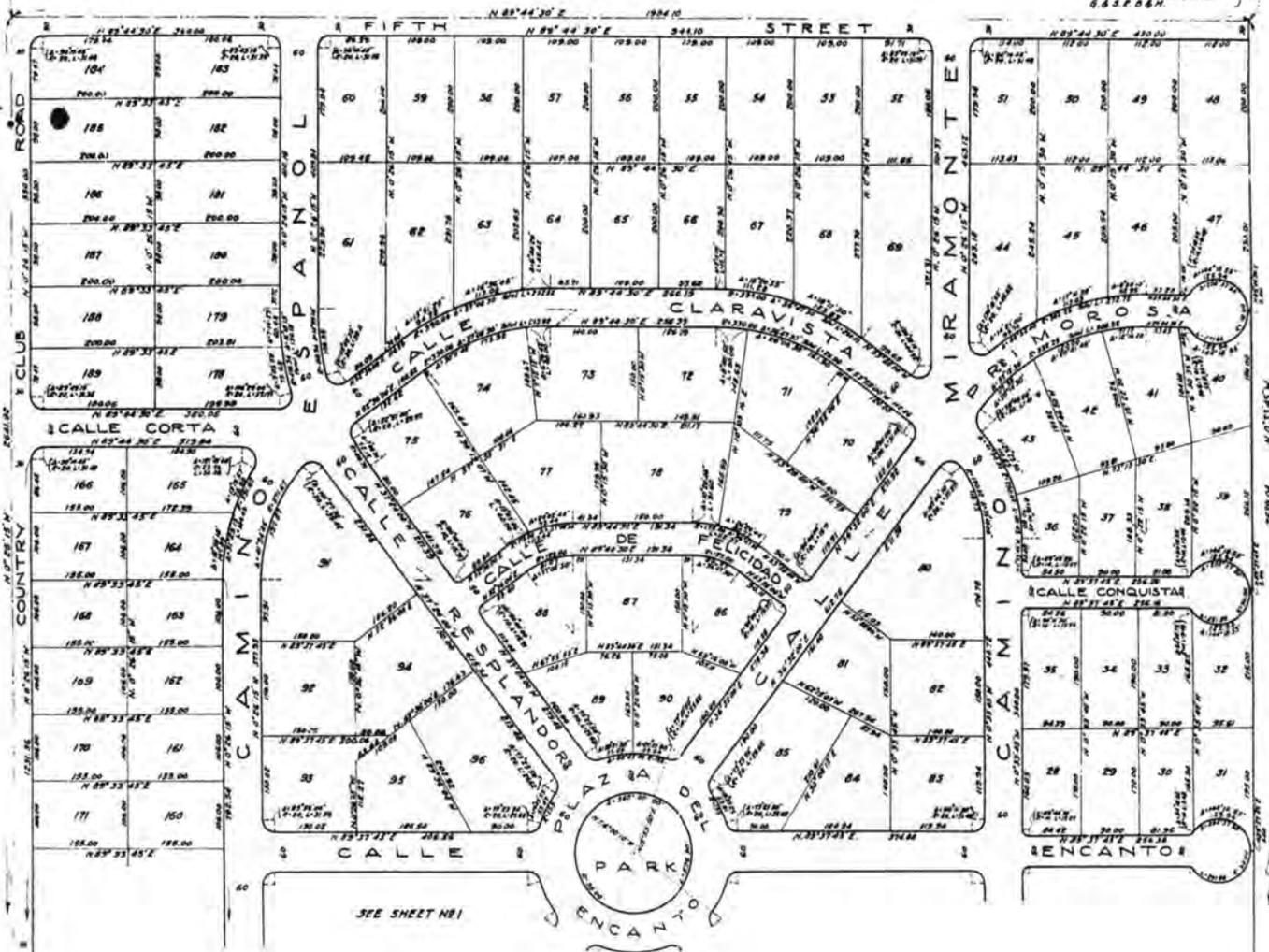
Scale: 1 inch = 100 Feet

SHEET NO. 2
OF 2 SHEETS

17000 Plan N.M. Cont. of E. 1/2 of E. 1/4
S. 1/2 of Sec. 9, T. 145, R. 142.
G. & S. F. D. 6.

5-35

5
35
C



SEE SHEET NO. 1

El Encanto Estates, Inc.
Aug. 7 - 25.
112:15 P.
5 maps - date
35.
J. B. Williams,
Supt.

APPENDIX B

Tree Search Nominations (three total)



EL ENCANTO DATE PALMS. View to the north, along Camino Miramonte. Thirteen of the 249 streetside date palms are visible in this photo.

IV. Unusual Trees Because of Species or Location

Consider here trees growing in unusual locations, or species of trees rarely seen in urban settings of the Southwest.

Example: A Black Mission Fig (*Ficus carica*) is unique because of its location in the courtyard of the El Adobe restaurant (original Charles Brown house built in 1868). The tree was probably planted close to 100 years ago for its edible fruit, and has been pruned back several times since then. Today diners eat under the green shade provided by this tree.



Fremont Cottonwoods, *Populus fremontii*, in Fort Lowell Park.

V. Unusual Life Forms

In this category consider trees that have unusual shapes due to natural or manmade influences.

Example: A Mutant or Crested Saguaro Cactus (*Carnegiea gigantea*) is located northeast of Old Main on the University of Arizona campus, and was a gift from Fairfield Communities. The folded flesh at the tip of the plant gives it a bizarre appearance.

If you wish to nominate a tree or trees for consideration as a Great Tree, please fill out and return the attached form. Include a black and white photograph of the specimen if possible. Please try to be as specific as possible as to the tree's location and the reasons that you feel qualify the specimen as a Great Tree. Thank you for your interest and support.

NOMINATION FORM

Nomination Category

- Unusually Large or Old Tree
- Tree(s) Associated With Historic Events or Historic Landmarks
- Tree(s) Associated With Notable People
- Tree of Unusual Species or Location
- Tree of Unusual Life Form

Location of Tree(s): Plaza del Encanto, El
(*sketch map if necessary*) Encanto Estates

Map attached.

Species: Saguaro (*Carnegiea gigantea*)

Diameter: ----- Height: avg. 12 ft

Reasons for nominating tree: 157 saguaros planted
in 1930 in small park in the center of El
Encanto Estates form the finest collection
in Tucson.

Nominator's Name: Lloyd W. Gay

Address: 90 Calle Encanto

Tucson, AZ 85716

Telephone: 621-7268 (work)

Telephone: 327-4418 (home)

Return to:

GREAT TREE SEARCH
School of Renewable Natural Resources
University of Arizona
Tucson, Arizona 85721
(602) 621-1004



PLAZA DEL ENCANTO SAGUAROS. View is to the northeast, across Plaza del Encanto and the saguaro collection that contains 157 of the giant cacti.

"EL ENCANTO DATE PALMS"

NOMINATION FORM

Nomination Category

- Unusually Large or Old Tree
 Tree(s) Associated With Historic Events or Historic Landmarks
 Tree(s) Associated With Notable People
 Tree of Unusual Species or Location
 Tree of Unusual Life Form

Location of Tree(s): along the "great circle"
(*sketch map if necessary*) within El Encanto Estates.

Map attached.

Species: Date palms (Phoenix dactylifera)

Diameter: est. 25-30" Height: avg. 30 - 35 ft.

Reasons for nominating tree: 249 date palms remain
from 1930 planting along roadsides on El
Encanto Estates' interior roadways.

Nominator's Name: Lloyd W. Gay

Address: 90 Calle Encanto
Tucson, AZ 85716

Telephone: 621-7268 (work)

Telephone: 327-4418 (home)

Return to:

GREAT TREE SEARCH
School of Renewable Natural Resources
University of Arizona
Tucson, Arizona 85721
(602) 621-1004

IV. Unusual Trees Because of Species or Location

Consider here trees growing in unusual locations, or species of trees rarely seen in urban settings of the Southwest.

Example: A Black Mission Fig (*Ficus carica*) is unique because of its location in the courtyard of the El Adobe restaurant (original Charles Brown house built in 1868). The tree was probably planted close to 100 years ago for its edible fruit, and has been pruned back several times since then. Today diners eat under the green shade provided by this tree.



Fremont Cottonwoods, *Populus fremontii*, in Fort Lowell Park.

V. Unusual Life Forms

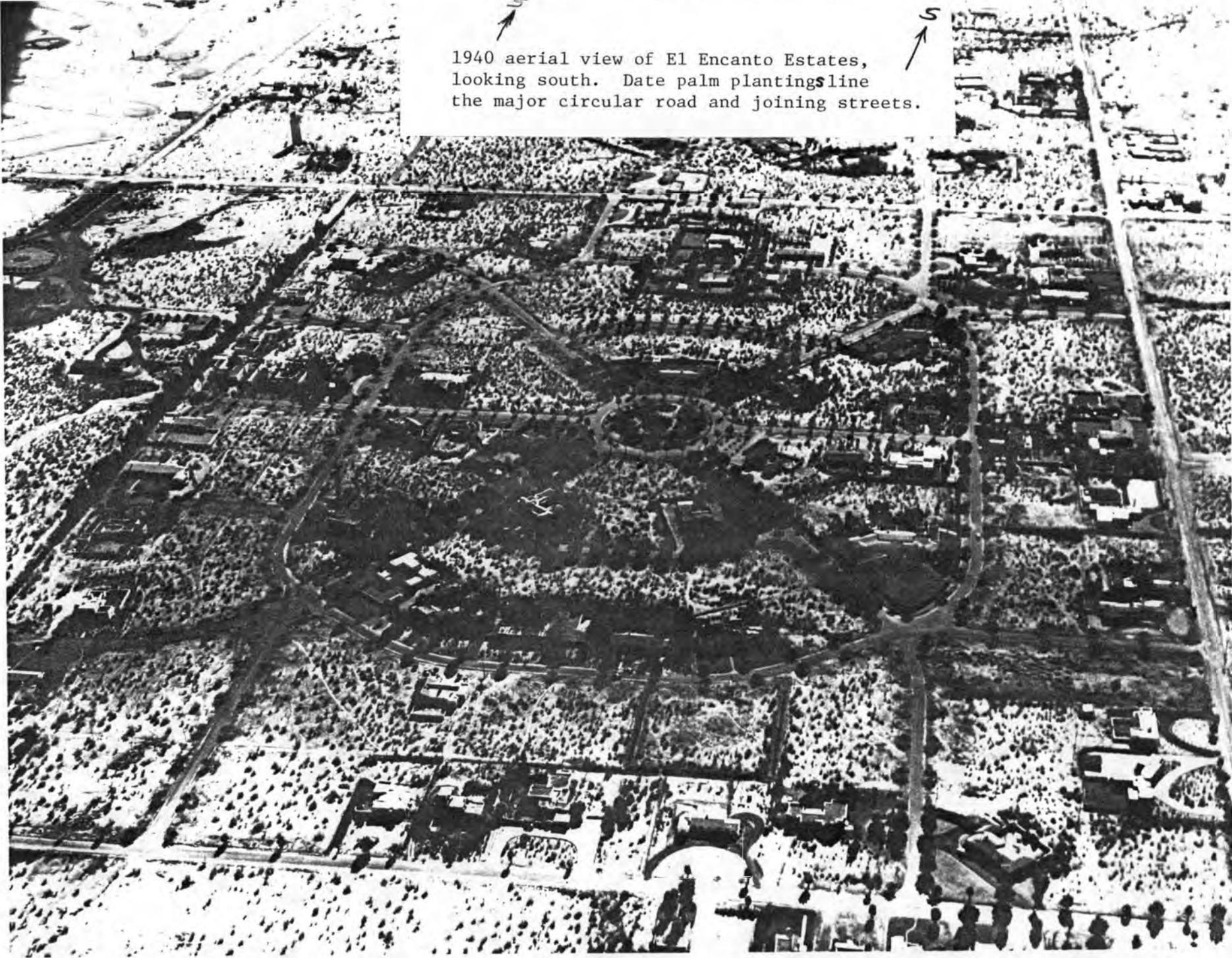
In this category consider trees that have unusual shapes due to natural or manmade influences.

Example: A Mutant or Crested Saguaro Cactus (*Carnegiea gigantea*) is located northeast of Old Main on the University of Arizona campus, and was a gift from Fairfield Communities. The folded flesh at the tip of the plant gives it a bizarre appearance.

If you wish to nominate a tree or trees for consideration as a Great Tree, please fill out and return the attached form. Include a black and white photograph of the specimen if possible. Please try to be as specific as possible as to the tree's location and the reasons that you feel qualify the specimen as a Great Tree. Thank you for your interest and support.

1940 aerial view of El Encanto Estates, looking due south. Fan palm plantings line Calle Encanto, which is the major East-West street in the subdivision. The saguaro collection is in the circle in the center of the subdivision.





1940 aerial view of El Encanto Estates,
looking south. Date palm plantings line
the major circular road and joining streets.

"CALLE ENCANTO FAN PALMS"

NOMINATION FORM

IV. Unusual Trees Because of Species or Location

Consider here trees growing in unusual locations, or species of trees rarely seen in urban settings of the Southwest.

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Example: A Mutant or Crested Saguaro Cactus (*Carnegiea gigantea*) is located northeast of Old Main on the University of Arizona campus, and was a gift from Fairfield Communities. The folded flesh at the tip of the plant gives it a bizarre appearance.

If you wish to nominate a tree or trees for consideration as a Great Tree, please fill out and return the attached form. Include a black and white photograph of the specimen if possible. Please try to be as specific as possible as to the tree's location and the reasons that you feel qualify the specimen as a Great Tree. Thank you for your interest and support.

Nomination Category

- Unusually Large or Old Tree
- Tree(s) Associated With Historic Events or Historic Landmarks
- Tree(s) Associated With Notable People
- Tree of Unusual Species or Location
- Tree of Unusual Life Form

Location of Tree(s): along Calle Encanto in El
(sketch map if necessary) Encanto Estates.

Map attached.

Species: Mexican fan palm (*Washingtonia robusta*)

Diameter: avg 12-15" Height: avg. 60-70'

Reasons for nominating tree: 113 graceful fan palms
line Calle Encanto since 1930 in the most
beautiful streetside planting in Tucson.

Nominator's Name: Lloyd W. Gay

Address: 90 Calle Encanto

Tucson, AZ 85716

Telephone: 621-7268 (work)

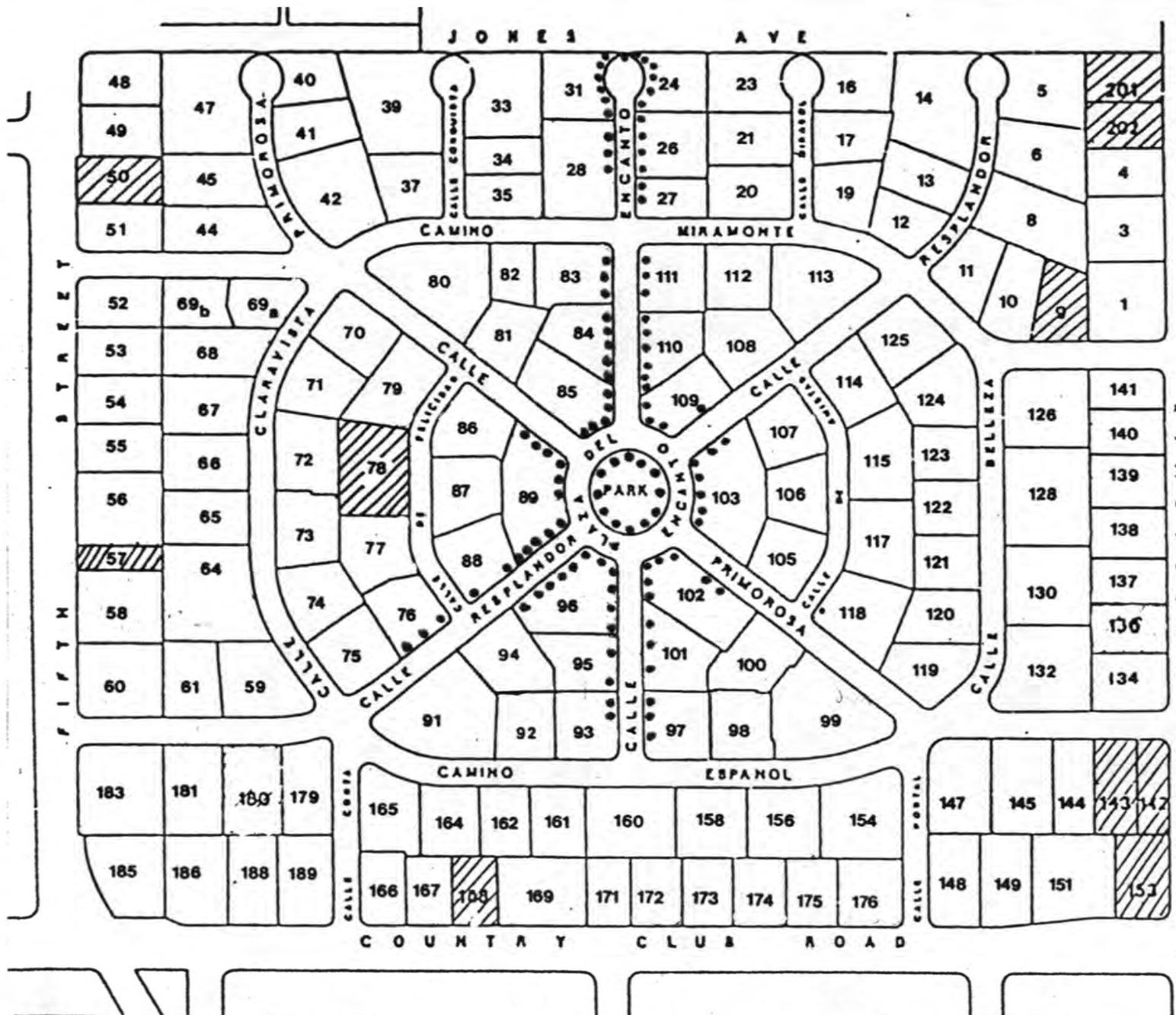
Telephone: 327-4418 (home)

Return to:

GREAT TREE SEARCH
School of Renewable Natural Resources
University of Arizona
Tucson, Arizona 85721
(602) 621-1004



FAN PALMS OF CALLE ENCANTO. View is to the east, across Plaza del Encanto and down Calle Encanto. Nineteen of the 113 fan palms along Calle Encanto are visible in this photo.



//// - vacant lot

FAN PALMS OF CALLE ENCANTO. The location of each of the 113 Mexican fan palms along Calle Encanto is marked on this map of El Encanto Estates.



1940 aerial view of El Encanto Estates,
looking due south. Fan palm plantings
line Calle Encanto, which is the major
East-West street in the subdivision.



APPENDIX C

Style Sort for Long and Short Forms

EL ENCANTO ESTATES RESIDENTIAL HISTORIC DISTRICT
Tucson, Arizona
1987

Contributing Structures — Sorted by Style

No.	Address	Style
84	55 E. Calle Encanto	Eclectic Revival
14	110 Calle Resplandor	Eclectic Revival
65	35 E. Calle Claravista	Eclectic Revival
160	85 N. Camino Espanol	Mission Revival
167	442 N. Country Club Road	Mission Revival
130	20 E. Calle Belleza	Modern with Spanish Colonial influence
128	30 E. Calle Belleza	Modern/Pueblo Revival
97	10 E. Calle Encanto	Pueblo Revival
13	90 Calle Resplandor	Pueblo Revival
41	90 E. Calle Primorosa	Pueblo Revival
71	50 E. Calle Claravista	Pueblo Revival
26	90 E. Calle Encanto	Pueblo Revival
74	20 E. Calle Claravista	Pueblo Revival
145	35 N. Camino Espanol	Pueblo Revival
60	140 N. Camino Espanol	Pueblo Revival
70	75 E. Calle Primorosa	Pueblo Revival
186	542 N. Country Club Road	Pueblo Revival
39	15 N. Calle Conquista	Pueblo Revival
56	3242 E. Fifth Street	Pueblo Revival (Santa Fe adobe)
33	20 N. Calle Conquista	Early Ranch
58	3228 E. Fifth Street	Early Ranch
63	25 E. Calle Claravista	Ranch
173	314 N. Country Club Road	Ranch with Bungalow influence
72	40 E. Calle Claravista	Sonoran
83	95 N. Camino Miramonte	Spanish Colonial Revival
10	30 N. Camino Miramonte	Spanish Colonial Revival
85	45 E. Plaza del Encanto	Spanish Colonial Revival
102	35 E. Calle Primorosa	Spanish Colonial Revival
171	342 N. Country Club Road	Spanish Colonial Revival
55	3256 E. Fifth Street	Spanish Colonial Revival
121	25 E. Calle Belleza	Spanish Colonial Revival
122	35 E. Calle Belleza	Spanish Colonial Revival
123	45 E. Calle Belleza	Spanish Colonial Revival
49	3342 E. Fifth Street	Spanish Colonial Revival
27	80 N. Camino Miramonte	Spanish Colonial Revival
111	70 E. Calle Encanto	Spanish Colonial Revival
24	100 E. Calle Encanto	Spanish Colonial Revival
88	10 E. Calle de Felicidad	Spanish Colonial Revival
103	40 E. Plaza del Encanto	Spanish Colonial Revival
138	3251 E. Broadway Blvd.	Spanish Colonial Revival
140	3263 E. Broadway Blvd.	Spanish Colonial Revival
23	25 N. Calle Mirasol	Spanish Colonial Revival
48	3356 E. Fifth Street	Spanish Colonial Revival
141	15 N. Camino Miramonte	Spanish Colonial Revival
166	10 E. Calle Corta	Spanish Colonial Revival

148	10 E. Calle Portal	Spanish Colonial Revival
16	30 N. Calle Mirasol	Spanish Colonial Revival
31	95 E. Calle Encanto	Spanish Colonial Revival
169	414 N. Country Club Road	Spanish Colonial Revival
183	145 N. Camino Espanol	Spanish Colonial Revival
149	142 N. Country Club Road	Spanish Colonial Revival
188	528 N. Country Club Road	Spanish Colonial Revival
67	55 E. Calle Claravista	Spanish Colonial Revival

El Encanto Estates Residential Historic District
Tucson, Arizona
1987

Noncontributing Structures -- Sorted by Style

No.	Address	Style
100	25 E. Calle Primorosa	Contemporary
181	139 N. Camino Espanol	Eclectic Revival
12	50 N. Camino Miramonte	Georgian Revival
66	45 E. Calle Claravista	Mission Revival
117	14 E. Calle de Amistad	Mission Revival
87	20 E. Calle de Felicidad	Mission Revival
54	3270 E. Fifth Street	Modern
69a	75 E. Calle Claravista	Modern
75	10 Calle Resplandor	Modern
81	60 E. Calle Primorosa	Modern
53	3284 E. Fifth Street	Modern
109	50 E. Calle Encanto	Modern
52	145 N. Camino Miramonte	Modern
76	5 E. Calle de Felicidad	Modern
45	85 E. Calle Primorosa	Modern
114	40 E. Calle de Amistad	Modern
98	60 N. Camino Espanol	Modern
110	60 E. Calle Encanto	Modern
120	15 E. Calle Belleza	Modern
61	132 N. Camino Espanol	Modern
176	15 E. Calle Portal	Modern
68	65 E. Calle Claravista	Modern
34	14 N. Calle Conquista	Modern
11	40 N. Camino Miramonte	Modern
158	75 N. Camino Espanol	Modern
92	98 N. Camino Espanol	Modern
94	83 N. Calle Resplandor	Modern
91	100 N. Camino Espanol	Modern
69b	135 N. Camino Miramonte	Modern
185	582-586 N. Country Club	Modern
124	55 E. Calle Belleza	Modern influenced by Santa Fe Adobe
86	30 E. Calle de Felicidad	Modern with Moorish detail
28	85 E. Calle Encanto	Modern with Spanish Colonial influence
35	100 N. Camino Miramonte	Neo-Colonial Revival
4	3339 E. Broadway Blvd.	Pueblo Revival
93	5 E. Calle Encanto	Pueblo Revival
179	15 E. Calle Corta	Pueblo Revival
44	130 N. Camino Miramonte	Pueblo Revival
95	15 E. Calle Encanto	Early Ranch
96	25 E. Plaza del Encanto	Early Ranch
37	110 N. Camino Miramonte	Modern Ranch
73	30 Calle Claravista	Ranch
19	60 N. Camino Miramonte	Ranch
172	328 N. Country Club Road	Ranch
17	20 N. Calle Mirasol	Ranch
175	228 N. Country Club Road	Ranch
21	15 N. Calle Mirasol	Ranch

1	16 N. Camino Miramonte	Ranch
79	65 E. Calle Primorosa	Ranch
112	75 N. Camino Miramonte	Ranch
59	5 E. Calle Claravista	Ranch
137	3239 E. Broadway Blvd.	Ranch
101	20 E. Calle Encanto	Ranch
156	65 N. Camino Espanol	Ranch
40	100 E. Calle Primorosa	Ranch
42	80 E. Calle Primorosa	Ranch
3	3327 E. Broadway Blvd.	Ranch
107	65 Calle Resplandor	Ranch
136	3227 E. Broadway Blvd.	Ranch
174	300 N. Country Club Road	Ranch
154	55 N. Camino Espanol	Ranch
6	105 Calle Resplandor	Ranch
8	95 Calle Resplandor	Ranch
113	55 N. Camino Miramonte	Ranch
51	140 N. Camino Miramonte	Ranch
119	10 E. Calle Primorosa	Ranch
161	95 N. Camino Espanol	Ranch
108	60 Calle Resplandor	Ranch
77	35 E. Calle de Felicidad	Ranch
125	75 Calle Resplandor	Ranch
165	20 E. Calle Corta	Ranch
132	30 N. Camino Espanol	Ranch
144	25 N. Camino Espanol	Ranch
106	25 E. Calle de Amistad	Ranch
134	12 N. Camino Espanol	Ranch
5	115 Calle Resplandor	Ranch
118	10 E. Calle de Amistad	Ranch
115	20 E. Calle de Amistad	Ranch
82	105 N. Camino Miramonte	Ranch
105	15 E. Calle de Amistad	Ranch
20	70 N. Camino Miramonte	Ranch
164	123 N. Camino Espanol	Ranch
189	5 E. Calle Corta	Ranch
162	109 N. Camino Espanol	Ranch with Bungalow influence
80	115 N. Camino Miramonte	Spanish Colonial Revival
147	45 N. Camino Espanol	Spanish Colonial Revival
99	50 N. Camino Espanol	Spanish Colonial Revival
126	50 E. Calle Belleza	Spanish Colonial Revival
89	35 E. Plaza del Encanto	Spanish Colonial Revival
151	128 N. Country Club Road	Spanish Colonial Revival
47	95 E. Calle Primorosa	Spanish Colonial Revival
180	135 N. Camino Espanol	Unknown

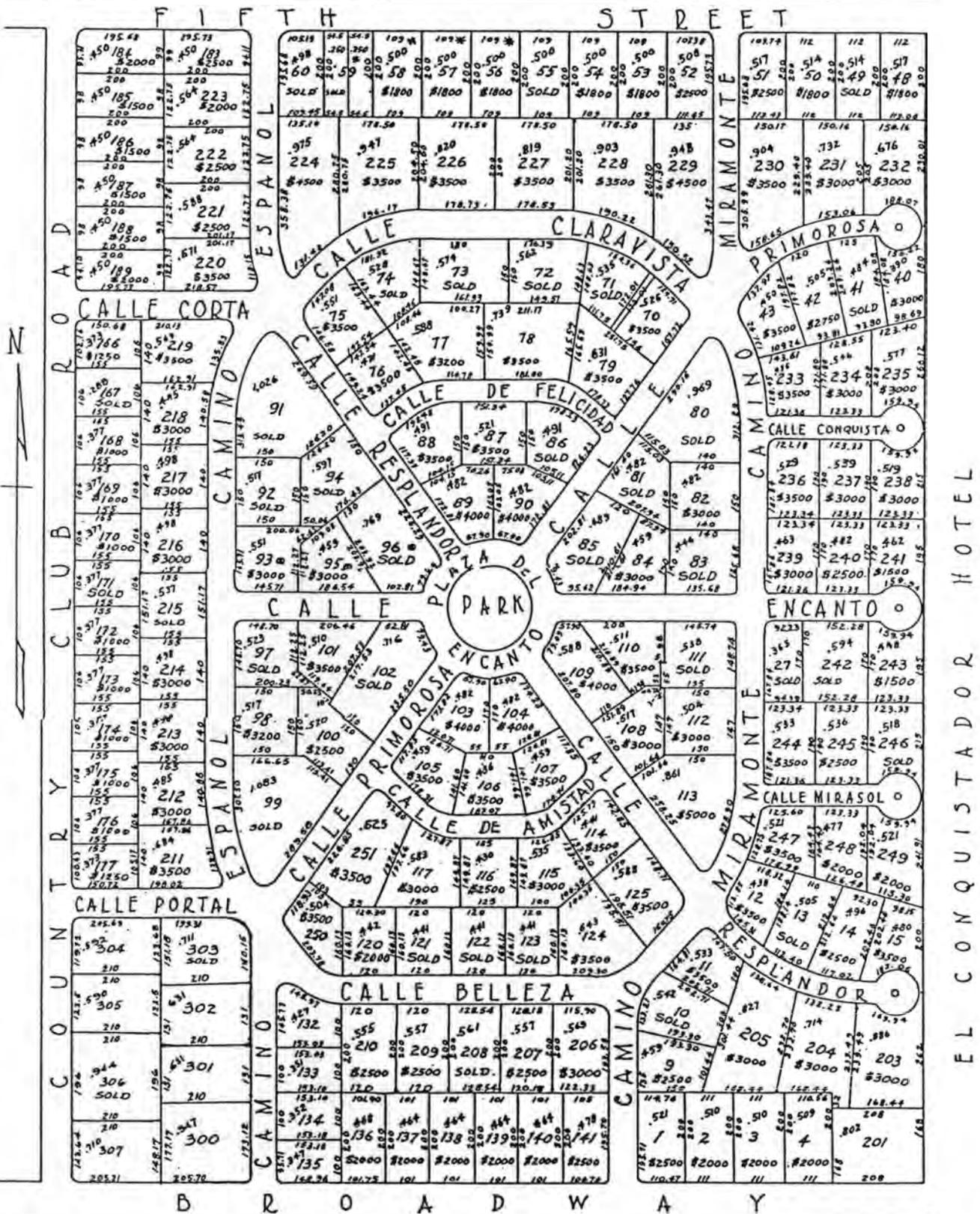
APPENDIX D

Dated subdivision map

EL ENCANTO ESTATES

SALES LIST No. 12, DEC. 29, 1932.

(All previous lists void)



Note: Lots Marked * Can be Enlarged. ⊙ Subject to additional charge for electric phone Service.

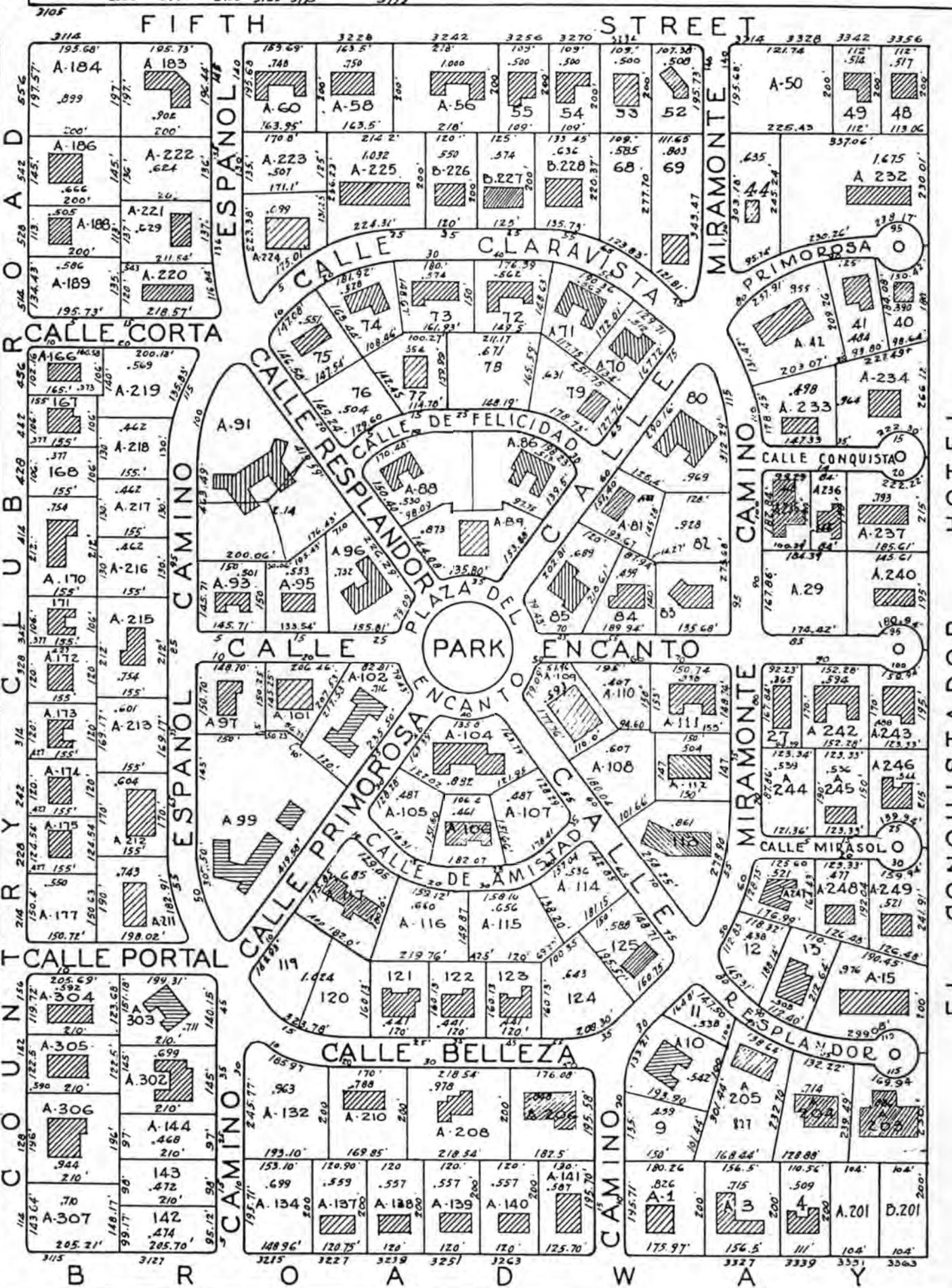
Cost and Value of Residence, inclusive of any separate or detached garage building, on each lot, shall be at least:

- \$8,000.00 on lots numbered 1, 2, 3, 4, 44, 45, 59, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 136, 137, 138, 139, 144, 141, 146, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 183, 184, 185, 186, 187, 188, 189, 201, 135, 304, 305, 306, 307
- \$10,000.00 on lots numbered 5, 10, 11, 12, 13, 14, 15, 27, 44, 41, 42, 43, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 2, 20, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 252, 133, 134, 300, 301, 302, 303.
- \$12,000.00 on lots numbered 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 259, 252, 120, 121, 122, 123, 124, 125.

EL ENCANTO ESTATES.

SALES LIST NO. 124 - JAN. 1, 1951
(ALL PREVIOUS LISTS VOID)

EL ENCANTO OFFICE
3135 3145 3155 3165 3175 3185



EL CONQUISTADOR HOTEL

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY NAME: El Encanto Estates Residential Historic District

MULTIPLE NAME:

STATE & COUNTY: ARIZONA, Pima

DATE RECEIVED: 8/23/93
DATE OF 16TH DAY:
DATE OF WEEKLY LIST:

DATE OF PENDING LIST:
DATE OF 45TH DAY: 10/07/93

REFERENCE NUMBER: 87002284

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: Y PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 9/16/93 DATE

ABSTRACT/SUMMARY COMMENTS:

The new documentation justifies the addition of eight properties as contributors to the historic district.

RECOM./CRITERIA Accept / acc
REVIEWER Antoinette Bee
DISCIPLINE History
DATE 9/16/93

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

CLASSIFICATION

count resource type

STATE/FEDERAL AGENCY CERTIFICATION

FUNCTION

historic current

DESCRIPTION

architectural classification
 materials
 descriptive text

SIGNIFICANCE

Period Areas of Significance--Check and justify below

Specific dates Builder/Architect
Statement of Significance (in one paragraph)

summary paragraph
 completeness
 clarity
 applicable criteria
 justification of areas checked
 relating significance to the resource
 context
 relationship of integrity to significance
 justification of exception
 other

BIBLIOGRAPHY

GEOGRAPHICAL DATA

acreage verbal boundary description
 UTMS boundary justification

ACCOMPANYING DOCUMENTATION/PRESENTATION

sketch maps USGS maps photographs presentation

OTHER COMMENTS

Questions concerning this nomination may be directed to

_____ Phone _____

Signed _____ Date _____

APPENDIX E

Architect Sort for Long and Short Forms

EL ENCANTO ESTATES RESIDENTIAL HISTORIC DISTRICT
Tucson, Arizona
1987

Contributing Structures -- Sorted by Architect

No.	Address	Architect/Builder
16	30 N. Calle Mirasol	Bailey & McCoy
24	100 E. Calle Encanto	Bailey & McCoy
26	90 E. Calle Encanto	Bailey & McCoy
31	95 E. Calle Encanto	Bailey & McCoy
48	3356 E. Fifth Street	Bailey & McCoy
60	140 N. Camino Espanol	Bailey & McCoy
67	55 E. Calle Claravista	Bailey & McCoy
70	75 E. Calle Primorosa	Bailey & McCoy
138	3251 E. Broadway Blvd.	Bailey & McCoy
140	3263 E. Broadway Blvd.	Bailey & McCoy
141	15 N. Camino Miramonte	Bailey & McCoy
145	35 N. Camino Espanol	Bailey & McCoy
169	414 N. Country Club Road	Bailey & McCoy
173	314 N. Country Club Road	Bailey & McCoy
183	145 N. Camino Espanol	Bailey & McCoy
188	528 N. Country Club Road	Bailey & McCoy
121	25 E. Calle Belleza	Carlucci, Joe (builder)
14	110 Calle Resplandor	Colcord, G.R.
97	10 E. Calle Encanto	Echols, G.B. (builder)
41	90 E. Calle Primorosa	Figge, H.E.A.
122	35 E. Calle Belleza	Joesler, Josias Thomas
123	45 E. Calle Belleza	Joesler, Josias Thomas
186	542 N. Country Club Road	Joesler, Josias Thomas
88	10 E. Calle de Felicidad	Kester, C.H.
83	95 N. Camino Miramonte	Macmillan, James
49	3342 E. Fifth Street	Moore, Cecil H.
58	3228 E. Fifth Street	Moore, Cecil H.
65	35 E. Calle Claravista	Moore, Cecil H.
166	10 E. Calle Corta	Moore, Cecil H.
10	30 N. Camino Miramonte	Sellers, William Albert
56	3242 E. Fifth Street	Shuster, William
63	25 E. Calle Claravista	Smith, John W.
130	20 E. Calle Belleza	Smith, John W.
13	90 Calle Resplandor	Starkweather, M.H.
23	25 N. Calle Mirasol	Starkweather, M.H.
33	20 N. Calle Conquista	Starkweather, M.H.
71	50 E. Calle Claravista	Starkweather, M.H.
85	45 E. Plaza del Encanto	Starkweather, M.H.
102	35 E. Calle Primorosa	Starkweather, M.H.
128	30 E. Calle Belleza	Starkweather, M.H.
171	342 N. Country Club Road	Starkweather, M.H.
84	55 E. Calle Encanto	Sundt-Weiner-Fink
27	80 N. Camino Miramonte	Trent, Thomas/Putter (bld)
55	3256 E. Fifth Street	Unknown
148	10 E. Calle Portal	Unknown

74	20 E. Calle Claravista	Unknown
103	40 E. Plaza del Encanto	Unknown
111	70 E. Calle Encanto	Unknown
160	85 N. Camino Espanol	Winchester, W.B.
167	442 N. Country Club Road	Winchester, W.B.
72	40 E. Calle Claravista	Winchester, W.B./ Putter,
39	15 N. Calle Conquista	Wolf, George J.
149	142 N. Country Club Road	Wolf, George J.

El Encanto Estates Residential Historic District
Tucson, Arizona
1987

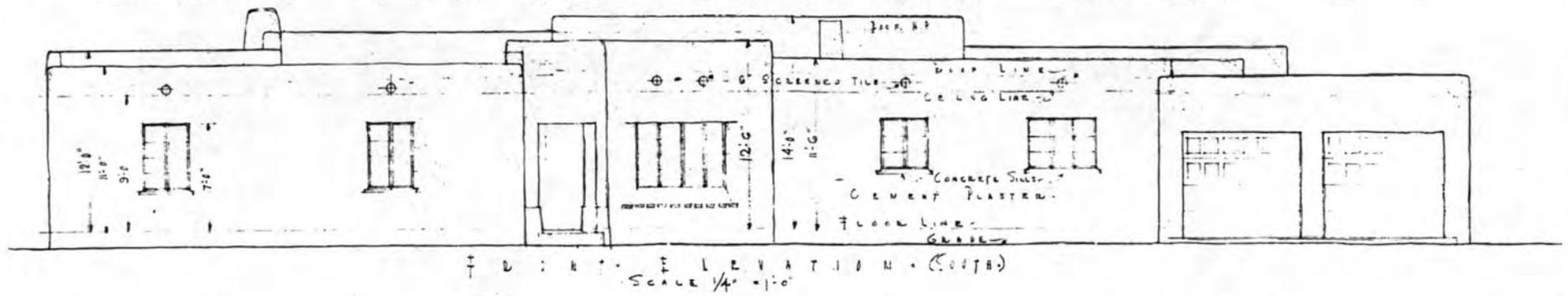
Noncontributing Structures -- Sorted by Architect

No.	Address	Architect
68	65 E. Calle Claravista	Atkinson, Terrance C.
40	100 E. Calle Primorosa	Bailey & McCoy
93	5 E. Calle Encanto	Bailey & McCoy
95	15 E. Calle Encanto	Bailey & McCoy
147	45 N. Camino Espanol	Bailey & McCoy
34	14 N. Calle Conquista	Blanton & Cole
21	15 N. Calle Mirasol	Brown, Arthur T.
51	140 N. Camino Miramonte	Brown, Arthur T.
69a	75 E. Calle Claravista	Brown, Arthur T.
179	15 E. Calle Corta	Brown, Arthur T.
44	130 N. Camino Miramonte	Brown, Arthur T./ R. Morse
19	60 N. Camino Miramonte	Brown, Saul H.
35	100 N. Camino Miramonte	Carr, William Hanns
42	80 E. Calle Primorosa	Carr, William Hanns
106	25 E. Calle de Amistad	Carr, William Hanns
119	10 E. Calle Primorosa	Carr, William Hanns
132	30 N. Camino Espanol	Carr, William Hanns
117	14 E. Calle de Amistad	Catalina Development
118	10 E. Calle de Amistad	Catalina Development
1	16 N. Camino Miramonte	Cole, Frederick P.
100	25 E. Calle Primorosa	Darton, Arthur
158	75 N. Camino Espanol	Darton, Arthur
12	50 N. Camino Miramonte	Du Bois, Burr D.
45	85 E. Calle Primorosa	Eastman, Frederick A.
76	5 E. Calle de Felicidad	Ellison, W.L.
161	95 N. Camino Espanol	Elsing, M.J.
20	70 N. Camino Miramonte	Embassy Homes
80	115 N. Camino Miramonte	Figge, H. E.A.
105	15 E. Calle de Amistad	Friedman & Jobusch
98	60 N. Camino Espanol	Friedman & Jobusch, RA
115	20 E. Calle de Amistad	Friedman, Bernard J.
154	55 N. Camino Espanol	Friedman, Bernard J.
110	60 E. Calle Encanto	Friedman, Bernie
92	98 N. Camino Espanol	Gresham & Larsen
94	83 N. Calle Resplendor	Gresham & Larsen
91	100 N. Camino Espanol	Gresham & Larson
134	12 N. Camino Espanol	Hastings, Russell
181	139 N. Camino Espanol	Herder Construction Co.
112	75 N. Camino Miramonte	Herrerias, E.D.
126	50 E. Calle Belleza	Jaastad & Knipe
3	3327 E. Broadway Blvd.	Joesler, Josias Thomas
75	10 Calle Resplendor	Joesler, Josias Thomas
96	25 E. Plaza del Encanto	Joesler/ Bailey & McCoy (bld)
137	3239 E. Broadway Blvd.	Knapp, A.J.
79	65 E. Calle Primorosa	Luepke, Gordon M.

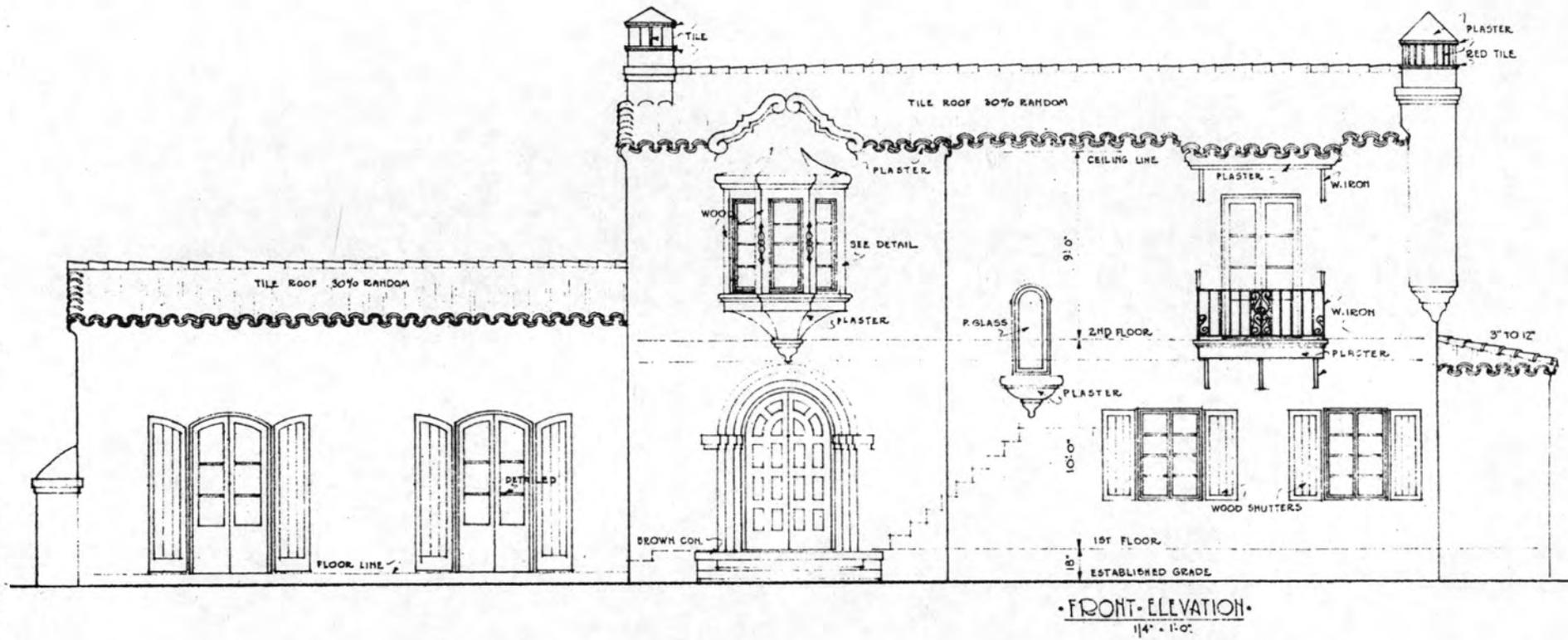
53	3284 E. Fifth Street	Nelson, Frank J.
5	115 Calle Resplandor	Rysdale, Anne J.
6	105 Calle Resplandor	Rysdale, Anne J.
8	95 Calle Resplandor	Rysdale, Anne J.
107	65 Calle Resplandor	Rysdale, Anne J.
113	55 N. Camino Miramonte	Rysdale, Anne J.
114	40 E. Calle de Amistad	Rysdale, Anne J.
136	3227 E. Broadway Blvd.	Rysdale, Anne J.
162	109 N. Camino Espanol	Rysdale, Anne J.
77	35 E. Calle de Felicidad	Scholer, Emerson C.
125	75 Calle Resplandor	Scholer, Emerson C.
175	228 N. Country Club Road	Smith, George Edson Philip
73	30 Calle Claravista	Smith, John W.
101	20 E. Calle Encanto	Smith, John W.
176	15 E. Calle Portal	Starkweather & Cain
28	85 E. Calle Encanto	Starkweather & Morse
37	110 N. Camino Miramonte	Starkweather & Morse
52	145 N. Camino Miramonte	Starkweather & Morse
109	50 E. Calle Encanto	Starkweather & Morse
47	95 E. Calle Primorosa	Starkweather, M.H.
86	30 E. Calle de Felicidad	Starkweather, M.H.
99	50 N. Camino Espanol	Starkweather, M.H.
4	3339 E. Broadway Blvd.	SW Construction (builder)
180	135 N. Camino Espanol	Swaim Associates, Ltd
11	40 N. Camino Miramonte	Unknown
17	20 N. Calle Mirasol	Unknown
54	3270 E. Fifth Street	Unknown
59	5 E. Calle Claravista	Unknown
61	132 N. Camino Espanol	Unknown
66	45 E. Calle Claravista	Unknown
69b	135 N. Camino Miramonte	Unknown
81	60 E. Calle Primorosa	Unknown
82	105 N. Camino Miramonte	Unknown
87	20 E. Calle de Felicidad	Unknown
89	35 E. Plaza del Encanto	Unknown
108	60 Calle Resplandor	Unknown
120	15 E. Calle Belleza	Unknown
124	55 E. Calle Belleza	Unknown
151	128 N. Country Club Road	Unknown
156	65 N. Camino Espanol	Unknown
164	123 N. Camino Espanol	Unknown
165	20 E. Calle Corta	Unknown
172	328 N. Country Club Road	Unknown
174	300 N. Country Club Road	Unknown
185	582-586 N. Country Club	Unknown
189	5 E. Calle Corta	Unknown
144	25 N. Camino Espanol	Young, William G.

APPENDIX F

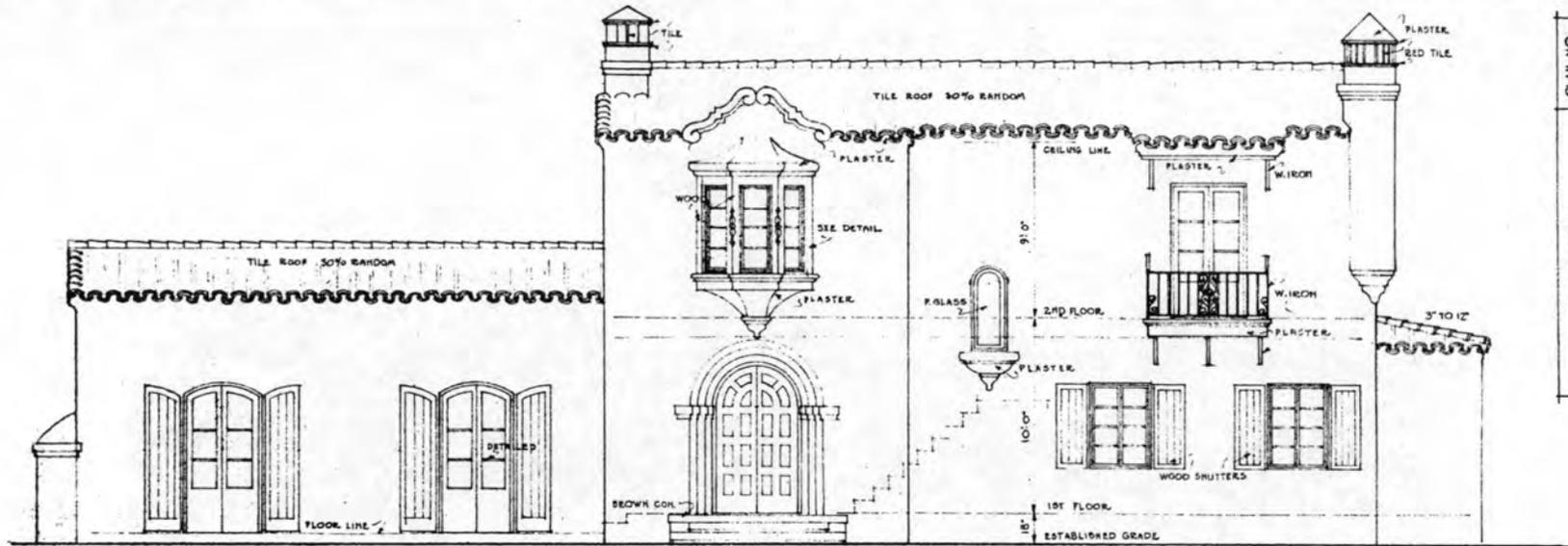
Early Aerial Photographs
Exemplary Photographs of Contributors and Noncontributors
Exemplary Blueprints of Residences



Blue print example #1 - Wilson Home, #93
 5 E. Calle Encanto

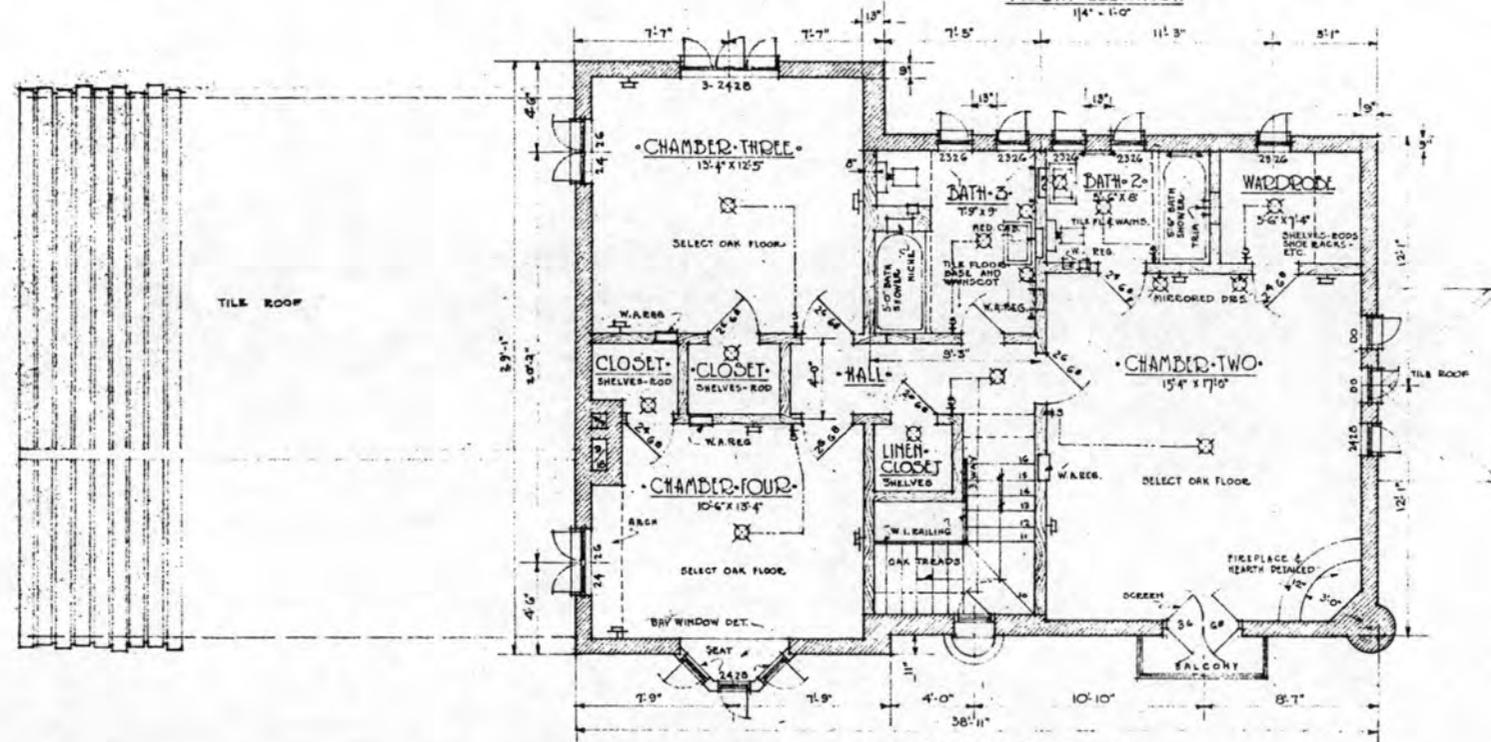


Blue print example #2 - Bledsoe Home, #160
 85 N. Camino Espanol



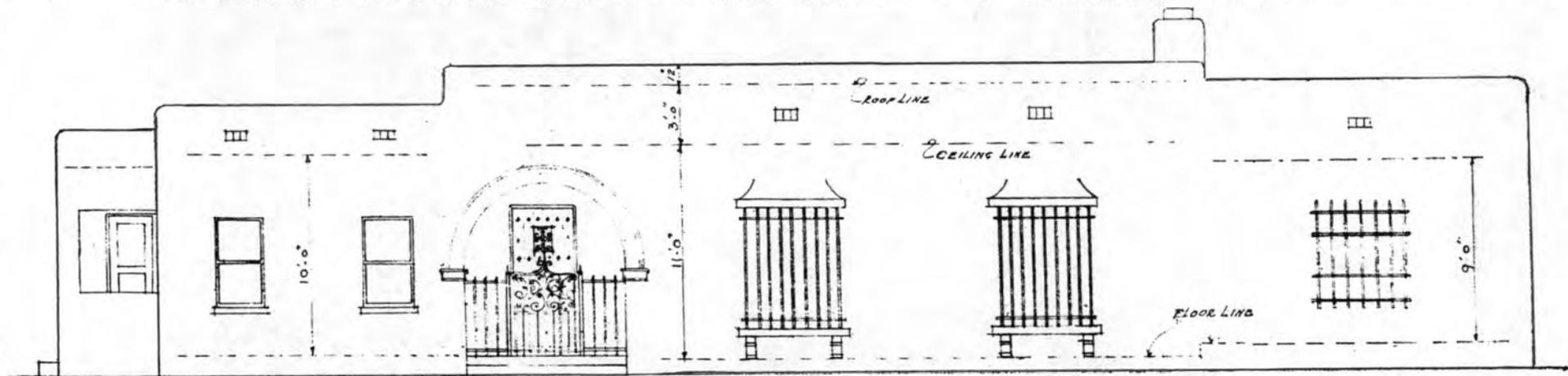
• FRONT ELEVATION •

PLAN NO. 1915A	RESIDENCE TUCSON, ARIZONA
SHEET NO. 3	MR. & MRS. LEONARD CARB OWYERS
DATE 10-2-15	W. B. WINCHESTER ARCHT. FLOOR PLAN CONSOLIDATED NO. 6



• SECOND FLOOR PLAN •

Blue print example #3 - Bledsoe Home, #160
85 N. Camino Espanol



FRONT ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$

Blue print example #4 - Young Home, #26
90 E. Calle Encanto

APPENDIX G

Date Sort for Long and Short Forms

EL ENCANTO ESTATES RESIDENTIAL HISTORIC DISTRICT
Tucson, Arizona
1987

Contributing Structures -- Sorted by Date

No.	Address	Date
97	10 E. Calle Encanto	1929
13	90 Calle Resplandor	1929
72	40 E. Calle Claravista	1929
83	95 N. Camino Miramonte	1929
10	30 N. Camino Miramonte	1929
85	45 E. Plaza del Encanto	1929
102	35 E. Calle Primorosa	1929
171	342 N. Country Club Road	1929
55	3256 E. Fifth Street	1929
41	90 E. Calle Primorosa	1930
71	50 E. Calle Claravista	1930
121	25 E. Calle Belleza	1930
122	35 E. Calle Belleza	1930
123	45 E. Calle Belleza	1930
49	3342 E. Fifth Street	1930
27	80 N. Camino Miramonte	1930
160	85 N. Camino Espanol	1931
26	90 E. Calle Encanto	1931
74	20 E. Calle Claravista	1931
167	442 N. Country Club Road	1932
128	30 E. Calle Belleza	1932
111	70 E. Calle Encanto	1932
145	35 N. Camino Espanol	1934
24	100 E. Calle Encanto	1934
88	10 E. Calle de Felicidad	1934
103	40 E. Plaza del Encanto	1934
60	140 N. Camino Espanol	1935
138	3251 E. Broadway Blvd.	1935
140	3263 E. Broadway Blvd.	1935
23	25 N. Calle Mirasol	1935
56	3242 E. Fifth Street	1936
48	3356 E. Fifth Street	1936
141	15 N. Camino Miramonte	1936
166	10 E. Calle Corta	1936
148	10 E. Calle Portal	1936
33	20 N. Calle Conquista	1937
84	55 E. Calle Encanto	1937
70	75 E. Calle Primorosa	1937
186	542 N. Country Club Road	1937
39	15 N. Calle Conquista	1937
16	30 N. Calle Mirasol	1937
31	95 E. Calle Encanto	1937
130	20 E. Calle Belleza	1938
173	314 N. Country Club Road	1938
169	414 N. Country Club Road	1938
183	145 N. Camino Espanol	1938

149	142 N. Country Club Road	1938
58	3228 E. Fifth Street	1939
188	528 N. Country Club Road	1939
14	110 Calle Resplandor	1940
67	55 E. Calle Claravista	1940
65	35 E. Calle Claravista	1941
63	25 E. Calle Claravista	1941

El Encanto Estates Residential Historic District
Tucson, Arizona
1987

Noncontributing Structures -- Sorted by Date

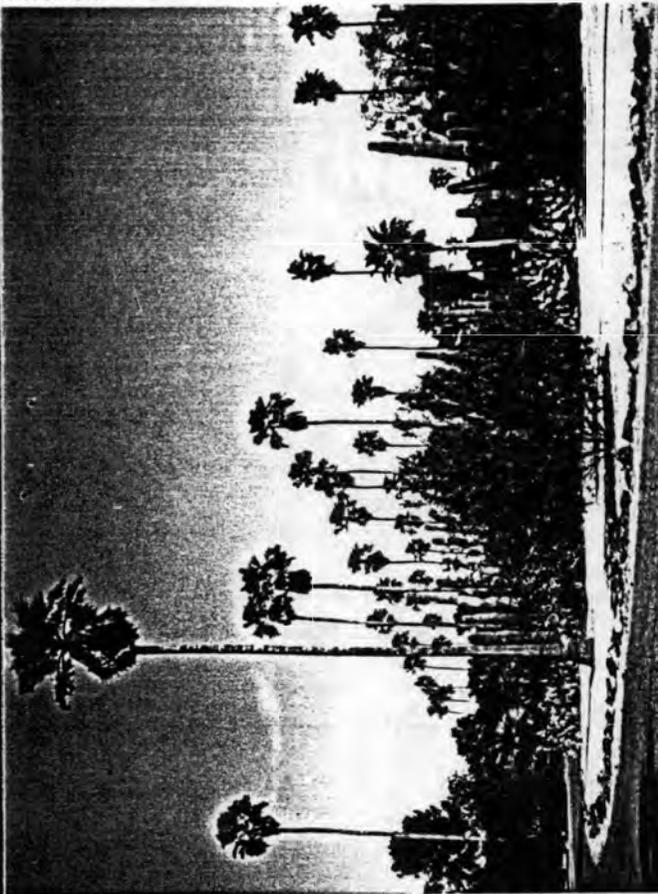
No.	Address	Date
151	128 N. Country Club Road	c. 1921
86	30 E. Calle de Felicidad	1929
80	115 N. Camino Miramonte	1930
73	30 Calle Claravista	1930
147	45 N. Camino Espanol	1932
99	50 N. Camino Espanol	1933
4	3339 E. Broadway Blvd.	1935
47	95 E. Calle Primorosa	c. 1936
93	5 E. Calle Encanto	1938
95	15 E. Calle Encanto	1938
54	3270 E. Fifth Street	1938
96	25 E. Plaza del Encanto	1939
179	15 E. Calle Corta	1941
19	60 N. Camino Miramonte	1941
172	328 N. Country Club Road	1941
44	130 N. Camino Miramonte	1942
17	20 N. Calle Mirasol	1945
69a	75 E. Calle Claravista	1946
175	228 N. Country Club Road	1946
21	15 N. Calle Mirasol	1947
1	16 N. Camino Miramonte	1947
75	10 Calle Resplandor	1947
79	65 E. Calle Primorosa	1947
37	110 N. Camino Miramonte	1947
81	60 E. Calle Primorosa	1947
112	75 N. Camino Miramonte	1948
53	3284 E. Fifth Street	1948
109	50 E. Calle Encanto	1948
59	5 E. Calle Claravista	1948
137	3239 E. Broadway Blvd.	1949
101	20 E. Calle Encanto	1949
156	65 N. Camino Espanol	1949
40	100 E. Calle Primorosa	1950
35	100 N. Camino Miramonte	1950
42	80 E. Calle Primorosa	1950
3	3327 E. Broadway Blvd.	1950
107	65 Calle Resplandor	1950
136	3227 E. Broadway Blvd.	1950
52	145 N. Camino Miramonte	1950
174	300 N. Country Club Road	1950
154	55 N. Camino Espanol	1951
126	50 E. Calle Belleza	1951
6	105 Calle Resplandor	1951
8	95 Calle Resplandor	1951
113	55 N. Camino Miramonte	1951

66	45 E. Calle Claravista	1951
51	140 N. Camino Miramonte	1952
119	10 E. Calle Primorosa	1952
161	95 N. Camino Espanol	1952
89	35 E. Plaza del Encanto	1952
108	60 Calle Resplendor	1952
76	5 E. Calle de Felicidad	1953
77	35 E. Calle de Felicidad	1953
125	75 Calle Resplendor	1953
28	85 E. Calle Encanto	1953
165	20 E. Calle Corta	1953
132	30 N. Camino Espanol	1954
45	85 E. Calle Primorosa	1954
114	40 E. Calle de Amistad	1954
144	25 N. Camino Espanol	1954
106	25 E. Calle de Amistad	1955
12	50 N. Camino Miramonte	1955
98	60 N. Camino Espanol	1955
110	60 E. Calle Encanto	1955
134	12 N. Camino Espanol	1955
5	115 Calle Resplendor	1955
120	15 E. Calle Belleza	1955
61	132 N. Camino Espanol	1956
118	10 E. Calle de Amistad	1956
115	20 E. Calle de Amistad	1956
176	15 E. Calle Portal	1956
82	105 N. Camino Miramonte	1957
105	15 E. Calle de Amistad	1957
68	65 E. Calle Claravista	1958
20	70 N. Camino Miramonte	1958
164	123 N. Camino Espanol	1959
162	109 N. Camino Espanol	1961
34	14 N. Calle Conquista	1962
181	139 N. Camino Espanol	1963
11	40 N. Camino Miramonte	1963
117	14 E. Calle de Amistad	1964
189	5 E. Calle Corta	1964
158	75 N. Camino Espanol	1966
87	20 E. Calle de Felicidad	1966
100	25 E. Calle Primorosa	1970
124	55 E. Calle Belleza	1977
92	98 N. Camino Espanol	1981
94	83 N. Calle Resplendor	1981
91	100 N. Camino Espanol	1981
69b	135 N. Camino Miramonte	1982
185	582-586 N. Country Club	1982
180	135 N. Camino Espanol	1987

EL ENCANTO ESTATES

CONTRIBUTING PROPERTIES

ARIZONA STATE HISTORIC PROPERTY INVENTORY

<p>SURVEY AREA NAME: <u>El Encanto Estates</u></p> <p>HISTORIC NAME: <u>El Encanto Estates circle</u></p> <p>LOCATION: <u>Central in district surrounded by Plaza del Encanto, a street</u></p> <p>CITY/TOWN: <u>Tucson</u></p> <p>TAX PARCEL: <u>n/a</u></p> <p>OWNER: <u>City of Tucson</u></p> <p>OWNER ADDRESS: _____</p> <p>HISTORIC USE: <u>Park</u></p> <p>PRESENT USE: <u>Park</u></p> <p>INTEGRITY: <u>Minor alterations</u></p> <p>CONDITION: <u>Excellent</u></p>	<p>COUNTY: <u>Pima</u> SURVEY SITE: <u>C-1</u></p> <p>USGS QUAD: <u>Tucson</u></p> <p>T <u>14s</u> R <u>14e</u> S <u>09</u> <u>NW/SW</u>¼ OF THE <u>SW</u> ¼</p> <p>UTM _____</p>
<p>FUNCTIONAL TYPE: <u>Park</u></p> <p>STRUCTURAL TYPE: <u>Park</u></p> <p>DESIGNER/BUILDER: <u>El Encanto Estates, Inc.</u></p> <p>CONSTRUCTION DATE: <u>1928</u></p> <p>MATERIALS: <u>Desert flora, scattered rocks, random rock border wall</u></p>	<p>PHOTO:</p> 
<p>ORNAMENT/FEATURES: <u>Random rocks scattered for ornamental effect, throughout park; rocks placed as border to street; flora landscaped in "idealistic" desert representation.</u></p> <p>ALTERATIONS: <u>Addition of desert plantings after 1928, nonthreatening to integrity</u></p>	<p>PHOTOGRAPHER: <u>Linda Laird & Associates</u></p> <p>DATE: <u>5/4/87</u> VIEW: <u>S, 3/4</u></p> <p>NEGATIVE NUMBER: <u>EEEN D-22</u></p> <p>SKETCH MAP:</p>

STRUCTURAL/SITE DESCRIPTION (annotated form): The El Encanto Estates circle which is centrally located in the district, has over-lush desert flora landscaped to represent an "idealistic" representation of natural desert vegetation, displayed in a formal park environment. The park contains excellent examples of mature desert flora, as well as containing the largest, cohesive collection of saguaro cacti in Tucson.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: LOCAL HISTORY/DEVELOPMENT xxx GOVERNMENT COMMEMORATIVE
HISTORIC ENGINEERING ARCHITECTURE OTHER

HISTORIC ASSOCIATIONS:

ARCHITECT/ENGINEER/CONTRACTOR Engineering Service Corp., Los Angeles
RELATIONSHIP TO LOCAL DEVELOPMENT Relates to development of formal landscaping in the City of Tucson
CULTURAL ASSOCIATIONS None
ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to the cohesion of the district as the terminus of mature palms lining each radiating street.
DISCUSS AS REQUIRED:

The El Encanto Estates circle is significant as it represents belief inspired by the "city beautiful" movement; a desire to utilize landscape and the surroundings to best advantage. The park is a cohesive entity to the district, whose landscaping is primarily formal. This park is one of the only central, circular parks which remains intact, and was formally planned as a part of an early subdivision. The collection of saguaro cacti in this park, rivals any other collection in Tucson.

CONTEXT: ISOLATED/RURAL RESIDENTIAL STREET xx COMMERCIAL CBD
CENTRAL SQUARE SIGNIFICANT SITE FEATURES

DISCUSS: Circular park located in the central portion of the El Encanto Estates Residential Historic District, acting as the terminus to palm trees which line east street, radiating out from this central park.

BIBLIOGRAPHY/SOURCES: Interview with Bill Barrow, July, 1987 & September, 1987; Adams, Thomas, The Design of Residential Areas: Basic Considerations, Principles, and Methods; Child, Stephen, Landscape Architecture; Sitte, Camillo, City Planning According to Artistic Principles; Child, Stephen, "Colonia Solona: A Subdivision on the Arizona Desert;" Barrow, Bill, "Historical Tucson," The Saguaro.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED DETERMINED ELIGIBLE DETERMINED NOT ELIGIBLE NOT EVALUATED

COMMENTS/THREATS: None current

SURVEYOR Linda Laird & Associates SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/16/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: Nail Home

ADDRESS/LOCATION: 30 N. Camino Miramonte

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-011 0.542 ACRE(S)

OWNER: Cracchiolo, Andrea & Carmelita

OWNER ADDRESS: 30 N. Camino Miramonte
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1929

ARCHITECT/BUILDER: Sellers, William Albert

INTEGRITY: Minor alterations

CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 10

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$

UTM _____

Description (contd.)

ROOF TYPE: Gable at front facade, flat..

ROOF SHEATHING: Ridged Mission tile

EAVES TREATMENT: Exposed rafters, attic vented with honeycomb screen & stacked..

WINDOWS: 1/1, DH, wood frame, some new metal CS, some fixed

ENTRY: Off-center with wood door with light, arched lintel, and metal screen

PORCHES: Recessed under main gable, with stuccoed posts

STOREFRONTS: Not Applicable

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Attached double garage

ALTERATIONS: Some windows replaced with metal bay, awnings added

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: SW, 3/4

NEGATIVE NUMBER: EEEN C-14

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 37 (w) 68

STRUCTURAL MATERIAL: Masonry

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Awnings, wrought iron grill work

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Roof type contd: with parapet at rear and exterior chimney. There is a raised side entrance with wrought iron rail and canopy cover. There is a circular driveway with well kept desert landscaped median. Vegetation is mature. There are several retaining walls which blend well with the residence. Eaves contd: Mission tile.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed by W.A. Sellers, RA and constructed by Claude Monier Construction Co. in 1929 for R.M. Nail

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed by W.A. Sellers, RA and constructed by the Claude Monier Construction Company in 1929 for R.M. Nail. According to Mr. Guerin's notes, this was the first home completed in El Encanto Estates, and the blueprints bear the penciled notation "Job No. 1". It is a good example of Spanish Colonial Revival Style in El Encanto. Mr. Nail and his wife, Elizabeth H. lived in this home until 1933, when the home was sold. No one else of historical significance is found in the home. Later residents were George Jay and his wife, Rose Ethel, who resided here from 1943-54. Jay was Pima County supervisor for many years. Later Calvin & Frances Webster lived here. Webster was city attorney for several years. Claude Monier was the son of Quintus, the first Tucson brick manf.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
 NATIONAL REGISTER STATUS: ___
 LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR Li&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 90 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-014 0.503 ACRE(S)
 OWNER: Bruce, Karon
 OWNER ADDRESS: 90 Calle Resplandor
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1929
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 13
 USGS QUAD: Tucson, AZ
T 14sR 14eS 09 / SE 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Stepped parapet, 28
finned metal canales
 WINDOWS: 2-2 wood casement, large arched
window at facade shaded by ramada
 ENTRY: Recessed, central with wood door
 PORCHES: Off-center with lattice work
roof that extends over carport
 STOREFRONTS: Not Applicable

DESCRIPTION

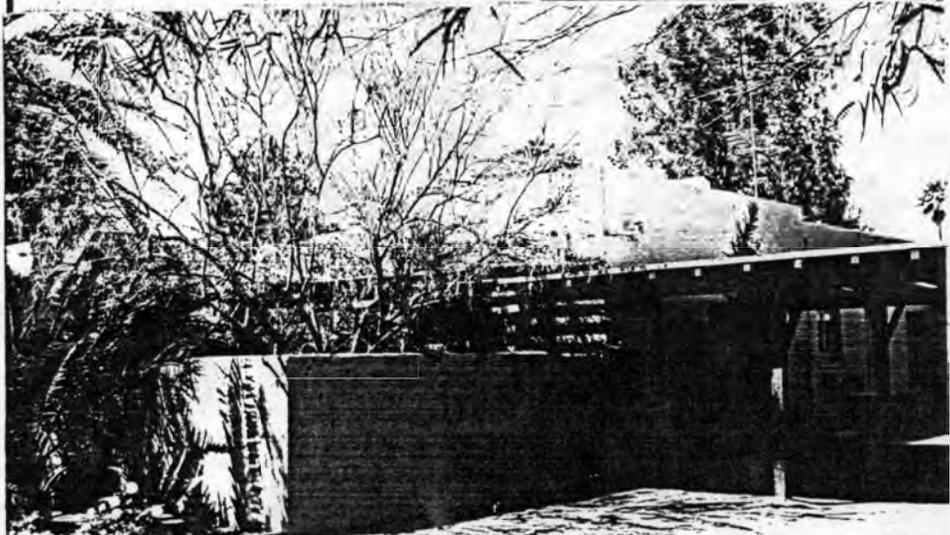
STORIES: 1 DIMENSIONS: (1) 77(w) 70
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco, exterior
plastered interior
 APPLIED ORNAMENT: Small ceramic tile around
front entry

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Wood frame attached carport
with low gable roof & exposed rafters
 ALTERATIONS: Front retaining wall (1958)
carport, conversion of garage to room

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: NE, FF
 NEGATIVE NUMBER: EEEN 1/10

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): The retaining wall is near 4 ft high with arched entry and wood gate, built 1958, stuccoed and encloses front and rear patios. Landscaping is natural desert. There is a curved driveway which leads to the front gate, with an additional curve to wood gate for car entry.

The attached photograph is the best possible photograph. Walling serves to hide the building at the facade.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed by M.H. Starkweather, for John Stanton Chapman (of unknown significance).

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Pueblo Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This Pueblo Revival style residence has many traditional design elements such as the canales, colorful tile accents in the front courtyard, and the bracketed, Mission tile shed roof that shades a portion of the patio. The home was designed by M.H. Starkweather, and the blueprints bear the penciled notation "Job No. 3," indicating this was one of the earliest homes in El Encanto Estates. Various owners lived here of unknown historical significance, including Walter Buckley, Robert Nicolai, and Maude Collingwood. A later owner was Henry W. and Elizabeth C. Murphy, parents of the present mayor of Tucson, Lew Murphy. They resided here from 1958 to around 1963.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR I&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Shoenhair Home #2
 ADDRESS/LOCATION: 110 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-016 0.976 ACRE(S)
 OWNER: Davies, George P. & Jean M.
 OWNER ADDRESS: 110 Calle Resplandor
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Eclectic Revival
 CONSTRUCTION DATE: 1940
 ARCHITECT/BUILDER: Colcord, G.R.
 INTEGRITY: Unaltered
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 14
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Low hipped with interior..
 ROOF SHEATHING: Wood shake sheathing
 EAVES TREATMENT: Projecting eaves, boxed ends
 WINDOWS: Metal double hung windows with decorative shutters
 ENTRY: Double leaf central entry with four light transom and three light..
 PORCHES: Recessed, open veranda on both stories with open wood rail at second..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (l) 45 (w) 50
 STRUCTURAL MATERIAL: Grey slump block
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Grey brick
 APPLIED ORNAMENT: Decorative wood shutters

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached garage with hip roof, vent at top, square & boxed louvres
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S. FF
 NEGATIVE NUMBER: EEEN 1/13

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: capped brick chimney. Entry contd: side lights. Porch contd: story and wood post supports on both stories. There is a large front lawn with walkway and two large mature trees at either corner of the home.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for T.K. Shoenhair, a prominent Tucson attorney

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1940 development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Eclectic Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to El Encanto

DISCUSSION AS REQUIRED: This home was built for T.K. Shoenhair, a prominent Tucson attorney, in 1940 by G.R. Colcord. This was Shoenhair's second home in El Encanto (see #27, 80 Camino Miramonte for his first home); T.K. Shoenhair and his wife, Martha L., lived in this home until the late 1950's. This home is one of only a few two-story residences in El Encanto. It is an exceptional contributor in that it is the only Eclectic Revival style home of this proportion. It utilizes a mixture of French Colonial and Western Colonial. There is a French Colonial veranda porch which is recessed under the main roof line, supported by continuing wood posts to both stories. This illustrates the shift to Revival Styles other than Spanish Colonial or Mission that occurred late in the period of significance (1928-1941).

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR D. & A. SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Levy Home
 ADDRESS/LOCATION: 30 N. Calle Mirasol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-017 0.521 ACRE(S)
 OWNER: Schelble, Jim & Billie
 OWNER ADDRESS: 30 N. Calle Mirasol
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: May, 1937
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 16
 USGS QUAD: Tucson, AZ
T 14sr 14es 09 / SE 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Parapet with caprow, circular tiled canales and rectangular..
 WINDOWS: Multi-paned metal casement, fixed
 ENTRY: Central, with wood door
 PORCHES: Open with shed roof with Mission tile sheathing, two wood posts,..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 83 (w) 49
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: None
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN A-33

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Eaves contd: wood louvre vent at pediment. Porch contd: and no rail. This residence has a large front lawn and mature shrubs surrounding the house.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Aaron Levy, member of the pioneer Arizona family and president of Levy's Department Store.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT: Modest example of Spanish Colonial Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes to the historic fabric of neighborhood

DISCUSSION AS REQUIRED: This modest home of Spanish Colonial Revival style has a prominent brick cap on a high parapet. It was designed in May, 1937, by Bailey & McCoy for Aaron Levy. Aaron was born in Douglas in April 30, 1904, to Jacob "Jake" and Mammie Levy. About the time of Aaron's birth, Jacob Levy was joined by his brother, Ben, and the two formed the Levy Brothers Dry Good Co. in Douglas. Aaron attended Montclair Academy in New Jersey and then graduated from the University of Arizona. He became president of Levy's of Tucson in 1946, and remained president until his death on April 21, 1958. He lived here from 1937 until 1958.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LI&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Herndon Home
 ADDRESS/LOCATION: 25 N. Calle Mirasol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-022 0.544 ACRE(S)
 OWNER: Ollason, Lawrence & Marcia
 OWNER ADDRESS: 25 N. Calle Mirasol
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1935
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Minor alterations
 CONDITION: Excellent

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 54 (w) 85
 STRUCTURAL MATERIAL: Masonry
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Inlaid tile in facade wall,
corbeled window shades

SKETCH MAP: See Final Map

COUNTY: Pima SURVEY SITE: 23
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM

Description (contd.)

ROOF TYPE: Flat, capped interior chimney
 ROOF SHEATHING: Rolled asphalt

EAVES TREATMENT: Parapet with two course high corbeled adobe cap

WINDOWS: 1-1 metal casement, with projecting canopies with Mission tile..

ENTRY: Recessed, off-center with wood door

PORCHES: Shed roof with Mission tile sheathing, exposed rafters, wood posts

STOREFRONTS: Not Applicable

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Attached carport of masonry with caprow

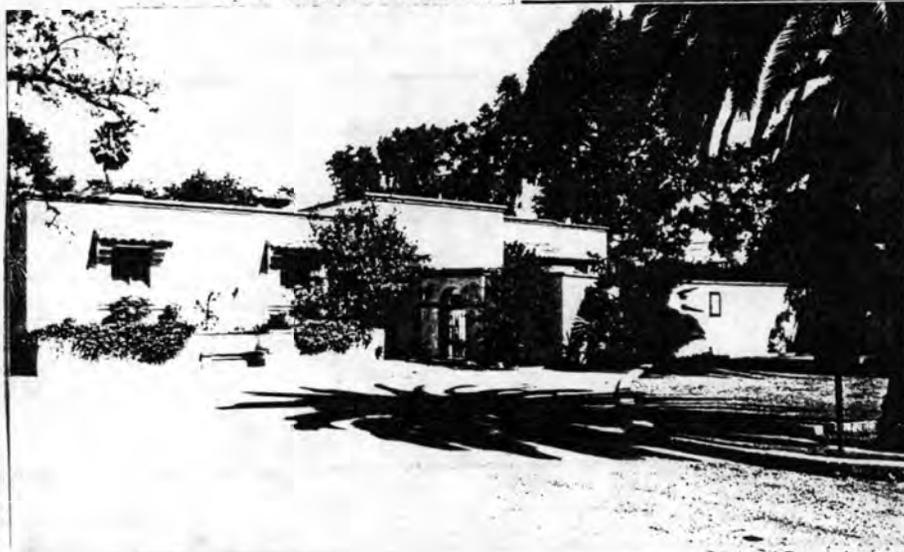
ALTERATIONS: Sensitive east wing extended 1951, courtyard & wall added 1964

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: NE, 3/4

NEGATIVE NUMBER: EEEN 1/4



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): The front patio has a 6 ft retaining wall with adobe cap. There is a segmental arched opening to the carport and wrought iron gates as well as a semi-circular arched pedestrian entry with wrought iron grill gate and lights to either side. There is a three foot planter at facade. There is a curved driveway leading to the front entry with a bricked in front lawn and mature vegetation. Windows contd: sheathing.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance except J.P. Herndon is found at this home. Herndon was manager of the Industrial Comm.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed for J.P. Herndon by M.H. Starkweather, RA in 1935. The Spanish Colonial design is enhanced by the bracked, tile-capped hoods over the windows on the south side of the building, the rounded parapet, and the, more recent, high front courtyard wall, with its gracefully arched entry & elaborate, wrought iron gates. The design conveys an exceptionally strong feeling of privacy, something many residents desired when considering designs for their homes in El Encanto. This was the residence of J. Prugh and Ellen B. Herndon from 1935 to 1938. J.P. was son of the pioneer Arizonan, Reverand Frazier S. Herndon, a missionary for the Papago Indian Reservation. J.P. was commander of the "AZ bush-masters," manager of the Industrial Commission, receipt of many military awards.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS: ___
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LI&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Siddal Home #1
 ADDRESS/LOCATION: 100 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-023 0.488 ACRE(S)
 OWNER: Spark, Ronald P. & Marcia
 OWNER ADDRESS: 100 E. Calle Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1934
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 24
 USGS QUAD: Tucson, AZ
 T 14sR 14eS 09 / SE 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Unknown
 EAVES TREATMENT: Parapet
 WINDOWS: Metal casement
 ENTRY: Off-center, in tower with panel
wood door
 PORCHES: Tower with hipped roof with
capped Mission tile sheathing and..
 STOREFRONTS: Not Applicable

DESCRIPTION

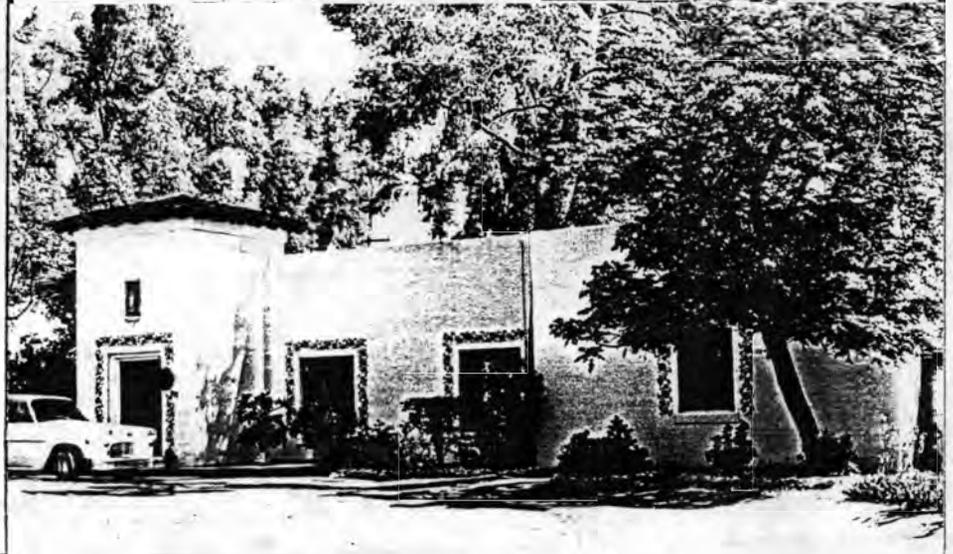
STORIES: 1 DIMENSIONS: (1) 68(w) 78
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Floral design surrounds
windows and doors, Virgin Mary statue above

NOTABLE INTERIOR: Scored concrete floors,
grand, high ceiling living room, wood..
 OUTBUILDINGS: Detached garage & stuccoed
guest house
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / II&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: FEEN C 20

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Appl Orn contd: entry. Porch contd: exposed rafters. There is a rear wall with piers and corbeled masonry cap at corners, a circular driveway with lawned median and mature palm trees. All foliage is well kept and mature. Interior contd: beamed Arizona room, three fireplaces. Ramps on the exterior walkways were designed for Mrs. Siddal, who was confined to a wheelchair.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE COMMUNITY PLANNING ECONOMICS
 EXPLORATION/SETTLEMENT GOVERNMENTAL MILITARY RELIGION SCIENCE
 THEATRE TRANSPORTATION TOURISM OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Jean Siddall, widow of the former managing editor of the American Magazine. Later residence of V.S. Hostetter
 RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto
 CULTURAL AFFILIATIONS None
 ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence
 MAJOR ARCH. FORM/MATERIAL None
 ENGINEERING/STRUCTURAL None
 DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This Spanish Colonial Revival Style residence incorporates a striking Mission style tower in a design that was built in 1934 by Bailey & McCoy for Jean Siddall, the widow of John M. Siddall, managing editor of the American Magazine. In 1938, Mrs. Siddall built a smaller home nearby (#169) and this home became the residence of V.S. (John) Hostetter, a member of the Arizona House from 1946 until his retirement in 1960. Robert Dole, a U.S. Senator from Kansas, reportedly lived in the guest house, while attending law school at the UofA in the late 1940's. It was also the home of Dr. Robert Johnson, a prominent Tucson physician, from 1960 to 1969.

CONTEXT: ISOLATED/RURAL RESIDENTIAL STREET xxx COMMERCIAL CENTRAL SQUARE
 CBD: OTHER:

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
 NATIONAL REGISTER STATUS:
 LISTED DETERMINED ELIGIBLE DETERMINED NOT ELIGIBLE NOT EVALUATED

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: Young Home

ADDRESS/LOCATION: 90 E. Calle Encanto

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-024 0.594 ACRE(S)

OWNER: Gay, Lloyd W. & Marina B.

OWNER ADDRESS: 90 E. Calle Encanto
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Pueblo Revival

CONSTRUCTION DATE: 1931

ARCHITECT/BUILDER: Bailey & McCoy

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Pima SURVEY SITE: 26

USGS QUAD: Tucson, AZ

T 14sR 14eS 09 / SE 1/4 OF THE SW 1/4

UTM _____

Description (contd.)

ROOF TYPE: Flat

ROOF SHEATHING: Built-up

EAVES TREATMENT: Parapet, canales

WINDOWS: 1/1 DH, wood frame, some with stuccoed hip roofed hoods

ENTRY: Central with solid wood door

PORCHES: Recessed, arched with engaged piers, and back porch with ceramic tile

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 74(w) 70

STRUCTURAL MATERIAL: Double brick with air gap

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Wrought iron grill work on windows

NOTABLE INTERIOR: Many historic features intact, including mexican tile flooring

OUTBUILDINGS: Attached, stuccoed, two car garage, toward rear

ALTERATIONS: None

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / JJ&A

DATE: July, 1987 VIEW: S, 3/4

NEGATIVE NUMBER: EEEN C-18

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Porch contd: shed roof. The house is in a U shape with central court yard. There is a circular driveway with a grassy median and mature, sparse shrubbery. Interior contd: scored, terra cotta concrete flooring in Arizona room, hardwood floors, ceiling beams and mahogany trim.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for William J. Young, a leading figure in southwestern mining, and owner of the Courtland Mine near Tombstone

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Pueblo Revival Style residence in El Encanto Estates

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This Pueblo Revival style home contains much handwork and yet maintains an attractive simplicity. The home was built for William J. Young by Bailey & McCoy for a sum of \$12,000. M.H. Starkweather was the supervising architect. William Young was a leading figure in southwestern mining around the turn of the century. He founded the Courtland Mine near Tombstone which produced over \$1,000,000 worth of copper. Young died in Tucson in 1935, and his widow, Edythe C., remained in the home a short while before moving into a smaller home outside the El Encanto Estates district. A later resident, Henry G. Moore, lived here (1955-1974). Moore was a prominent Tucson businessman, and partner in Terrazas, Pina & Moore, Inc., an industrial supply firm.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Shoenhair Home #1
 ADDRESS/LOCATION: 80 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-025 / 0.365 ACRE(S)
 OWNER: Dahlberg, Henry E.
 OWNER ADDRESS: PO Box 1270
Tucson, Arizona 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: May, 1930
 ARCHITECT/BUILDER: Trent, Thomas/Putter (bld)
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 27
 USGS QUAD: Tucson, AZ
 T 14^{SR} 14^{ES} 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM

Description (contd.)

ROOF TYPE: Low gable, interior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters, tile triangular vents at pediment
 WINDOWS: 1-1 and multi-pane metal casement
 ENTRY: Off-center with wood door
 PORCHES: Recessed with two wood posts, no rail, and brick flooring
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 11^{pw} 32
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Mahogany trim
 OUTBUILDINGS: Attached, stuccoed 2 car garage
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: NE, FF
 NEGATIVE NUMBER: EEEN 3/11

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a large front lawn with low brick running wall, shrubs are mature and there are large trees surrounding the property.

The home was designed by Thomas Trent, RA, and constructed by Frank Putter a well known Tucson builder.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for T.K. Shoenhair, a prominent Tucson attorney, as his first home in El Encanto (#14 for his second home).

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to architecturally to the neighborhood

DISCUSSION AS REQUIRED: This home was designed for T.K. Shoenhair, a prominent Tucson attorney (Bilby, Shoenhair, PC.), by Thomas Trent. The blueprints are dated May, 1930. This is a beautifully designed Spanish Colonial Revival Style residence, with many fine details, such as the extensive use of exposed wood beams, wrought iron grill work, and mahogany trim in the interior. T.K. Shoenhair constructed another home in El Encanto (#14) and sold this one to Henry E. and Virginia L. Dahlberg, around 1940. Henry Dahlberg was a "local investment advisor," a general partner in the N.Y. Stock Exchange firm of J.A. Hogle, Co., an organizer of Tucson Better Business Bureau, director and president of the National Asthmatic Foundation for Children, and Jr. Achievement and received prestigious awards for community service.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LI&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Robinson Home
 ADDRESS/LOCATION: 95 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-027a / 0.651 ACRE(S)
 OWNER: Burk, A. Davis & Suzanne M.
 OWNER ADDRESS: 95 E. Calle Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Sept, 1937
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 31
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Low L-shaped gable with low..
 ROOF SHEATHING: Red barrel-tile
 EAVES TREATMENT: Projecting eaves
 WINDOWS: Metal 4-4 casement
 ENTRY: Recessed with semi-circular arch
 PORCHES: Rear patio with guest house and pool
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 75 (w) 45
 STRUCTURAL MATERIAL: 13" double brick with air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted white, stuccoed at base
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Guest house, attached low gable roofed garage
 ALTERATIONS: Rear guest house and pool added

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 3/1

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: hip projections, interior chimney and single exterior chimney. Vegetation consists of a large lawn, sculptured shrubs at foundation, and large, mature palm trees which line the front property line.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for H.L. McCoy, partner in Bailey & McCoy, and designers/builders for 20 homes in El Encanto

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of simple Spanish Colonial Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to El Encanto

DISCUSSION AS REQUIRED: This home was built for H.L. McCoy in 1937. It was designed and built by Bailey & McCoy. It is a good example of Spanish Colonial Revival with many contemporary elements such as the long, low and capped tile roof. H.L. McCoy was partner in Bailey & McCoy, designers/builders for twenty homes in El Encanto. This home later became the residence of Douglas Robinson, assistant secretary of the Navy from 1924-29. He inherited the Henderson House, an ancestral castle in Mohawk Valley, NY, was founder of the Pacific Flying School in 1941, and owned the Circle Z and Flying R ranches.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Heineman Home
 ADDRESS/LOCATION: 20 N. Calle Conquista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-028 0.793 ACRE(S)
 OWNER: Heineman, Kathryn M.
 OWNER ADDRESS: 20 N. Calle Conquista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Early Ranch
 CONSTRUCTION DATE: 1937
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 33
 USGS QUAD: Tucson, AZ
 T 14SR 14ES 09 / NE 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Low gable roof, 2 interior..
 ROOF SHEATHING: Asphalt shingle
 EAVES TREATMENT: Exposed rafters, brick belt course at parapet
 WINDOWS: Metal casement
 ENTRY: Recessed, off-center with wood door and decorative shutters at sides
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 80(w) 45
 STRUCTURAL MATERIAL: Buff colored brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Exposed brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Wood frame carport
 ALTERATIONS: New planters, wall, front patio and vegetation added 1987

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN C-23

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form)

Roof type contd: chimneys.
 There is a brick walkway and patio, a new stuccoed wall and planters added in 1987. The original design of the home included a water-coal cooling tower, whose design preceeded the evaporative coolers that are so common in Arizona today.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Robert E. and Kathryn Heineman.

Robert Heineman was geologist for the AZ Bureau of Mines

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Early Ranch Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This home was designed in 1937 by M.H. Starkweather. It was the home of Robert E. and Kathryn Heineman. Robert Heineman came to AZ from Detroit in 1920. He was a graduate of Tucson High. His first job out of school was as track laborer in Jerome for the United Verde Copper Co. After working for the UV for several years, he returned to school and received a BS in mining engineering in 1926 and a MS in 1927. He worked as assistant geologist for the AZ Bureau of Mines, receiving an award for 50 years service from the AIME, was a fellow of the AAAS, member of the City's Planning & Zoning Commission (chairman 1964-69). Robert Heineman died 12/11/76. This building illustrates the shift toward Ranch Styles that occurred late in the period of significance.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
 NATIONAL REGISTER STATUS: ___
 LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 15 N. Calle Conquista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-032 0.064 ACRE(S)
 OWNER: Bierny-Tanz, Jean-Paul & Chris
 OWNER ADDRESS: 15 N. Calle Conquista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: May, 1937
 ARCHITECT/BUILDER: Wolf, George J.
 INTEGRITY: Major alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 39
 USGS QUAD: Tucson, AZ
T14s R14e S09 /NE 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Rounded parapet, canales
 WINDOWS: 4-4 metal casement, wood lintel and lug sill
 ENTRY: Central, with wood screen door and wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

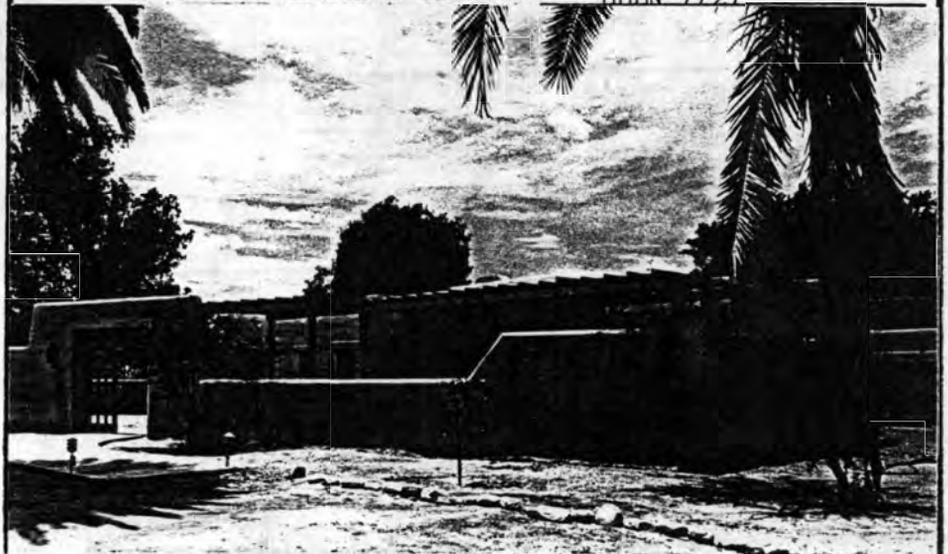
STORIES: 1 DIMENSIONS: (1)77 (w) 50
 STRUCTURAL MATERIAL: 12" adobe
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Many historic interior features remain intact; beamed ceilings
 OUTBUILDINGS: Attached, stuccoed garage with tapered parapet, wood frame carport
 ALTERATIONS: Facade window added, windows replaced with hand carved casement, ...

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN 7/27

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form) Two wood lattice work pergolas in front courtyard. The retaining wall is tapered and raised at entry with double wood lattice doors. Vegetation is a mixture of mature trees and new desert landscaping. Alterations contd: and one removed and infilled, pergola added, new added to match original, sensitive landscaping and wall added 1985. Alterations are compatible and except for the windows and vigas, are reversible.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) This home was designed in May, 1937 by George Wolf for Walter R. Ryan (unknown significance)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Fine example of Pueblo Revival Style residence

MAJOR ARCH. FORM/MATERIAL Adobe

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to El Encanto Estates

DISCUSSION AS REQUIRED: This is a fine example of southwestern adobe architecture. It exhibits the massiveness of Pueblo Revival, but the traditional, protruding vigas have been removed due to deterioration. The home was designed by George Wolf, RA for Walter R. and Martha Ryan (nothing is known about them). It is one of only a few homes constructed of adobe in El Encanto. The alterations do not detract from the original intent of the design, and were done by Suzanne Holman an architect. The pergola is reversible attached only by pins. Window alterations are in keeping with the original intent of the design, and are handcarved wood casement.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 90 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-034 0/434 ACRE(S)
 OWNER: Dretler, James P.
 OWNER ADDRESS: 90 E. Calle Primorosa
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Figge, H.E.A.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 41
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NE 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Parapet with vents
 WINDOWS: Metal casement, fixed
 ENTRY: Recessed, wood door with plain trim and light
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 50 (w) 50
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: None
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: SE, 3/4
 NEGATIVE NUMBER: REEN B-9a

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a second story balcony at the north side with wood supports. The landscaping is lush and mature.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) This home was designed by H.E. A. Figge, RA, for the Walkey Family (unknown significance)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to 1930's development in El Encanto Estates

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Pueblo Revival Style two-story residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to El Encanto Estates

DISCUSSION AS REQUIRED: This home, constructed in the early 1930's, was designed by H.E. A. Figge for Raymond L. Walkey (unknown historical significance). It is a fine example of Pueblo Revival Style two story residence. There is the typical irregularly stuccoed textures, rounded parapet, simple, non-silled windows and thick masonry walls of the Pueblo Revival Style. The blue-prints show an early solar heater with the hotwater tank concealed in a false chimney.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Starns Home
 ADDRESS/LOCATION: 3356 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-040a / 0.517 ACRE(S)
 OWNER: Cox, Milo L. & Thelma A.
 OWNER ADDRESS: 3356 E. Fifth Street
Tucson, Arizona 85716

HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: June, 1936
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Sensitive facade alterations
 CONDITION: Good

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 54 (w) 68
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work, lights

SKETCH MAP: See Final Map

COUNTY: Pima SURVEY SITE: 48
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM

Description (contd.)

ROOF TYPE: Multi-medium gable
 ROOF SHEATHING: Ridged Mission tile
 EAVES TREATMENT: Projecting eaves, round tiled vents with wrought iron grill work
 WINDOWS: Fixed, metal casement
 ENTRY: Recessed under arched porch with solid mahogany wood door with square..
 PORCHES: Recessed under main roof line, arched veranda, no rail
 STOREFRONTS: Not Applicable

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached carport with arched opening and Mission tile roof
 ALTERATIONS: Trellis added with half wall, carport converted to guest house..

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 1/29



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Entry contd: light. Alter contd: enclosing the back porch to make a sun room in the process.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Dr. Charles E. Starns, president of the county and state Medical Society and doctor at the Tucson V.A. hospital

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is a striking example of a Spanish Colonial Style residence with a broken roof line of tile and two arched fix, paned windows. There is the typical arcaded veranda porch and circular vents at gable ends. The projecting front wing has a magnificent plate glass window, deeply recessed into an elaborate arch of Spanish Style. This was the home of Dr. Charles E. and Bessie Z. Starns from 1936 to 1943. Dr. Starns was president of the county and state Medical Society, connected with medicine at the Veterans Administration in Prescott from 1923 until his move to Tucson in 1935. When Starns arrived in Tucson he worked for the Veterans Administration of Tucson and after several years retired to go into private practice.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Solve Home
 ADDRESS/LOCATION: 3342 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-041a 0.514 ACRE(S)
 OWNER: Krueger, George O. & Joanne M.
 OWNER ADDRESS: 3342 E. Fifth Street
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Moore, Cecil H.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 49
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Flat, gable on second story..
 ROOF SHEATHING: Rolled asphalt, Mission tile on second story
 EAVES TREATMENT: Parapet, rectangular vents
 WINDOWS: Metal casement, lug sills
 ENTRY: Arched with wood door
 PORCHES: None at facade, balcony at 2nd story side with iron railing, and wood..
 STOREFRONTS: Not Applicable

DESCRIPTION

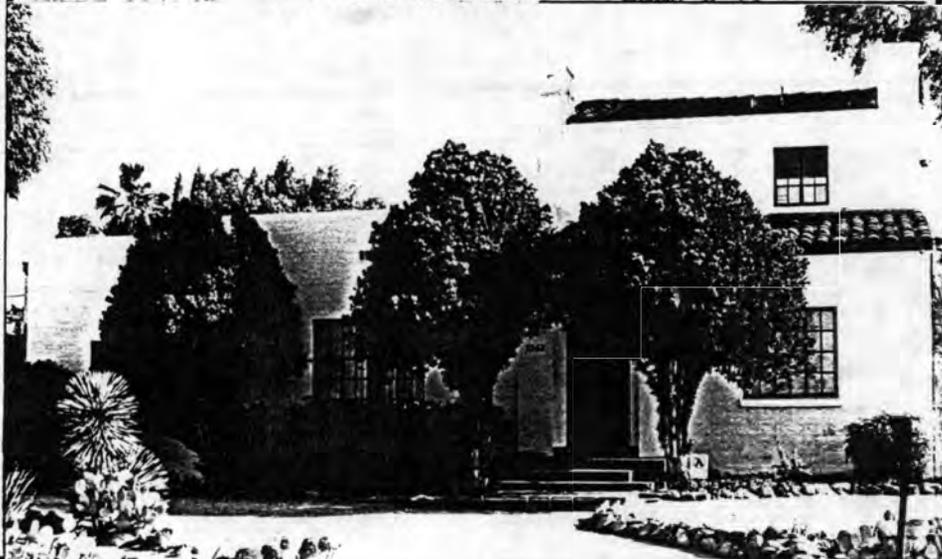
STORIES: 2 DIMENSIONS: (l) 67 (w) 31
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Original details intact including elaborate wrought iron work..
 OUTBUILDINGS: Attached garage with trellis
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN B-11

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: with two interior chimneys. There is a circular driveway with desert landscaped median. Mature shrubbery surrounds residence. Several large trees are also on the lot. Porch contd: railing at rear, rear screened in porch. Interior contd: interior stairway.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Melvin T. and Marna Dobie Solve, both English professors at the University of Arizona

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to 1930's development in El Encanto Estates

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed for Melvin T. Solve by Cecil H. Moore, RA. circa 1930 (per tax records). It is a smaller example of Spanish Colonial Revival Style in El Encanto. It is one of a small number of two-story homes in the El Encanto neighborhood. The heavy growth of desert plantings is an especially suitable landscape theme for this home. This was the home of Melvin T. and Marna Dobie Solve from 1930 to 1956. The Solves were both English professors at the University of Arizona, where Melvin was department head. Marna Dobie was author of a text book and a book entitled "Shelley: His Theory of Poetry."

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: None

ADDRESS/LOCATION: 3256 E. Fifth Street

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-047 0.500 ACRE(S)

OWNER: O'Malley, Jeanette M.

OWNER ADDRESS: 3256 E. Fifth Street
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1929

ARCHITECT/BUILDER: Unknown

INTEGRITY: Minor alterations

CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 55

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4

UTM _____

Description (contd.)

ROOF TYPE: Flat

ROOF SHEATHING: Tile, built-up

EAVES TREATMENT: Irregularly tapered high parapet, cap row

WINDOWS: 1/1 double hung, wood frame at upper facade, metal casement lower story

ENTRY: Central with wood door, ornamental grill work

PORCHES: None at front, balcony at upper story to the left of entry

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 48 (w) 26

STRUCTURAL MATERIAL: Masonry

FOUNDATION MATERIAL: Stuccoed

WALL SHEATHING: Stucco over brick

APPLIED ORNAMENT: Wrought iron shutters at windows, balcony railing, flag, planters

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Detached garage with siding

ALTERATIONS: Elaborate wrought iron grill work added to windows, balcony railing

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: S. 3/4

NEGATIVE NUMBER: EEEN 9/2

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): This home has a large unevenly tapered wall at the front with arched entry and wood gate. There are desert plantings at the front of the wall and a lawn and pool inside the wall. Two large allepo pines to either side of the gate.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) None is known

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early development in El Encanto Estates

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of early Spanish Colonial Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally to El Encanto Estates

DISCUSSION AS REQUIRED: This large two story home shows splendid Spanish Colonial features, is uncommonly of two stories and has a flat roof which is more in keeping with Pueblo Style residences. The parapet is irregularly tapered as is the front wall, which is original. No one of historical prominence is known to have resided in this home.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Painter Home
 ADDRESS/LOCATION: 3242 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-048 1/1000 ACRE(S)
 OWNER: Nugent, Charles A., Jr. & Margaret F.
 OWNER ADDRESS: 3242 E. Fifth Street
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival (Santa Fe adobe)
 CONSTRUCTION DATE: 1936
 ARCHITECT/BUILDER: Shuster, William
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 56
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Asphalt
 EAVES TREATMENT: Parapet, vigas, canales
 WINDOWS: Metal casement, fixed
 ENTRY: Arched into patio with wood door copied from El Sanctuario, Chimayo, N.M.
 PORCHES: Open flagstone terrace/porch off dining room
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 85 (w) 63
 STRUCTURAL MATERIAL: Baked mud adobe (done on premises)
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Interior living room modeled after El Sanctuario, Chimayo..
 OUTBUILDINGS: Storage shed, unattached dog shed
 ALTERATIONS: Carport attached

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN D-21

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Note the high adobe wall has double leaf wood doors, wood lintel, and curved top. There is an iron cross at the top of the gate entry. Interior contd: N.M.; ceilings are 16 ft high, supported by telephone pole beams with fir shakes between; many carved decorations remain intact in the home. Two hand made candelabras, designed by William Shuster, are suspended from the living room ceiling and can be lowered by ropes.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed and built on premises for Muriel Thayer Painter, noted authority on Yaqui Indian ritual. (see discussion section..)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Pueblo Revival Style (Santa Fe adobe) home

MAJOR ARCH. FORM/MATERIAL Baked mud adobe

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is the finest example of Sante Fe adobe architecture in El Encanto and successfully demonstrates the beauty and effectiveness of traditional methods for adobe construction, plaster work and wood carving. Details of the construction by local artisans are documented in Muriel Thayer Painter's notes and photographs now in the UofA Library Special Collections. Virtually all of the adobe carvings and iron forgings were produced on site under the supervision of the architect, William Shuster of Santa Fe, NM. Painter was founder of the Yaqui Indian Pageant, was a noted authority on Yaqui Indian culture, author of "Yaqui Easter," and "Easter at Pascua, as well as research associate for the Arizona State Museum from 1944 until her death in 1975.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Storts Home
 ADDRESS/LOCATION: 3228 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-050a / 0.750 ACRE(S)
 OWNER: Storts, Gladys Long
 OWNER ADDRESS: 3228 E. Fifth Street
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Early Ranch
 CONSTRUCTION DATE: July, 1939
 ARCHITECT/BUILDER: Moore, Cecil H.
 INTEGRITY: Minor alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 58
 USGS QUAD: Tucson, AZ
 T 14SR 14ES 09 / NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low L-shaped gable, corbeled.
 ROOF SHEATHING: Asphalt shingle
 EAVES TREATMENT: Projecting and returned eaves, brick vents at gable ends
 WINDOWS: Metal casement 4-4 with brick sills and lintels, bay to right of entry
 ENTRY: Off-center with Colonial Revival detailing, wood panel door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 43(w) 87
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Stuccoed
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: Colonial trim around entry, shutters at windows

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Carport, unattached, garage at rear
 ALTERATIONS: Sensitive side addition, car port added to lot, shutters added

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN D-18

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: brick chimneys. This home, located off of Fifth Street has a large eight foot wall at the front and desert vegetation. Landscaping near the home is formal with small lawned area to the left and sculptured shrubs and bushes. There is one light post.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Dr. Brick P. Storts whose son continues to reside in the home. Storts is a pediatrician

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's residential development

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of early Ranch Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed by Cecil H. Moore, RA in 1939, and became the home of Dr. Brick P. and Gladys Storts in 1936. This residence is an example of the early Ranch Style with typical L-plan, returned eaves and masonry walling. Additional features include the large bay window to the right of the entry and Colonial Revival detailing around the front door. Brick Storts was born in Slater, MO. He attended William Jewell Collage and graduated from the Uof Miss. Medical School. He interned in Kansas City before arriving in AZ in 1932. Storts was the first pediatrician to be licensed by the American Board of Pediatrics and was chief of staff for St. Mary's. He helped organize the OP club. Storts died on August 4, 1965 at the age of 59. His widow and son continues to reside in the home.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxxCOMMERCIAL___ CENTRAL SQUARE___

CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Underwood Home
 ADDRESS/LOCATION: 140 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-052 0.748 ACRE(S)
 OWNER: Halka, Joseph J. & Maria F.
 OWNER ADDRESS: 140 N. Camino Espanol
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Dec, 1935
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 60
 USGS QUAD: Tucson, AZ
 T 14SP 14ES 09 / NW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Flat with exterior chimney
 ROOF SHEATHING: Rolled asbestos
 EAVES TREATMENT: Parapet, small rectangular paired canales
 WINDOWS: Metal casement
 ENTRY: Central with wood door and metal screen door, molded trim
 PORCHES: South porch glassed in, front canopy over facade entry with two metal.
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 10(w) 54
 STRUCTURAL MATERIAL: Double brick with 5" air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Cloth awnings

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Carport/guest house with shed roof, parapet on two ends
 ALTERATIONS: Glassed in south porch, pool added, guesthouse with storage shed..

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 9/7

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form) Porch contd: posts.
Alter contd: added, awnings and front porch modified.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Bert E. Underwood founder of the Underwood & Underwood, a photography company with world wide locations

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Pueblo Revival Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to historic fabric of El Encanto

DISCUSSION AS REQUIRED: This was designed in December, 1935 and built by Bailey & McCoy for Bert E. Underwood. It is a good example of Pueblo Revival Style, with high ceilinged interior, square, blocky outline, flat planes with deepset window openings and minimum ornamentation. This was built for Bert E. and Susan Stannard Underwood, and remained their home until around 1946. Bert Underwood was the founder of Underwood & Underwood, a world wide photography firm, and inventor of the first 1/2 tone news photograph. Underwood & Underwood has offices in New York, Baltimore, Toronto and Chicago as well as several companies in Europe and Asia. Bert Underwood died on December 28, 1943. His widow remained in the home for five more years.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Drachman Home
 ADDRESS/LOCATION: 25 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-054 1.032 ACRE(S)
 OWNER: Drachman, Oliver & Alice
 OWNER ADDRESS: 25 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1941
 ARCHITECT/BUILDER: Smith, John W.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 63
 USGS QUAD: Tucson, AZ
T14s R14e S09 /NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low gable 2 interior chimneys
 ROOF SHEATHING: Wood shingle
 EAVES TREATMENT: Exposed rafters
 WINDOWS: 2/2 DH, metal with wood shutters
 ENTRY: Off-center with wood door with light and two sidelights
 PORCHES: Recessed, veranda, under main roof line with wood posts
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l)91 (w) 37
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Fired brick
 APPLIED ORNAMENT: Window shutters

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: None
 ALTERATIONS: None

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: NW, 3/4
 NEGATIVE NUMBER: EEEN 8/4

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is an expansive lawn and locally famous flower beds in front of this home, which has a large set back from the street.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER (specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) This home was designed by John W. Smith for Oliver Drachman in 1941.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1940's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of 1940's Ranch Style residence in El Encanto Estates

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is a fine example of a Ranch Style residence, with typical full front, veranda porch supported by several wood posts, and medium gable roof. This home was designed by John W. Smith, an architect whose home was at 30 Calle Claravista (#73). It has an expansive lawn and well cared for flower beds. The landscaping contributes markedly to the appearance of this well set back home. It has been the home of Oliver C. and Alice W. Drachman since 1941. Oliver Drachman is a member of the pioneer Drachman family, a graduate of the UofA, one time (second generation) owner and manager of the Unit Laundry & Dry Cleaners, long time Tucson businessman and community minded activist and politician. This illustrates the shift toward Ranch Styles that occurred late in the period of significance

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 35 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-055a / 0.550 ACRE(S)
 OWNER: Secrist, Jeannette J. (trustee)
 OWNER ADDRESS: 35 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Eclectic Revival
 CONSTRUCTION DATE: 1941
 ARCHITECT/BUILDER: Moore, Cecil H.
 INTEGRITY: Original; minor alterations to east
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 65
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low hip roof with hip and..
 ROOF SHEATHING: Wood shingle with copper
valleys, trim & overhangs
 EAVES TREATMENT: Boxed cornice, returned
eaves with upper & lower crown moldings
 WINDOWS: Metal 3/3 DH, casement and
fixed windows with painted brick sills
 ENTRY: Central with Georgian Revival
entablature, side lights, two lamps..
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 65 (w) 45
 STRUCTURAL MATERIAL: Triple brick with insu-
lated air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: Decorative shutters

NOTABLE INTERIOR: Original details intact
(see addendum)
 OUTBUILDINGS: Compatible porte cochere,
detached 2 car garage of painted brick
 ALTERATIONS: Compatible porte cochere
added

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 8/5a

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: gable extensions, two brick chimneys. Entry contd: at either side of entry. There are flagstone steps at entry, large expansive lawn with flagstone walkway, shrubs at foundation, mature trees at rear, and mature palms. All outside corners have projecting brick pilasters or 90 degree corner windows.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here during the historic period, see discussion section for later resident

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1940's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of single story Eclectic Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally to El Encanto

DISCUSSION AS REQUIRED: This home, designed by Cecil H. Moore in 1941, is an exceptional contributor architecturally to the neighborhood. It has traditional Revival elements such as low hipped roof, with the addition of one gable and one hip projection, and uses a Georgian Revival entry with entablature. Shutters and carriage lamps enhance the facade. A porte cochere has been added, to the side near the back, but does not detract from the original plan of the home. Large lawn and flower gardens add to the expansive feeling of the home. The house has appeared in magazines and tv. This building illustrates the shift to Revival Styles other than Spanish Colonial Revival or Mission which occurred late in the period of significance (1928-1941). Nothing is known of the first resident. (see addendum).

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ADDENDUM

Address: 35 E. Calle Claravista

Survey No: 65

Notable Interior Continued: Random width and length oak pegged floors remain intact throughout the home. A large library with wood raised and framed panel wall also remains intact. Heavy fluted wood and plaster cornices surround the ceilings. Detailed and fluted column fireplaces (3) remain intact. A curved stairway leads to the large finished basement. A fireplace, an uncommon feature, is in the basement. Six panel wood doors remain throughout the home.

Discussion Continued: This later became the home of Dr. Delbert L. Secrist, a locally renowned physician, athletic doctor for the University of Arizona, and local and state school board president. Secrist Middle School was named after Secrist.

Secrist received the prestigious A.H. Robbins Award given by the American Medical Association for outstanding qualities as a physician, humanitarian, and for community service. The Robbins Award is given annually to only one individual in the United States. Dr. Secrist was also a founding member and prime force in constructing the central YMCA, which exists today. In 1952, he was one of six U.S. citizens designated for eminent work in preventing juvenile delinquency. In 1963, Dr. Secrist was personally consulted by President John F. Kennedy regarding civil rights and school litigation.

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 55 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-057 0/636 ACRE(S)
 OWNER: Diamos, Constance D. & Jo Ann D.
 OWNER ADDRESS: 55 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1940
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Minor alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 67
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: L-shape medium gable and flat
 ROOF SHEATHING: Mission tile on gable,
built-up on flat
 EAVES TREATMENT: Exposed projecting
rafters
 WINDOWS: Metal casement
 ENTRY: Central in enclosed foyer with 3
light side lights, wood door
 PORCHES: Enclosed foyer added 1950 with
flat roof with Greek Revival parapet
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 82 (w) 41
 STRUCTURAL MATERIAL: Masonry
 FOUNDATION MATERIAL: Stuccoed
 WALL SHEATHING: Stucco over brick
 APPLIED ORNAMENT: Wrought iron, canvas awning,
lights

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Two car garage and attached
flat roofed office
 ALTERATIONS: Foyer added early 1950's
grill work added to windows

PHOTOGRAPH

PHOTOGRAPHER: UofA students / II&A
 DATE: July, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 8/10

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form) Landscaping for this residence is formal with large brick front patio and brick walled planters. There is a low stuccoed wall topped by brick. A circular driveway is graveled. There is a median with mature desert vegetation and low brick border wall.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER (specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) None

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1940's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of transitional Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the district

DISCUSSION AS REQUIRED: This home displays transitional qualities of later Spanish Colonial design. It was designed by Bailey & McCoy in 1940, and is a later Spanish Colonial Revival style home. The foyer was added in the early 1950's and while separate and distinct, does not detract from the original intent of the design. No one of historic prominence lived in this home during the historic period.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Boice Home
 ADDRESS/LOCATION: 75 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-060 0.512 ACRE(S)
 OWNER: Odgers, Vincent E. & Jean M.
 OWNER ADDRESS: 75 E. Calle Primorosa
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Apr, 1937
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 70
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Flat, rounded exterior chimney
 ROOF SHEATHING: Unknown
 EAVES TREATMENT: Rounded irregular parapet
 WINDOWS: Metal casement with exposed wood lintels and brick sills
 ENTRY: Central with wood door
 PORCHES: Second story corbeled timber balcony with sawn balustrades over entry
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 45 (w) 55
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stuccoed brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Terra cotta tiled floor large expansive fireplace
 OUTBUILDINGS: Attached garage at rear
 ALTERATIONS: Rear enclosure (glassed in)

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: SW, FF
 NEGATIVE NUMBER: EEEN 8/15

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): The second story is stepped and further delineated with a rowlock belt course of brick across the front facade. Vegetation is lush, with small lawn, a variety of mature shrubs at foundation, and mature trees at the rear. There is a low brick border wall at property line and a brick walkway to entry.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE _____ COMMUNITY PLANNING _____ ECONOMICS _____
EXPLORATION/SETTLEMENT _____ GOVERNMENTAL _____ MILITARY _____ RELIGION _____ SCIENCE _____
THEATRE _____ TRANSPORTATION _____ TOURISM _____ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Henry G. Boice, part owner in the Chiricahua Cattle Co. ranches (see addendum)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Pueblo Revival Style two story residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home, designed and built by Bailey & McCoy for Henry G. Boice, was constructed in April, 1937. It is of impressive height, untraditionally two stories. It has typical design elements of the Pueblo Style including the rounded parapet, weathered tone stucco finish and rounded exterior chimney. Interesting design elements include the use of rowlock beltcourse of brick to accentuate the second story and corbeled timber balconette and exposed wood lintels which add a primitive dimension to the design. This was the first home in El Encanto of Henry G. Boice (see #69a for his second home). Henry Boice was son of noted range cattleman, Henry Stephen Boice. Henry G. was an Occidental graduate in 1916 and owner/manager of the Chiricahua Cattle Co. ranches in 1917 (see addendum for more info.)

CONTEXT: ISOLATED/RURAL _____ RESIDENTIAL STREET xxx COMMERCIAL _____ CENTRAL SQUARE _____
CBD: _____ OTHER: _____

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED _____ DETERMINED ELIGIBLE _____ DETERMINED NOT ELIGIBLE _____ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ADDENDUM

Survey Number: 70

Address: 75 Calle Primorosa

Discussion Continued: This home was built by Bailey & McCoy, as the first home of Henry G. & Margaret T. Boice (see #69a for their second home). Henry was born in 1893, in Independence, MO at the home of his grandfather, Henry Gudgell, one of the owners of the ranch which became known as the first home of the Hereford breed in the U.S. Henry G., II was the son of Henry Stephen Boice, noted range cattleman and one of the early trail drivers to trail cattle from Texas to the Dakotas. Henry S. established the H.S. Boice Cattle Co. at the Point of Rocks ranch on the Cimarron River, the ranch where Henry G., II and his younger brother, Frank Seymour, would participate in their first roundup at the ages of six and five. This expansive ranch would extend through three states: Kansas, Colorado and Oklahoma. Henry G., II began ranching himself at the age of nine for the XIT ranch in the Texas Panhandle. He later went to Occidental College in California, and graduated in 1916. In 1917, he came to Arizona and began managing the famous Southern Arizona ranches, owned by his family and their associates, under the name of the Chiricahua Cattle Company. These ranches eventually included the Empire, Rail X, Sulphur Springs Valley and Arivaca ranches. Henry's brother, Frank, came to Arizona in 1920 to help his brother, taking over the management of the Sulphur Springs Valley ranches. The brothers bought the Arivaca ranch in 1930 and their younger brother Charles operated it. The corporation was dissolved in 1944, becoming a partnership. The ranches were divided between Henry and Frank in 1951, so their sons could participate more directly in the business. Henry took the Arivaca operation and Frank took the Empire Ranch. Frank, Jr. (see #51), operated the Empire ranch, while Robert, Henry's son, operated the Slash S ranch, located south of Globe, Arizona. Henry G. Boice was president of the Arizona Cattle Grower's Association (1921-1927), president of the American National Livestock Association (1930-1933) and president of the Arizona Tax Research Association (1941-1960). He lived at 75 Calle Primorosa from 1937 to about 1957, and at #69a from 1957 to 1974. Henry G. Boice died May 11, 1978.

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Mills Home
 ADDRESS/LOCATION: 50 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-061 0.562 ACRE(S)
 OWNER: Mather, James A. & Karin R.
 OWNER ADDRESS: 50 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 71
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Flat, 2 exterior chimneys
 ROOF SHEATHING: Unknown
 EAVES TREATMENT: Parapet, protruding vigas
 WINDOWS: Metal casement
 ENTRY: Central with wood door and screen door
 PORCHES: Arched and shed roofed with Mission tile sheathing
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 75 (w) 75
 STRUCTURAL MATERIAL: Double masonry
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached, stuccoed garage with parapet
 ALTERATIONS: Two car garage added at rear

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN 8/17

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a circular driveway as well as a straight driveway leading to the garage. The median is sparsely vegetated with mature desert plantings.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Dr. Charles W. Mills, a prominent physician and a founder of the Desert Sanitorium (Tucson Medical Center)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Pueblo Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home is an excellent example of southwestern architecture from the revival period of the 1930's. It combines Pueblo and Sonoran themes with protruding vigas, an irregularly rounded parapet, and prominent chimney with clap pot, and strong vertical lines. Notes by Mrs. M.H. Starkweather identify Mr. Starkweather as the architect, with construction beginning in 1930 (based on date stamps on the toilet fixtures). The home was built for Dr. Charles W. Mills, a fellow of the American College of Physicians and a nationally renowned authority on tuberculosis. Dr. Mills founded the Desert Sanitorium (now known as Tucson Medical Center). Mills lived here until his death in 1945. Mrs. Mills continued to live here until 1958.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Ellinwood Home
 ADDRESS/LOCATION: 40 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-062 0.562 ACRE(S)
 OWNER: Ellinwood, Clare Betsey Rounsevell
 OWNER ADDRESS: 40 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Sonoran
 CONSTRUCTION DATE: Jan, 1929
 ARCHITECT/BUILDER: Winchester, W.B./ Putter,
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 72
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat with interior chimney
 ROOF SHEATHING: Unknown
 EAVES TREATMENT: Parapet with corbeled adobe caprow, canales
 WINDOWS: 1-1 wood casement
 ENTRY: Central, recessed with double leaf panel wood door, fan light & sidelights
 PORCHES: One at south side rear, balcony at 2nd story with wrought iron rail and.
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 1/2 DIMENSIONS: (1) 88 (w) 75
 STRUCTURAL MATERIAL: Masonry
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Detached carport with wood posts
 ALTERATIONS: Carport added in recent years, second story added to rear.

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN D-16

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Porch contd: metal posts. There is a brick walkway to the entry with low brick wall. Vegetation is dense natural desert foliage. Alterations contd: the enclosure of the front entry was designed by Mrs Ellinwood, and done some time ago. The second story addition does not compromise the integrity of the design, and is barely visible from the front facade. This home was designed by Mrs. Ellinwood, specifications were drawn by W.B. Winchester, and the home was constructed by Frank Putter.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of Ralph E. Ellinwood, owner and editor of the Arizona Daily Star. One of first homes built in El Encanto

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Sonoran Revival, Territorial influenced home

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is a large, beautifully proportioned example of southwestern design, combining elements of Sonoran and Territorial architecture. Territorial elements such as the flat roof, and protective topping of fired brick crowning on the roof parapet can be seen as well as the Spanish Colonial Revival elements, including thick masonry walls. It was one of the first homes built in El Encanto Estates. The blueprints are dated January, 1929. W.B. Winchester completed the blueprints. Frank Putter constructed the home for Ralph Ellinwood, owner and editor of the Arizona Daily Star from 1924 until his death in 1930. Mrs. Ellinwood, one of three woman elected to membership in the Rocky Mountain Oyster Club, an exclusive club, remains in the home today.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS: ___
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Bale Home
 ADDRESS/LOCATION: 20 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-064 0.528 ACRE(S)
 OWNER: Thompson, Patricia C.
 OWNER ADDRESS: 20 E. Calle Claravista
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1931
 ARCHITECT/BUILDER: Unknown
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 74
 USGS QUAD: Tucson, AZ
 T 14SR 14eS 09 / 1/4 OF THE 1/4
 UTM

Description (contd.)

ROOF TYPE: Flat, shed
 ROOF SHEATHING: Rolled asbestos and
Mission tile on shed roof
 EAVES TREATMENT: Parapet, canales,
exposed rafters
 WINDOWS: Metal casement
 ENTRY: Central, extruded with entablature
wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 10(w) 55
 STRUCTURAL MATERIAL: Double brick with 2"
air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Original details are
intact, high ceilings, oak wood floors
 OUTBUILDINGS: Two car garage enclosed for
use as pool house and storage
 ALTERATIONS: Wrought iron grill over
windows.

PHOTOGRAPH

PHOTOGRAPHER: UofA students / II&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN 8/21

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a circular driveway with desert landscaped median of mature growth. A retaining wall encloses a second entry which leads to a guest house. Alteration contd: the original design of the home included three sleeping porches, two of which have since been incorporated into the main structure. One rear porch has been glassed in, two skylights have been added, sliding glass door added.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Built for Frederick S. Bale a prominent Tucson banker. Also see discussion for later owners.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Pueblo Revival Style residence in El Encanto Estates

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to the historic fabric of El Encanto

DISCUSSION AS REQUIRED: An example of a simple Pueblo Revival Style residence in El Encanto. Few thematic design characteristics are present. The small canales, an extruded entry with entablature, wrought iron grill work, rounded parapet are the only Pueblo design features used. This was built for Frederick S. Bale, a prominent banker in Tucson who was involved in Republican politics. This was the home of Dr. Victor and Hazel Gore from 1938 to 1946. Gore was a Tucson Orthopedic Surgeon for 25 years, fellow of the American College of Surgeons and founding member of the American Board of Surgery, and director of TMC. Wirt G. Bowman, former mayor of Nogales lived here in 1946, and Howard W. Selby, founder of Selby Lincoln-Mercury located in Tucson, resided in the home in the 1950's.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Small Home
 ADDRESS/LOCATION: 95 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-073a / 0.446(ACRE(S))
 OWNER: Kimble, William E. & Jean C.
 OWNER ADDRESS: 95 N. Camino Miramonte
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1929
 ARCHITECT/BUILDER: Macmillan, James
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 83
 USGS QUAD: Tucson, AZ
 T 14sR 14eS 09 / NW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: L-shaped gable with exterior.
 ROOF SHEATHING: Ridged Mission tile
 EAVES TREATMENT: Projecting eaves,
diamond patterned air vents at pediment
 WINDOWS: Fixed wood frame and metal
casement
 ENTRY: Central, recessed, arched with
wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 67(w) 43
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Wood frame carport with
shed roof
 ALTERATIONS: Window alterations

PHOTOGRAPH

PHOTOGRAPHER: UofA students / II&A
 DATE: July, 1987 VIEW: NW, FF
 NEGATIVE NUMBER: EEEN 3/9

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: chimney.
There is a screened in porch at second story rear. And enclosed porch overhang at facade. There is a retaining wall for the back yard. A flagstone walkway, lawn and mature trees and shrubbery on lot.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Andrew Porter (unknown significance), later home of William Small, publisher of the Tucson Citizen

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is one of only a few two story homes in El Encanto. It is a good example of Spanish Colonial Revival with tiled L-shaped medium gable roof and purlins. There are diamond patterned vents at gable ends and a large courtyard at the rear. This home was designed by James Macmillan, RA for Andrew O. and Mamie S. Porter (unknown historical significance) in 1929. It was the home of William A. and Elizabeth F. Small from 1941 to 1950. William Small was the publisher of the Tucson Citizen from 1935 until he retired in 1966. Small died September 6, 1975 at the age of 81. Later residents include; Maj. General Emil Lenzer, former commander of Ft. Huachuca, and William Kimble, former Cochise County judge and prominent Tucson attorney.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Sundt Home
 ADDRESS/LOCATION: 55 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-074 / 0.459 ACRE(S)
 OWNER: Sundt, Marion R.
 OWNER ADDRESS: 55 E. Calle Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Eclectic Revival
 CONSTRUCTION DATE: 1937
 ARCHITECT/BUILDER: Sundt-Weiner-Fink
 INTEGRITY: Unaltered
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 84
 USGS QUAD: Tucson, AZ
 T 14R 14S 09 / NW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Low hip roof, exterior chimney
 ROOF SHEATHING: Asphalt shingle
 EAVES TREATMENT: Boxed cornice
 WINDOWS: Double hung and metal casement, bay at facade first story with 4-4..
 ENTRY: Central, recessed with wood panel door and moulded flat trim
 PORCHES: Recessed at first story under balcony with flagstone flooring...
 STOREFRONTS: Not Applicable

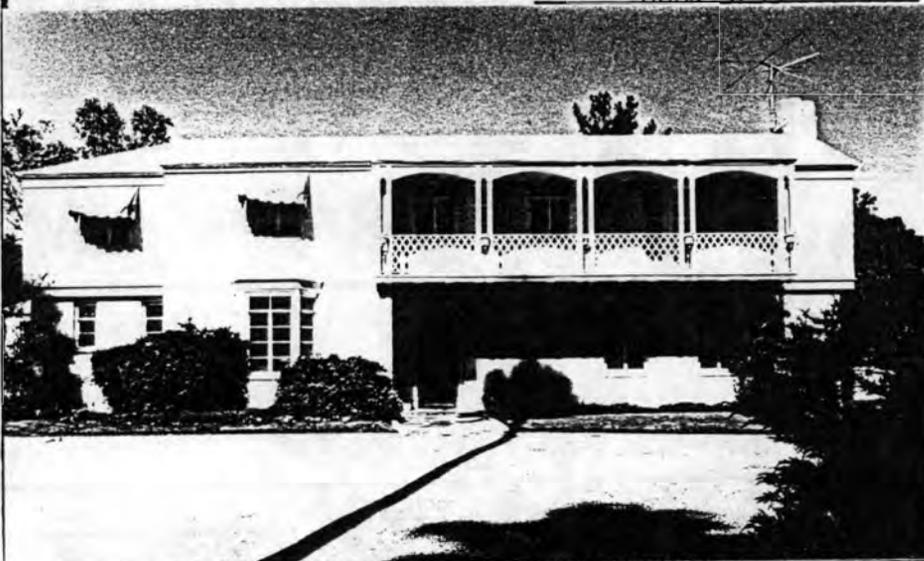
DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 65(w) 45
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Exposed painted brick, original asbestos shingle siding at second story
 APPLIED ORNAMENT: Awnings

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached two car garage
 ALTERATIONS: None

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 3/33

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Windows contd: metal casement with two fixed above and entablature. All casement windows have 2 fixed windows above. Porch contd: second story balcony with trellis rail, paired wood post supports, curved fascia, and carved, paired wood brackets. This home was designed by Sundt-Weiner-Fink, RA of Philadelphia. The asbestos shingle siding is original.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE COMMUNITY PLANNING ECONOMICS
EXPLORATION/SETTLEMENT GOVERNMENTAL MILITARY RELIGION SCIENCE
THEATRE TRANSPORTATION TOURISM OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for John S. and Marion R. Sundt, founder of the M.M. Sundt Construction Company (see attached addendum)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Eclectic Revival Style home in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed for John S. and Marion Sundt. It is an expansive two story Eclectic Revival with typical Revival design elements. The porch is French Colonial influenced. John S. Sundt was the founder of the M.M. Sundt Construction Co., named for his father, a master carpenter (Mauritz Martins). The company was founded in 1931, and was responsible for world wide construction as well as buildings on the UofA campus, several commercial structures, and residences. Marion Sundt lives in the home today. This building illustrates the shift to Revival Styles other than Spanish Colonial Revival or Mission Revival that occurred late in the period of significance (1928-1941). The original blueprint indicate asbestos shingle siding as the wall sheathing for the upper story.

CONTEXT: ISOLATED/RURAL RESIDENTIAL STREET COMMERCIAL CENTRAL SQUARE
CBD: OTHER:

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED DETERMINED ELIGIBLE DETERMINED NOT ELIGIBLE NOT EVALUATED

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ADDENDUM

Survey Number: 84

Address: 55 Calle Encanto

Buildings on the UofA campus which the Sundt Corp. was responsible for building:

Administration Building
Aeronautics Building
Agriculture Science Building
Apache-Santa Cruz Dormatory
Art Building
auditorium
Biological Sciences Building
Pharmacy Addition
Civil Engineer Building
Drama Building
East Stadium
Geology Building
Hopi Hall
Infirmary
Liberal Arts Building
New Library
College of Law
McKale Center

reconditioned:

Library Building
Manzanita-Mohave Building
Anthropology Building
Music Building
Papago Hall
Pharmacy - Microbiology Building
Meteorology Building
Science Library Building
Student Union Building
Woman's Physical Education Building

ADDENDUM

Survey Number: 84

Address: 55 Calle Encanto

Discussion Continued: This home was built for John S. and Marion R. Sundt in 1937. It was built by Sundt-Weiner-Fink, RA, of Philadelphia and designed by Thoralf M. Sundt, RA. John S. Sundt was the son of Mauritz Martins, a Norwegian born immigrant who came to the U.S. in 1886, settling first in Wisconsin and later in Las Vegas, New Mexico. M.M. was a carpenter by trade and soon started a business as a general contractor. He had six daughters and two sons; John S. and Thoralf M., who followed in their father's footsteps. After serving in the Marine Corps during WWI, John worked for his father in Las Vegas as a construction superintendent. He then joined the firm of Stone & Weber, one of the largest construction companies in the world. John worked with them in Philadelphia and Conowingo, MD until 1927, when he returned to New Mexico and his father. Between 1941 and 1944, during WWII, he and his brother directed the building of approximately \$40 million worth of military installations in California, Arizona and New Mexico. They received an award for their atomic bomb facilities at Los Alamos, during this time. Much of the work done during the war included work at Davis-Monthan Airbase, the Consolidated Vultee Aircraft Plant (now the Tucson International Airport), the Marana Airbase, the Japanese prisoner of war and relocation camps at Lordsburg and Sacaton and the reconstruction at the UofA to care for the Navy training school. John also oversaw construction at Almagordo, Clovis and Fort Summner, New Mexico.

After the war the Sundt Co. projects included; Tucson Medical Center, St. Mary's and St. Joseph's; a number of schools, such as Blenman, Rosee, Rincon and the remodeling of Drachman school. The M.M. Sundt Construction Co. was also responsible for the extensive construction at the University of Arizona (see list below), as well as the Tucson Federal Savings Building. He was director of the Tucson Electric Power Co., of Pima Savings & Loans and the YMCA & Tucson Medical Center.

John Sundt died of a heart attack while water buffalo hunting in Africa on March 18, 1965. His wife, Marion, remains in the Sundt home today. She was actively involved in the El Encanto Improvement Association, when it formed in the early 1950's.

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: None

ADDRESS/LOCATION: 45 E. Plaza del Encanto

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-075 0/689 ACRE(S)

OWNER: Linthicum Seth H., Jr. & M. Jane

OWNER ADDRESS: 45 E. Plaza del Encanto
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: 1929

ARCHITECT/BUILDER: Starkweather, M.H.

INTEGRITY: Minor alterations

CONDITION: Good

COUNTY: Pima SURVEY SITE: 85

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4

UTM _____

Description (contd.)

ROOF TYPE: Gable and flat, chimney with..

ROOF SHEATHING: Mission tile

EAVES TREATMENT: Exposed rafters, round wood louvre vents at pediment with..

WINDOWS: 1-1 wood casement

ENTRY: Recessed, central with wood door brick flooring

PORCHES: Double shed roofed, exposed rafters, wrought iron rail, two pier..

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 1/2 DIMENSIONS: (1) 71 (w) 63

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Detached garage with flat roof, parapet, attached carport with..

ALTERATIONS: Partial enclosure of front porch with sliding glass doors

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: N, 3/4

NEGATIVE NUMBER: EEEN 3/26

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):Porch contd: supports, partially enclosed with glass. Outbldg contd: shed roof with Mission tile and stuccoed piers. There is a balconet with wrought iron rail and double wood french doors with lights. The vegetation is lush and mature. There are two driveways, both of asphalt; one circular and one leads to the garage. Roof type contd: pointed arched cap. Eaves contd: wrought iron grill. Attached is the best possible picture; overgrowth prevents a better angle.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S)Designed for E.C. Phelps (unknown historic significance), see discussion section for later owner

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTIONContributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is one of only a few two story Spanish Colonial Revival Style homes in El Encanto. It is a good example of Spanish Colonial theme, with the use of purlins, circular vents, wrought iron rails and small double hung and fixed windows. There is a partially enclosed porch with rough hewn posts. The roof sheathing is typically of Mission tile. This home was designed by M.H. Starkweather in 1929, for E.C. Phelps (of unknown historic significance). It was the home of John W. & Mabel Ross from 1946 to 1959. Ross was a member of the pioneer Ross family, served as a member of the City Planning and Zoning Commission, and was a senior member of the Arizona State Bar. At the time of his death, he was the second oldest practicing Tucson attorney.

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREETxxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 10 E. Calle de Felicidad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-078 0.491 ACRE(S)
 OWNER: Morales, Oscar-Ernesto & Patricia D.
 OWNER ADDRESS: 10 E. Calle de Felicidad
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Apr, 1934
 ARCHITECT/BUILDER: Kester, C.H.
 INTEGRITY: Minor alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 88
 USGS QUAD: Tucson, AZ
 T^{14s} R^{14e} S⁰⁹ / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Flat, exterior chimney
 ROOF SHEATHING: Rolled asphalt, Mexican tile at rear overhang
 EAVES TREATMENT: Parapet
 WINDOWS: Metal casement, decorative shutters
 ENTRY: Off-center, recessed with wood door
 PORCHES: Closed, recessed, no rail, lower parapet roof
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 74 (w) 93
 STRUCTURAL MATERIAL: Double masonry with a 2" air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill over windows, shutters

NOTABLE INTERIOR: Many original features intact; phillipie mohagony wood floors,...
 OUTBUILDINGS: Garage converted to family room
 ALTERATIONS: Carport added, garage enclosed

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN 8/24

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Interior contd: and mexican tile flooring, original "butler's pantry" remains intact. Landscaping consists of desert landscape foliage which is in planters. A low wall surrounds the front facade. The driveway is graveled.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here in the historic period of 50 years, see discussion for other occupants

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Fair example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: The high stepped parapet, the rejas, the irregular blocking of the rooms, the deeply recessed entry and the smooth-textured stucco surface, show the Mexican Colonial Revival Style influence in the design of this home. The architect was C.H. Kester and the builder was Bailey & McCoy. The home was built in April, 1934 for Mrs. Charles (Ruth L.) Byram (unknown historical significance), and later became the residence of George H. Amos, long-time president of Tucson Realty and Trust Co. George H. and Edna S. Amos lived in this home from approximately 1944 to 1976. George died on January 20, 1976 and the home was sold to the present owners.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LI&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 10 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-086 0.450 ACRE(S)
 OWNER: Oseran, Deborah S.
 OWNER ADDRESS: 10 E. Calle Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Sept, 1929
 ARCHITECT/BUILDER: Echols, G.B. (builder)
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 97
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Parapet, vigas, canales
 WINDOWS: Multi-paned casement; double glass and wood doors at rear
 ENTRY: Recessed, off-center, arched, with wood door with small light
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

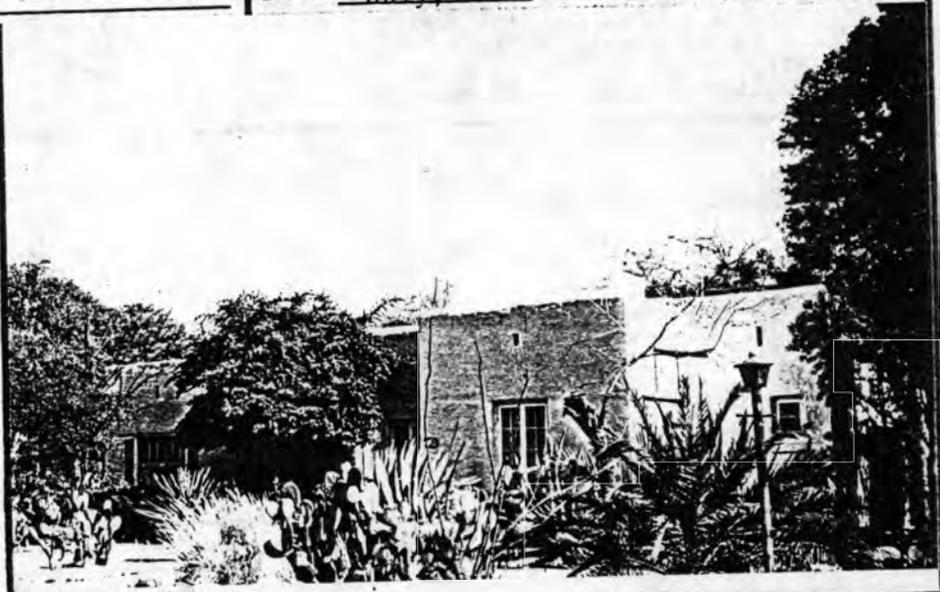
STORIES: 1 DIMENSIONS: (l) 70 (w) 94
 STRUCTURAL MATERIAL: Double brick masonry with air gap
 FOUNDATION MATERIAL: Concrete; no sub-floor
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Much original interior intact; cove ceilings, wood floors
 OUTBUILDINGS: Detached carport, added. attached apartment with stairwell
 ALTERATIONS: Original garage remodeled

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, 3/4

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a circular driveway lined with rocks. The median is desert landscaped. Vegetation is of mature desert plantings.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here, see discussion section for later residents

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Pueblo Revival Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: Protruding vigas, the rounded, stepped parapet, the clay pots capping the massive tile inset chimney, and the deep-set, arched entry are all design elements of the Pueblo Revival Style. This is one of the earliest homes built El Encanto. It was designed in September, 1929 by George B. Echols Building Co. for W.T. Briggs (unknown historical significance). It was the home of Merlin K. DuVal from 1964 -1984. Duval was the first dean of the UofA College of Medicine, an assistant secretary of the U.S. Department of Health, Education and Welfare, and the president of a national health foundation based in California.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS: _____
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Manley Home
 ADDRESS/LOCATION: 35 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-091 0.689 ACRE(S)
 OWNER: Stewart Title & Trust
 OWNER ADDRESS: PO Box 42200
Tucson, Az 85733-22
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1929
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 102
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Low gable, interior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters, belt course
 WINDOWS: Metal casement, plate glass fixed
 ENTRY: Inside courtyard with arched wood door in low hexagonal shaped tower
 PORCHES: Central, masonry piers, concrete flooring, gable roofed, wrought iron gate
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 88 (w) 76
 STRUCTURAL MATERIAL: Brick masonry
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached single bay garage with saltbox roof type
 ALTERATIONS: Tennis court added on NE side (1986)

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: NW, FF
 NEGATIVE NUMBER: EEEN 6/2

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a concrete and gravel driveway to the attached garage. Vegetation is sparse with low brick retaining basins. There is a lawn, with low retaining wall.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE _____ COMMUNITY PLANNING _____ ECONOMICS _____
EXPLORATION/SETTLEMENT _____ GOVERNMENTAL _____ MILITARY _____ RELIGION _____ SCIENCE _____
THEATRE _____ TRANSPORTATION _____ TOURISM _____ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here, see discussion section for later residents

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This Spanish Colonial Revival Style residence with typical Spanish Colonial design elements was built in 1929 for Eva R. Manley mother of Louise Manley, who married Edward Montgomery Steele, an Arizona wildlife conservation leader. Edward Steele was later chairman of the Nature Conservancy in Arizona. The house remained in the Manley family until Mrs. Steele's death in 1985. The home has an unusual attached garage and front gate, not normally found in Spanish Colonial design. It is obviously influenced by the owner's desire for privacy. The central courtyard is an additional unique feature, given patios are generally located to the rear or sides of Spanish Colonial designed homes.

CONTEXT: ISOLATED/RURAL _____ RESIDENTIAL STREET xxx COMMERCIAL _____ CENTRAL SQUARE _____
CBD: _____ OTHER: _____

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED _____ DETERMINED ELIGIBLE _____ DETERMINED NOT ELIGIBLE _____ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Mansfield (Mansfeld) Home
 ADDRESS/LOCATION: 40 E. Plaza del Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-092 0/832 ACRE(S)
 OWNER: Clements, William M. & Virginia Lee
 OWNER ADDRESS: 40 E. Plaza del Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1934
 ARCHITECT/BUILDER: Unknown
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 103
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low gable, interior chimney
 ROOF SHEATHING: Ridged Mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Metal casement, fixed
 ENTRY: Off-center, slightly recessed,
with wood door
 PORCHES: Compatible shed roofed porch
added to front with Mission tile roofing
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 60 (w) 40
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Two bay attached garage
 ALTERATIONS: Compatible shed roof porch
with tile roofing added to front in 1987

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN C-28

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form) The front yard contains a, recently added, central fountain with tiled wall, and a brick walkway. Vegetation consists of mature sculptured shrubs, and some trees. The circular driveway is of asphalt.

Discussion contd: sold to Don & Eugenia Hummel, member of the pioneer family and mayor of Tucson in the 1950's.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historic significance lived here, see discussion section for later occupant

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This Spanish Colonial Revival Style residence was built for Clarence Gardner (unknown historical significance) in 1934 and remained his home until it was deeded to Monte and Eleanor Mansfield (Mansfield) on June 22, 1946. Monte Mansfield, acknowledged by the Tucson Citizen at the time of his death as playing the greatest single role in Tucson's growth, was for forty-four years a Tucson Ford dealer; was said to have been responsible for establishing Davis-Monthan Air Force Base; credited for bringing Hughes Aircraft to Tucson, and active in forming the Improvement Assn., a group which developed Broadway Blvd. He also held numerous community offices, including: Tucson Chamber of Commerce, AZ Aviation Committee, city councilman, etc. Mansfield died Dec. 12, 1959 and the house was..

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Jones Home
 ADDRESS/LOCATION: 70 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-099 0/530 ACRE(S)
 OWNER: Amaral, Sandra J.
 OWNER ADDRESS: 70 E. Calle Encanto
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: May, 1932
 ARCHITECT/BUILDER: Unknown
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 111
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Low hip, exterior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Metal multi-paned casement, fixed, plain sills
 ENTRY: Off-center, panel wood door, two double leaf doors as well
 PORCHES: Shed roof with Mission tile sheathing, carved wood posts, carved..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (l) 84 (w) 61
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Awnings over windows, wrought iron at second story

NOTABLE INTERIOR: Original features intact: mohogany trim, oak wood floors
 OUTBUILDINGS: Attached guest house and carport
 ALTERATIONS: Garage enclosed for guest house, carport added late 1970's

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN D-12

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Porches contd: wood open rail, second story shed roofed porch with exposed rafters and wood posts. There is a sun deck on one roof, off the second story porch. Vegetation is sparse, with mature trees. There is a small lawn with rocks at lawn line. The driveway is circular with low brick border wall. There is a large lawned median.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT___ GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Judge Gerald Jones, a territorial lawyer, admitted to the bar in 1909

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Spanish Colonial Revival Style in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This imposing, Spanish Colonial Revival Style home was built for Judge Gerald and Mabel Monteith Jones in 1932. The Spanish Colonial influence can be seen with the protruding purlins, Mission tiled roof, arched windows with brick sills, and central open porch with shed roof and rough hewn, carved wood posts. There is also a second story sundeck. This was the home of Judge Gerald Jones from its construction until his death in 1971. Judge Jones was a territorial lawyer, having been admitted to the Arizona Bar in 1909. He was named to the Superior Court in 1924, a position he held until 1928, when he went into private practice. He served 15 years as chairman of the State Board of Law Examiners and was director of the Southern Arizona Bank & Trust Co. (1951-71).

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET xxx COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LI&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Smith Home
 ADDRESS/LOCATION: 25 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-108 0/441 ACRE(S)
 OWNER: Rentflesh, Chester
 OWNER ADDRESS: 25 E. Calle Belleza
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Carlucci, Joe (builder)
 INTEGRITY: Unaltered
 CONDITION: Good

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 74 (w) 89
 STRUCTURAL MATERIAL: Brick masonry
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work

SKETCH MAP: See Final Map

COUNTY: Pima SURVEY SITE: 121
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Flat, shed, exterior chimneys
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Parapet, projecting eaves
 WINDOWS: Fixed, metal casement
 ENTRY: Off-center, arched, with decorative iron grill work screen door...
 PORCHES: None
 STOREFRONTS: Not Applicable

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached, stuccoed, two bay garage
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN F 8a



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a graveled circular driveway, sparse vegetation with mature trees. Entry contd: arched wood door.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Howard V. and Margaret Smith, both renowned scientists known for their work in flouride effects on the teeth

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to the historic fabric of El Encanto

DISCUSSION AS REQUIRED: This home of Spanish Colonial Revival Style has two masonry parapeted wings, central chimney, and arched entry. It was built for Howard V. and Margaret C. Smith by Joe Carlucci in 1930. The specifications were approved by the El Encanto Estates, Inc. on June 6, 1930. This remained the Smith residence until 1970. Howard (agricultural chemistry) and Margaret (nutrition) were both renowned scientists at the UofA. They are known for their research on the effects of flouride on teeth. They published numerous reports on flouride, vitamins and Arizona climate.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Powers / O'Malley Home
 ADDRESS/LOCATION: 35 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-109 0/441 ACRE(S)
 OWNER: Lam Carroll F. & Donna J.
 OWNER ADDRESS: 35 E. Calle Belleza
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Joesler, Josias Thomas
 INTEGRITY: Minor alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 122
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM

Description (contd.)
 ROOF TYPE: Low gable, hip, exterior..
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Sloped end exposed rafters, vents at pediments
 WINDOWS: Metal casement, fixed, multi-paned
 ENTRY: Off-center, with wood door
 PORCHES: Recessed with shed roof, no rail, two wood posts, brick flooring
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 79 (w) 40
 STRUCTURAL MATERIAL: brick, triple brick on south sides, double brick on north side
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Decorative wood shutters

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached garage
 ALTERATIONS: Decorative shutters at facade windows, carport added to rear

PHOTOGRAPH
 PHOTOGRAPHER: UofA students / JJ&A
 DATE: July, 1987 VIEW: N. 3/4
 NEGATIVE NUMBER: EEEN 4/17

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Roof type contd: arched capped chimney. There is a paved circular driveway, stuccoed walls at lawn lines, a brick patio at front facade with planters. Vegetation is mature. There is a lawned median.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Harry Powers, the husband of Helen O'Malley, and subsequently the manager and president of O'Malley Lumber

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was one of 5 designed by Jos. Th. Joesler in El Encanto (noted by a signature of the El Encanto Estates blueprints for this home). The specification show Harry W. Powers as the owner. Harry Powers was the husband of Helen O'Malley, and consequently the director, manager and president of O'Malley Lumber Co. until his death on October 11, 1977, at age 85. Powers resided in this home from 1930 until 1970.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
 LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
 None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Miller Home
 ADDRESS/LOCATION: 45 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-110 0/441 ACRE(S)
 OWNER: Romo, Edgar A. & Irene L.
 OWNER ADDRESS: 45 E. Calle Belleza
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1930
 ARCHITECT/BUILDER: Joesler, Josias Thomas
 INTEGRITY: Major alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 123
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Low gabled, interior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters, plastered terra cotta pipes vent the gables
 WINDOWS: Metal casement, tile bordered, elaborate front portals
 ENTRY: Off-center, arched with brick surround, wood door
 PORCHES: Open with stuccoed brick piers, lintel, brick flooring, shed roof, ..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 80 (w) 70
 STRUCTURAL MATERIAL: Brick, 13" thick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work at windows and entry

NOTABLE INTERIOR: Beamed living room ceilings
 OUTBUILDINGS: Detached rear garage with flat roof with parapet
 ALTERATIONS: Compatible tile roofed front porch added in late 1940's

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN F-12

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form)

Porch contd: no rail.
 There is a straight graveled driveway with brick border, a large front lawn with brick planters. The walkway is laid brick. Vegetation consists of flowers, mature trees and some shrubs.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE _____ COMMUNITY PLANNING _____ ECONOMICS _____
 EXPLORATION/SETTLEMENT _____ GOVERNMENTAL _____ MILITARY _____ RELIGION _____ SCIENCE _____
 THEATRE _____ TRANSPORTATION _____ TOURISM _____ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Claude Webster Miller, a partner in the White & Miller Paving Contracting Company

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is one of 5 homes built in El Encanto by Jos. Th. Joesler. It was built in 1930, in a commanding position on one of the major interior streets, for Claude Webster Miller, a partner in the White & Miller Paving and Contracting Co. White & Miller were responsible for laying the first asphalt streets in Phoenix, AZ. Claude and Iris Miller lived in this home from its construction until 1935. Claude died May 11, 1961. It has been the home since 1945, of Dr. Edgar A. and Irene L. Romo. Romo, now retired, was a longtime dentist in Tucson.

CONTEXT: ISOLATED/RURAL _____ RESIDENTIAL STREET xxx COMMERCIAL _____ CENTRAL SQUARE _____
 CBD: _____ OTHER: _____

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
 NATIONAL REGISTER STATUS: _____
 LISTED _____ DETERMINED ELIGIBLE _____ DETERMINED NOT ELIGIBLE _____ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: Starkweather Home

ADDRESS/LOCATION: 30 E. Calle Belleza

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-114 0.978 ACRE(S)

OWNER: Rupley, John A. & Ila E.

OWNER ADDRESS: 30 E. Calle Belleza
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Modern/Pueblo Revival

CONSTRUCTION DATE: 1932

ARCHITECT/BUILDER: Starkweather, M.H.

INTEGRITY: Minor alterations

CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 128

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / SW ¼ OF THE SW ¼

UTM _____

Description (contd.)

ROOF TYPE: Flat, vented exterior chimney

ROOF SHEATHING: Rolled asphalt

EAVES TREATMENT: Stepped parapet

WINDOWS: 3-3 metal casement

ENTRY: Deco carved central entry, wrought iron gate and wood door

PORCHES: Modernistic balcony and sundeck

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 100 (w) 60

STRUCTURAL MATERIAL: Adobe

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Designed in accordance to deco features as the exterior

OUTBUILDINGS: Attached garage to the west

ALTERATIONS: Maid's room added, porch enclosed 1940, rear porch added 1986

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 4/24

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a concrete walkway with 3 foot planters. Vegetation is generally small shrubs with some mature trees. This home displays deco and hopi detailing, including the planned irregularity of the stepping features, which include balcony, parapet, chimney, openings and buttresses. The interior is accented with similar characteristics, and is large and roomy.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed by Starkweather, prominent architect as his residence. Starkweather was overseeing architect for El Encanto
RELATIONSHIP TO LOCAL DEVELOPMENT Is outstanding 1930's development in El Encanto
CULTURAL AFFILIATIONS None
ARCHITECTURAL MERIT Only Modernistic Style residence with heavy Art Deco influence
MAJOR ARCH. FORM/MATERIAL Adobe
ENGINEERING/STRUCTURAL None
DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed by M.H. Starkweather for use as his private residence until around 1936. Starkweather was the senior overseeing architect for El Encanto Estates, Inc., and was responsible for approving designs submitted by architects and builders for the homes in El Encanto. This home is unique as an early Modern/Pueblo Revival Style residence in El Encanto. The house was owned (1936-39) by Martin Schwerin, developer of the adjacent Colonia Solona subdivision, and (1939-59) by Myrtle H. Upsdell, of the Great Lakes Iron Works. Starkweather is responsible for the design of several public buildings, including the Arizona Inn (listed 1987), and residences including 16 homes in El Encanto.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-115 0.788 ACRE(S)
 OWNER: Dawdy, William
 OWNER ADDRESS: 20 E. Calle Belleza
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern with Spanish Colonial influence
 CONSTRUCTION DATE: Mar, 1938
 ARCHITECT/BUILDER: Smith, John W.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 130
 USGS QUAD: Tucson, AZ
T14s R14e S09 /SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Low gable roof with one..
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: 4-4 metal casement
 ENTRY: Central with wood panel door, two lamps at either side, second entry near..
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1)75 (w) 45
 STRUCTURAL MATERIAL: Double brick with air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Painted brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached two car garage with low gable roof
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN F-9a

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: interior chimney and one rounded exterior chimney. Entry contd: garage with panel wood door with lights. There is a small lawn, concrete walkway and circular graveled driveway. Hedges are at the foundation and sides of the home.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of simple Modern Style with Spanish Colonial influence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This home, built March, 1938 and designed by John W. Smith, is of simple design, with few outstanding features, except the triangularly tapered exterior chimney. The form utilizes some Spanish Colonial elements, for example the low gable roof with tile, and single story design with horizontal length. The home was built for L.B. and Frances G. Emmons (of unknown historical significance) and remained their home until 1949.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 3251 E. Broadway Blvd.
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-120a 0.557 ACRE(S)
 OWNER: Bishop, G.A. & Beverly I.
 OWNER ADDRESS: 3251 E. Broadway Blvd.
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Oct, 1935
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 138
 USGS QUAD: Tucson, AZ
T14s R14e S09 /SW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low H-shaped gable
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters, honey-combed grill of stacked tile vents at..
 WINDOWS: Metal casement with stuccoed sills
 ENTRY: Recessed, off-center with wood door
 PORCHES: Shed roof with three wood post supports on stuccoed pedestals
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l)57 (w) 44
 STRUCTURAL MATERIAL: Double brick with air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stuccoed brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: 10' ceilings in living and dining rooms
 OUTBUILDINGS: Detached garage
 ALTERATIONS: Glassed in galleria on north side, three car garage added 1987

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: N. 3/4
 NEGATIVE NUMBER: EEEN 4/5

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Eaves treatment contd: each gable end. This house sits on a large lot with mature desert landscaped vegetation. There is a graveled driveway with rock border wall.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE COMMUNITY PLANNING ECONOMICS
EXPLORATION/SETTLEMENT GOVERNMENTAL MILITARY RELIGION SCIENCE
THEATRE TRANSPORTATION TOURISM OTHER (specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This home, designed and built by Bailey & McCoy, was constructed in October, 1935. It is a well-proportioned Spanish Colonial Revival Style residence of modest scale. The lush desert landscaping adds to the appearance of this home, which sits on a large lot.

CONTEXT: ISOLATED/RURAL RESIDENTIAL STREET COMMERCIAL CENTRAL SQUARE
CBD: OTHER:

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED DETERMINED ELIGIBLE DETERMINED NOT ELIGIBLE NOT EVALUATED

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: None

ADDRESS/LOCATION: 3263 E. Broadway Blvd.

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-121a 0.557 ACRE(S)

OWNER: Wehn, Lucie Anne

OWNER ADDRESS: 400 S. Haskell
Willcox, Az 85643

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: Oct, 1935

ARCHITECT/BUILDER: Bailey & McCoy

INTEGRITY: Unaltered

CONDITION: Good

COUNTY: Pima SURVEY SITE: 140

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4

UTM _____

Description (contd.)

ROOF TYPE: Low gabled, interior chimney

ROOF SHEATHING: Ridged Mission tile

EAVES TREATMENT: Exposed rafters

WINDOWS: 4-4 metal casement

ENTRY: Central, slightly recessed with panel wood door

PORCHES: Enclosed, with brick flooring, shed roof with exposed rafters

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 73 (w) 51

STRUCTURAL MATERIAL: Double brick with 2" air gap

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Detached two bay garage

ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: N, 3/4

NEGATIVE NUMBER: EEEN 4/3

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a circular dirt driveway and straight driveway to garage at east side. Vegetation consists of sparse desert plantings with low brick border and four foot wall at the front property line.

The attached photo is the best possible given the heavy overgrowth and front wall which faces Broadway.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) This home was the home of L.A. Romine and was designed by H.L. McCoy and built by Bailey & McCoy in Oct, 1935

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed in October, 1935 by H.L. McCoy, and built by Bailey & McCoy. It is a simplistically designed Spanish Colonial Revival residence with a long, low tiled roof, and unadorned walls. The Revival influence can be noted by the carved wood projecting eaves, flat surfaced wall sheathing (of stucco) and the ridge capped mission tile. This was built for L.A. Romine, a prominent real estate broker, and remained his home through 1945.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Baker Home
 ADDRESS/LOCATION: 15 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-122a / 0.567 ACRE(S)
 OWNER: Baker, Howard E. & Ethlwyn L.
 OWNER ADDRESS: 15 N. Camino Miramonte
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: June, 1936
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 141
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Low gable and hip, single..
 ROOF SHEATHING: Ridged Mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Metal casement
 ENTRY: Off-center, with wood door
 PORCHES: Hip roofed with single wood post support, brick flooring, no rail
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 81 (w) 55
 STRUCTURAL MATERIAL: Double brick with air gap
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill

NOTABLE INTERIOR: Many original details intact, arched doorways
 OUTBUILDINGS: Detached stuccoed two bay
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 4/1

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

Roof type contd: exterior chimney, one interior chimney. There is a circular dirt driveway that leads to entry and one section which leads to double garage. The median is lawned with a few scattered rocks at lawn line. Some shrubbery exists at foundation. All trees are mature.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE COMMUNITY PLANNING ECONOMICS
 EXPLORATION/SETTLEMENT GOVERNMENTAL MILITARY RELIGION SCIENCE
 THEATRE TRANSPORTATION TOURISM OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for prof. Howard Baker, an economist for the UofA, assit. dir. of the AZ Agricultural Coop. Extension Dept.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of simplistic Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes to historic fabric of the neighborhood

DISCUSSION AS REQUIRED: This is an example of a rather plain Spanish Colonial Revival style design, with low hipped, mission tiled roof, protected interior courtyard, and plain exterior chimney. This home was designed by Bailey & McCoy in June, 1936 and built for the Prof. Howard R. Baker, an economist at the UofA, and assistant director of the Arizona Agricultural Cooperative Extension Department for forty years. Howard Baker died on June 30, 1979. Mrs. Ethelwyn Baker continues to reside in the home.

CONTEXT: ISOLATED/RURAL RESIDENTIAL STREET xxx COMMERCIAL CENTRAL SQUARE
 CBD: OTHER:

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED DETERMINED ELIGIBLE DETERMINED NOT ELIGIBLE NOT EVALUATED

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: None

ADDRESS/LOCATION: 35 N. Camino Espanol

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-126 0.699 ACRE(S)

OWNER: Concannon, James N. & Marian H.

OWNER ADDRESS: 35 N. Camino Espanol
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Pueblo Revival

CONSTRUCTION DATE: Jan, 1934

ARCHITECT/BUILDER: Bailey & McCoy

INTEGRITY: Minor alterations

CONDITION: Excellent

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 102(w) 68

STRUCTURAL MATERIAL: Double brick with air gap

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Exposed adobe

APPLIED ORNAMENT: None

SKETCH MAP: See Final Map

COUNTY: Pima SURVEY SITE: 145

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$

UTM _____

Description (contd.)

ROOF TYPE: Flat

ROOF SHEATHING: Rolled asphalt

EAVES TREATMENT: Rounded & stepped parapet

WINDOWS: Metal casement

ENTRY: Off-center, plain lintel, wood door

PORCHES: None

STOREFRONTS: Not Applicable

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Detached 2 car garage with plain lintel over bay doors

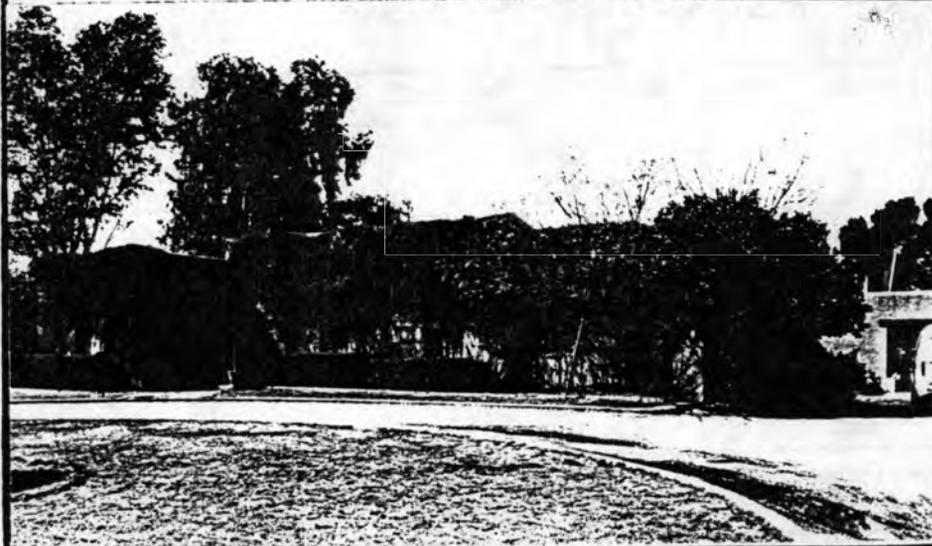
ALTERATIONS: Rear addition of maid's room and bath added in 1930's, designed by..

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: W. 3/4

NEGATIVE NUMBER: EEEN 4/11



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): The vegetation is sparse, with lawn and sculptured shrubs. Vines cover most walls. The driveway is of dirt with circular and straight arms. There are brick border walls at lawn lines. Trees are mature. Alteration contd: M.H. Starkweather. Patio and ramada added in 1958 by Guy S. Green, ASLA. The attached photograph is the best possible photograph. The vines across the entire facade of the building serve to hide many building details.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Home of G.D. Van Scriver (unknown historic significance) in January, 1935. See discussion section for later occupants

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Pueblo Revival Style residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally to El Encanto Estates

DISCUSSION AS REQUIRED: This home was designed and built by Bailey & McCoy in January of 1935. The design draws Pueblo Revival Style themes to produce a wide, rather low flat-roofed home. Vigas are absent, but the parapet is rounded, traditional Pueblo Revival design element. There is a grouping of block elements, wood lintels are exposed and deep openings break up the large flat walls. The first owner (1935-43) was George D. Van Scriver (unknown historic significance). The next owner was Fred W. Fickett, who was a Tucson Superior Court judge from 1929 to 1934. Fickett owned the home in 1943.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 10 E. Calle Portal
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-128 0.592 ACRE(S)
 OWNER: Hamilton, June Diane
 OWNER ADDRESS: 10 E. Calle Portal
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1936
 ARCHITECT/BUILDER: Unknown
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 148
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat and hipped
 ROOF SHEATHING: Mission tile, unknown
for flat
 EAVES TREATMENT: Parapet, exposed rafters
circular tiled vents at parapet
 WINDOWS: 4-4 metal casement, wood lintels
 ENTRY: Off-center, slightly recessed with
arch, panel wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 103(w) 50
 STRUCTURAL MATERIAL: Adobe, facade wall is 24"
thick, remaining walls are 12" thick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wood shutters

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Two bay attached garage
with continuous wood lintel
 ALTERATIONS: Wood shutters added, Arizona
room and rear sleeping porch glassed in

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 2/4

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There is a gravel circular driveway leading to entry, and one which leads to two bay garage. Scattered rocks border driveway. There is a low adobe border wall at front property line. Vegetation is sparse with mature trees and some shrubbery at foundation.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Built for Frank Evert (unknown historical significance; later home of J.B. McCormick 13th UofA president. See discussion

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival residence in El Encanto

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was built for Frank Everts (unknown historical significance) in 1936. A later prominent resident who lived in this home was James Byron McCormick. McCormick was 13th president of the UofA. He was dean of the law school before his selection as president. He had joined the law school in 1926, becoming dean in 1938. Prior to that he practiced law in Illinois and served as director and vice president of Farmer's State Bank of Emden. McCormick was also pres. of the Tucson chapter of the American Red Cross (1942-46), and chair of the AZ Rhodes Scholar selection committee (1946). McCormick served as president of the UofA until he resigned November 11, 1950, to be replaced by Richard A. Harvill (see #28). McCormick died August 18, 1970. This home is one of the few built of adobe.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 142 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-129a / 0.590 ACRE(S)
 OWNER: Koedyker, Brenda B.
 OWNER ADDRESS: 142 N. Country Club Road
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1938
 ARCHITECT/BUILDER: Wolf, George J.
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 149
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Low L-shaped gable and flat..
 ROOF SHEATHING: Mission tile and unknown on flat roof
 EAVES TREATMENT: Exposed rafters, parapet with circular vents at gable end
 WINDOWS: 4-4 metal casement, some with wrought iron grills
 ENTRY: Off-center with wood screen door and wood door, under slight shed roof..
 PORCHES: Canvas awning supported by two thin wrought iron poles
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 65 (w) 45
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Exposed masonry with splayed mortar
 APPLIED ORNAMENT: Awning over entry, wrought iron grill over facade windows

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Garage at rear
 ALTERATIONS: Porch awning, grill work over some windows

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: E, FF
 NEGATIVE NUMBER: EEEN 2/2

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: roofs with interior brick chimney. Entry contd: overhang.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This home, designed by George Wolf, was built in 1938 for Edith M. Clemens (of unknown historical significance). It is of the Spanish Colonial Revival Style and uses a unique (to El Encanto) mixture of flat and low gable roofs. Alterations are minor and reversible.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: Bledsoe Home

ADDRESS/LOCATION: 85 N. Camino Espanol

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-136 0.754 ACRE(S)

OWNER: Munic, John & Georgann

OWNER ADDRESS: 85 N. Camino Espanol
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Mission Revival

CONSTRUCTION DATE: 1931

ARCHITECT/BUILDER: Winchester, W.B.

INTEGRITY: Major alterations

CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 160

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / SW ¼ OF THE SW ¼ UTM

Description (contd.)

ROOF TYPE: Low gabled, two decoratively..

ROOF SHEATHING: Ridged Mission tile

EAVES TREATMENT: Corbeled cornice, circular vents at pediments, carved parapet

WINDOWS: Fixed, metal casement with wrought iron grill work. There are two..

ENTRY: Central, slightly recessed with molded arch, panel wood door. There are.

PORCHES: Balconet at second story with wrought iron grill rail and a shed roof.

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (l) 76 (w) 72

STRUCTURAL MATERIAL: Brick masonry

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stucco

APPLIED ORNAMENT: Wrought iron grill work, lamps

NOTABLE INTERIOR: Painted, carved beamed ceiling in living room

OUTBUILDINGS: None

ALTERATIONS: North wing added 1985, wall moved to right, three guest houses added

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / LI&A

DATE: July, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN 6/8

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: capped exterior chimneys. Entry contd: additional entries on the 1st floor level with double leaf doors with lights and engaged columns. Windows contd: bay windows and one window with molded sill. Porch contd: with entablature design. There is an additional porch on the south side which arches over the walkway and has a carved concrete rail. The tiled fountain at the center of the walkway was recently added. There is a lawn with planters, brick border wall, and several mature trees on the lot.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Nelson C. Bledsoe, a territorial physician, and chief surgeon for the Calumet and Arizona Mining Co.

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Spanish Colonial Revival Style

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Prominent structure in El Encanto Estates

DISCUSSION AS REQUIRED: This is the only structure in El Encanto which stands at a three-way intersection. It was designed by W.B. Winchester, RA in 1931, and is very similar in character to the home he designed at 442 N. Country Club (#167). The unique features found on this home are the use of Mission style parapets, numerous capped chimneys, low gabled roofs, domed, arched windows and entries, wrought iron railed balcony and molded sill bay window. This home was built for Dr. Nelson C. and Harriet Bledsoe. Dr. Bledsoe began his medical practice in Bisbee in 1904. He worked for the Calumet and Arizona Mining Co. (later known as Phelps Dodge Corp.) as chief surgeon. He came to Tucson in 1930 and set up practice. He was well known in the community, receiving several Masonic awards. Bledsoe lived here 1932-1974.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Littlefield Home
 ADDRESS/LOCATION: 10 E. Calle Corta
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-141 0.373 ACRE(S)
 OWNER: Hunten, Isobel Ann
 OWNER ADDRESS: 10 E. Calle Corta
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Feb, 1936
 ARCHITECT/BUILDER: Moore, Cecil H.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 166
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Low hip
 ROOF SHEATHING: Ridged mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Metal casement with wood shutters
 ENTRY: Off-center, under main roof line, with wood door and exposed brick trim
 PORCHES: Shed roofed with exposed rafters and molded columns
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 107(w) 74
 STRUCTURAL MATERIAL: Brick masonry
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wood shutters

NOTABLE INTERIOR: Many original features intact, cathedral beamed livingroom
 OUTBUILDINGS: Double bay garage
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: S. 3/4
 NEGATIVE NUMBER: EEEN 6/16

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

with brick border wall. Shrubs are sculptured, located at front porch and foundation. The median is desert landscaped. All trees are mature. A rear patio is paved and surrounded by stuccoed masonry wall, which was added in 1968.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for J. Braxton Littlefield, a neurologist who worked for Thomas-Davis Clinic from 1926 to 1932

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to mid 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This long, rambling Spanish Colonial Revival Style residence has an impressive red tiled roof. It was designed, in February, 1936 by Cecil H. Moore, RA. for Dr. J. Braxton Littlefield. The home was built by Moore Building Co. Dr. and Ruby Littlefield lived in this home until 1943. Dr. Littlefield was a neurologist who is noted for his work at Thomas-Davis Clinic from 1926 to 1932. He was a member of the American Board of Surgeons and the American College of Surgeons, was president of St. Mary's in 1936, and part of the medical staff of Tucson Medical Center. He practiced surgery in Tucson for 33 years and was a founder of the Southwestern Surgical Congress. Littlefield died January 13, 1959.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Taylor Home
 ADDRESS/LOCATION: 442 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-142 0.377 ACRE(S)
 OWNER: Barassi, Louis W. & Henrietta E.
 OWNER ADDRESS: PO Box 1031
Tucson, Az 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Mission Revival
 CONSTRUCTION DATE: 1932
 ARCHITECT/BUILDER: Winchester, W.B.
 INTEGRITY: Minor alterations
 CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 167
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____

Description (contd.)

ROOF TYPE: Low gable with two exterior..
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Molded boxed cornice,
decorative roof parapet over entry
 WINDOWS: Metal casement with awnings
on upper story windows, hoods on lower..
 ENTRY: Central, wood door, wrought iron
gate, french doors on either side
 PORCHES: Sun deck at second story, iron
rail decks on either side of main entry
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 2 DIMENSIONS: (1) 47 (w) 27
 STRUCTURAL MATERIAL: Brick masonry, lower
story has 14" thick brick walls
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Awnings, wrought iron grill
work

NOTABLE INTERIOR: Fluted, beamed living
room ceiling
 OUTBUILDINGS: None
 ALTERATIONS: Guest suite added to garage
1934 (C.F. Kester, RA)

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 6/21

SKETCH MAP: See Final Map.



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Roof type contd: chimneys decoratively capped. Windows contd: story facade windows. There is a gravel driveway which leads to the entry and to a garage. A four foot wall surrounds the property. Vegetation is natural desert landscaping. Trees are mature. This residence, designed by W.B. Winchester is similar in design to 85 Camino Espanol (#160).

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) William E. Taylor was county comptroller in the 1930's

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to early 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Significant example of Mission Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: The design of this home draws upon Mission Style themes as well as those of the Spanish Colonial Revival Style. It is one of a small number of two story homes in El Encanto and dominates the western boundary along Country Club. The home was designed by W.B. Winchester, and is very similar to another home he designed at 85 Camino Espanol (#160). It incorporates special design elements such as colorful azulejos (as stair risers and terra cotta tile floor inserts). It also has shaped and fluted wooden beams supporting the living room ceiling. This was designed for William E. Taylor, county comptroller, in 1932 (per the tax rolls).

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates

HISTORIC NAME: Siddall Home #2

ADDRESS/LOCATION: 414 N. Country Club Road

CITY/TOWN: Tucson

TAX PARCEL NUMBER: 125-15-144 0.754 ACRE(S)

OWNER: Chesser, Ian M. & Lucille E.

OWNER ADDRESS: 414 N. Country Club Road
Tucson, Arizona 85716

HISTORIC USE: Residence

PRESENT USE: Residence

BUILDING TYPE: House

STYLE: Spanish Colonial Revival

CONSTRUCTION DATE: Apr, 1938

ARCHITECT/BUILDER: Bailey & McCoy

INTEGRITY: Minor alterations

CONDITION: Excellent

COUNTY: Pima SURVEY SITE: 169

USGS QUAD: Tucson, AZ

T 14s R 14e S 09 / NW ¼ OF THE SW ¼

UTM _____

Description (contd.)

ROOF TYPE: Flat with exterior chimney

ROOF SHEATHING: Unknown

EAVES TREATMENT: High parapet

WINDOWS: Metal casement with plain sills

ENTRY: Recessed with wood door and metal and glass storm door

PORCHES: Recessed with single wood post support

STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 61 (w) 79

STRUCTURAL MATERIAL: Brick

FOUNDATION MATERIAL: Concrete

WALL SHEATHING: Stuccoed brick

APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: Attached two bay garage which is stuccoed with flat roof

ALTERATIONS: Fence and low stuccoed wall added to define entry

PHOTOGRAPH _____

PHOTOGRAPHER: UofA students / LL&A

DATE: July, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 6/22

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): There are large mature trees at the front and rear of the home. A galleria is enclosed with casement windows and a door opening onto the patio to the south. There is a brick driveway which leads to the entry and brick walkway.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) This was designed and built as the second home of Jean Siddall, widow of John Siddall (managing editor for American Magazine)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETSCAPE CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This home was designed and built by Bailey & McCoy in 1938, for Jean Siddall, widow of John M. Siddall, managing editor for the American Magazine at his death in 1923. It shows contemporary design elements such as the corner casement windows, and round pipe support for the entry porch roof. Mrs. Siddall had earlier built a home at 100 Calle Encanto (#24), which was occupied by her son-in-law, V.S. Hostetter, when she moved to this home. Mrs. Siddall was born in Chase Michigan and received her degree from Oberlin Conservatory. She taught music back east for several years before coming to Arizona. She married John M. Siddall on November 22, 1904. Mrs. Siddall lived in this home until around 1940, and died on January 26, 1946.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS: ___
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Spaid Home
 ADDRESS/LOCATION: 342 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-146 0.377 ACRE(S)
 OWNER: Holstead, Neil & Rose
 OWNER ADDRESS: 342 N. Country Club Road
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1929
 ARCHITECT/BUILDER: Starkweather, M.H.
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 171
 USGS QUAD: Tucson, AZ
 T 14^{SR} 14^{ES} 09 / NW 1/4 OF THE SW 1/4
 UTM

Description (contd.)

ROOF TYPE: Medium hip, 1 interior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters, small rectangular vents at pediments
 WINDOWS: Wood casement
 ENTRY: Off-center with wood door
 PORCHES: Recessed with stuccoed piers, brick flooring
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 51(w) 66
 STRUCTURAL MATERIAL: Double brick
 FOUNDATION MATERIAL: Concrete; portions are of oak supported by wooden piers
 WALL SHEATHING: Stucco over brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Original details intact oak flooring, mahogany trim and..
 OUTBUILDINGS: Two bay garage, detached
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: FEEN E-29

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

There is a gravel driveway which leads to the garage. Vegetation is dense and trees are mature. Rocks serve to border the landscaping. Exterior walling is of unfired adobe with a stucco finish. Interior contd: shelving; two-sided fireplace in living room/dining room encased in marble; exposed beamed ceilings. The home is heated by original radiators fed by gas-fueled boiler. The attached photo is the best photo possible due to vegetation and a wall

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
 EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
 THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed by M.H. Starkweather for William and Estelle Spaid

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1920's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Spanish Colonial Revival style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is one of the earliest homes built in El Encanto. It went on the tax rolls in 1929 and the undated blueprint bears the notation "Job No. 2". It was designed by M.H. Starkweather. The first owners were William and Estelle Spaid. Spaid was a prominent attorney. He was in the Arizona Legislature (1924-40), and Speaker of the House in 1940. He was president of the Pima Bar Association in 1963 to 1964. Spaid died August 20, 1972. This later became the home of Andrew A. and Mary King Grondona (1943-74). Grondona was state deputy for AZ, and a member of the Knights of Columbus. He died on December 12, 1972.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
 CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:
 LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Cox Home
 ADDRESS/LOCATION: 314 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-148 0.429 ACRE(S)
 OWNER: Reilly, Frank A. & Molly B.
 OWNER ADDRESS: 314 N. Country Club Road
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch with Bungalow influence
 CONSTRUCTION DATE: 1938
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 173
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Medium gable, exterior chimney
 ROOF SHEATHING: Mission tile
 EAVES TREATMENT: Exposed rafters
 WINDOWS: Metal casement
 ENTRY: Recessed with wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 60 (w) 110
 STRUCTURAL MATERIAL: Brick
 FOUNDATION MATERIAL: Concrete (assumed)
 WALL SHEATHING: Exposed brick
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached garage
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / IL&A
 DATE: July, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN C-4a

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): This home has lush vegetation which consists of mature trees and shrubs. There is a four foot brick wall at the front of the property line.

Attached is the best possible photograph. Walling and heavy vegetation serve to protect the home from Country Club Rd. traffic, and thus the building is hidden.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Example of Ranch Style residence with Bungalow tendencies

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to El Encanto

DISCUSSION AS REQUIRED: This home, designed and built by Bailey & McCoy, was constructed in 1938. It displays Ranch characteristic as well as Bungalow influence. The roof is of medium pitch with the typical (to El Encanto) tile roof sheathing; vegetation is so lush as to visibly hide the residence. The home was built for Lester T. Cox, who resided here until around 1943. Cox was a produce company executive, operating W.H. Cox & Sons Wholesale Produce Co. in Tucson and Los Angeles. Cox sold the firm and retired in 1959. He died on January 3, 1966.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a
NATIONAL REGISTER STATUS:
LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Stonecypher Home
 ADDRESS/LOCATION: 145 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-156 0/902 ACRE(S)
 OWNER: Arida, Vistor H. & Patricia C.
 OWNER ADDRESS: 145 N. Camino Espanol
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Feb, 1938
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Minor alterations
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 183
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Low hip, interior chimneys
 ROOF SHEATHING: Ceramic tile
 EAVES TREATMENT: Exposed rafters, circular tile vents at pediment
 WINDOWS: Metal casement with wrought iron grill work
 ENTRY: Recessed with wood door
 PORCHES: Entry porch with gable roof, arched openings enclosed with wrought..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 60 (w) 30
 STRUCTURAL MATERIAL: Double brick with air gap
 FOUNDATION MATERIAL: Poured concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: Wrought iron grill work on all openings

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Attached 2 car garage with ceramic tile hip roof
 ALTERATIONS: Wrought iron grill work over windows and porch

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 5/10

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):Porch contd: iron grill and built in concrete bench. There is a circular driveway leading to entry with low brick border wall. Vegetation is dense and lush. Trees are mature.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE _____ COMMUNITY PLANNING _____ ECONOMICS _____
EXPLORATION/SETTLEMENT _____ GOVERNMENTAL _____ MILITARY _____ RELIGION _____ SCIENCE _____
THEATRE _____ TRANSPORTATION _____ TOURISM _____ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for George A. Stonecypher, vice-president of Consolidated National Bank of Tucson (now Valley National Bank)

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This long, rambling Spanish Colonial Revival Style residence was designed by Bailey & McCoy in February, 1938. The house is one of only a few homes that faces diagonally to the north east, and is of impressive scale, with typical protruding rafters, ridge capped Mission tile, arched porch and wrought iron grill work. It was built for George A. and Hazel Stonecypher and was their residence until 1949. Stonecypher was a vice-president of the Consolidated National Bank of Tucson (now Valley National Bank). He was president/founder of the Stonecypher Bakery, Inc., the second-largest bakery in AZ at the time of its sale to Rainbow Bakery Co. in 1940. As a founder of El Rio Country Club, he is credited with bringing the first grass golf course to Tucson. Stonecypher died 3/26/86.

CONTEXT: ISOLATED/RURAL _____ RESIDENTIAL STREET xxx COMMERCIAL _____ CENTRAL SQUARE _____
CBD: _____ OTHER: _____

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: _____ n/a

NATIONAL REGISTER STATUS: _____

LISTED _____ DETERMINED ELIGIBLE _____ DETERMINED NOT ELIGIBLE _____ NOT EVALUATED _____

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Rudolph Home
 ADDRESS/LOCATION: 542 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-159 0.666 ACRE(S)
 OWNER: Schoening, William E.
 OWNER ADDRESS: 542 N. Country Club Road
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Jan, 1937
 ARCHITECT/BUILDER: Joesler, Josias Thomas
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 186
 USGS QUAD: Tucson, AZ
T 14s R 14e S 09 / NW 1/4 OF THE NW 1/4
 UTM _____

Description (contd.)

ROOF TYPE: Flat
 ROOF SHEATHING: Rolled asphalt
 EAVES TREATMENT: Tapered parapet, vigas
 WINDOWS: Metal casement, wood lintels
 ENTRY: Central with solid wood door
 PORCHES: Recessed, lower roof parapet
open, wood columns with capital, ..
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) 110(w) 75
 STRUCTURAL MATERIAL: Adobe
 FOUNDATION MATERIAL: Concrete
 WALL SHEATHING: Stucco
 APPLIED ORNAMENT: None

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Stuccoed garage and shed
with wood frame extension on front and..
 ALTERATIONS: None

PHOTOGRAPH _____
 PHOTOGRAPHER: UofA students / LI&A
 DATE: July, 1987 VIEW: NE, 3/4
 NEGATIVE NUMBER: EEEN E-25

SKETCH MAP: See Final Map



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Porch contd: concrete floor. Outbldg contd: similar capital column supports as main structure. Rocks line the graveled driveway to the entry and garage. The desert landscaping is natural and mature.

The attached photograph is the best possible photograph. Heavy vegetation covers many of the home's features.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Designed for Brennemann (unknown historic significance), later home (1939-51) of R.W. Rudolph, a prominent Tucson surgeon

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to later 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Excellent example of Pueblo Revival Style residence

MAJOR ARCH. FORM/MATERIAL Adobe

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally and to historic fabric

DISCUSSION AS REQUIRED: This is an excellent example of massive, southwestern adobe construction, but with crisper lines and flatter planes than are found in the Santa Fe variations. According to the present owner, blueprints that are no longer available show Jos. T. Joesler as the designing architect. Early concrete work bears the date of 1/15/37. Mature desert vegetation enhances the setting of the home. This was built for Russell and Anita S. Brenneman (unknown historic significance) and two years later, was the home of Dr. Royal W. Rudolph Sr., a prominent Tucson surgeon, member of the American College of Surgeons from 1935 until his death, and member of the AZ Governor of College Surgeons (1953-59). Rudolph was also chair of AZ State Bd. of Health, pres. Pima County Medical Society and on St. Mary's staff.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS: _____

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:
None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 528 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-160 0.505 ACRE(S)
 OWNER: Haney, J. William & Prudence W.
 OWNER ADDRESS: 528 N. Country Club Road
Tucson, Arizona 85716
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: Apr, 1939
 ARCHITECT/BUILDER: Bailey & McCoy
 INTEGRITY: Unaltered
 CONDITION: Good

COUNTY: Pima SURVEY SITE: 188
 USGS QUAD: Tucson, AZ
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

Description (contd.)

ROOF TYPE: Flat with interior chimney
 ROOF SHEATHING: Unknown
 EAVES TREATMENT: High capped parapet with plaster coping
 WINDOWS: Metal casement with wrought iron grills
 ENTRY: Deeply recessed with plaster outlined in low relief, wood door
 PORCHES: None
 STOREFRONTS: Not Applicable

DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 37 (w) 70
 STRUCTURAL MATERIAL: Double brick with air gap
 FOUNDATION MATERIAL: Concrete (assumed)
 WALL SHEATHING: Stuccoed brick
 APPLIED ORNAMENT: Wrought iron grill work

NOTABLE INTERIOR: Unknown
 OUTBUILDINGS: Detached two bay, shed roof carport
 ALTERATIONS: None

PHOTOGRAPH

PHOTOGRAPHER: UofA students / LL&A
 DATE: July, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN E-24

SKETCH MAP: See Final Map.



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form): Vegetation is natural desert landscape, with semi-circular graveled driveway with rock border wall, some shrubs and bushes at foundation. The chimney is capped in a manner similar to the parapet. There is a lamp on one side of the entry.

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER(specify) Architecture

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) No one of historical significance lived here

RELATIONSHIP TO LOCAL DEVELOPMENT Relates to late 1930's development in El Encanto

CULTURAL AFFILIATIONS None

ARCHITECTURAL MERIT Good example of simple Spanish Colonial Revival Style residence

MAJOR ARCH. FORM/MATERIAL None

ENGINEERING/STRUCTURAL None

DISTRICT/STREETScape CONTRIBUTION Contributes architecturally to the neighborhood

DISCUSSION AS REQUIRED: This is a good example of a simplistic Spanish Colonial Revival Style residence in El Encanto. A prominent feature is the capping of plastered coping at parapet and on the chimney. The blueprints show that the design and construction was done by Bailey & McCoy for Dr. W.J. Nelson, Jr. (of unknown historic significance). The first deeds were to William E., Annie L. and Adelaid Smith (of unknown historic significance) for the period 1939-48.

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET xxx COMMERCIAL ___ CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES: Kirker, Harold, California's Architectural Frontier: Style and Tradition in the Nineteenth Century; McAlester, Virginia & Lee, A Field Guide to American Houses; Child, Stephen, Somewhere: How it Became More Beautiful and Livable; Rogers, Walt, Looking Backward to Cope with Water Shortages; Barrow, William C., Historical Tucson; Barrow, William C., El Encanto: An Enchanting Place to Get Lost; Article of Incorporation (1947); Deed Restrictions, El Encanto Estates (1928); Oral Interviews with Clare Ellinwood, Bill Barrow, and Oliver Drachman; Tucson City Directories: 1920 - 1946; Clippings file.

LISTING IN OTHER SURVEYS: n/a

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

None

SURVEYOR LL&A SURVEY DATE 5/4/87 DATE FORM COMPLETED 9/17/87

EL ENCANTO ESTATES

NONCONTRIBUTING PROPERTIES

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 16 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-001a (0.826) acres
 OWNER: Montano, Leo C. & Rose Marie
 OWNER ADDRESS: 16 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1947

BRIEF DESCRIPTIVE STATEMENT: Single story, exposed brick Ranch Style residence with low gable roof with interior chimney and asphalt shingle sheathing, attached two car garage, open, non-railed, recessed porch with wood post supports, off-center entry with wood screen door and wood door with decorative tile surround, metal casement windows with wrought iron grills, plain sills. There is a large front lawn with low brick border wall, mature trees and scattered rocks at street and some shrubs at foundation. The driveway is of concrete. Designed by Frederick P. Cole, RA.

ALTERATIONS: Roof added to connect garage and house

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 1
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, FF

NEGATIVE NUMBER: EEEN 4/30

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Williams Home #2
 ADDRESS/LOCATION: 3327 E. Broadway Blvd.
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-003 (0.715) acres
 OWNER: Montano, Leo C. & Rose Marie
 OWNER ADDRESS: 16 N. Miramonte, Tucson, AZ 85715
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: Jan, 1950

BRIEF DESCRIPTIVE STATEMENT: One story exposed masonry Ranch Style residence with low L-shaped gable roof, decorative corbeled brick interior chimneys, exposed rafters, purlins, metal casement and fixed windows with facade windows with storm screens, wood lintels, and brick sills, two entries, one south and one west, both recessed and off-center with wood panel doors. The roof sheathing is of heavy shake shingles. There is a detached carport and laundry room of wood frame with shed roof. The vegetation is sparse, with some shrubs and dirt and gravel driveway.

ALTERATIONS: East wing enclosed, originally a recreation porch

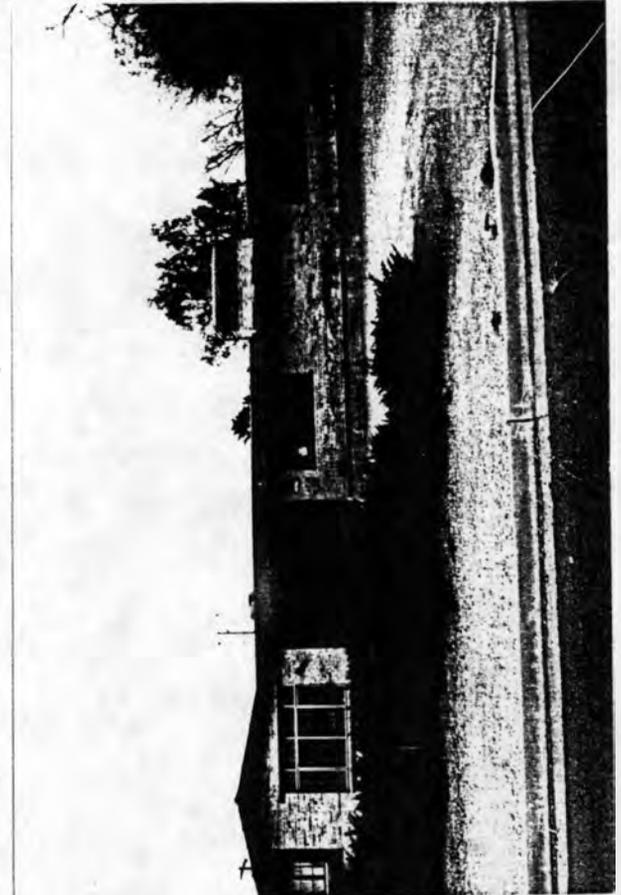
CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 3
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM _____

PHOTO:



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 5/17

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 3

Address: 3327 E. Broadway Blvd.

Additional Information:

*This was the second home of Roy O. Williams, a dentist. See #75 for his first home. It was designed in 1950 by Josias Thomas Joesler, RA.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Tweed Home
 ADDRESS/LOCATION: 3339 E. Broadway Blvd.
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-004a (0.509) acres
 OWNER: Jorgensen, John C. & Jane S.
 OWNER ADDRESS: 6449 E. Scarlett, Tucson 85710
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1935

BRIEF DESCRIPTIVE STATEMENT: One story stuccoed mud adobe Pueblo Revival Style U-shaped residence with irregularly rounded parapet with protruding side canale and vents at facade, recessed shed roofed porch with two wood post supports, off-center entry with wood door, with tile roof sheathing, metal casement windows, second entry at rear with shed roof, near detached two car garage. There is a graveled driveway, and sparse vegetation.

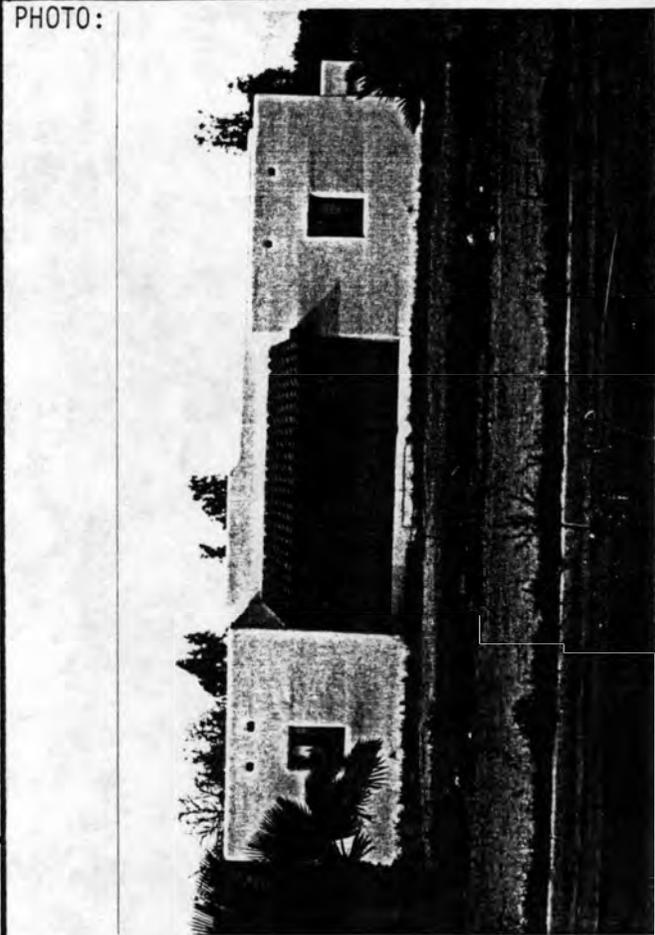
ALTERATIONS: Rear porch infilled, windows modified at facade and rear, new stucco finish

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 4
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 5/25

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 4

Address: 3339 E. Broadway Blvd.

Additional Information:

*This was designed for Charles H. Tweed, Jr., a renowned orthodontist, recipient of 14 awards and honors, including the Albert H. Ketcham Award, and publisher of a textbook on clinical orthodontics. Tweed was founder of the -- still active -- Charles H. Tweed Foundation, a research organization for orthodontics with headquarters in Tucson. Tweed is responsible for the revolutionary Tweed Method," which uses wire traction for tooth rearrangement (ie. braces). He and his wife, Elizabeth O., lived in this home until the 1946, when title passed to his wife. Elizabeth Tweed remained owner of the home until 1960. Charles Tweed died 1-11-70.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 115 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-007 (0.597) acres
 OWNER: Meyskens, Frank L. & Alice
 OWNER ADDRESS: 115 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1955

BRIEF DESCRIPTIVE STATEMENT: Ranch Style residence of masonry strecher bond, painted white, with flat roof capped parapet, single interior chimney, attached guest house and two bay carport with lattice cover and wood post supports. The entry is central with panel wood door with single light and two side lights. Windows are 4-4 metal casement with 4 light fixed; there are wood shutters on some windows. The landscaping consists of sparse vegetation with large lawn areas with low brick border walls. There is a graveled circular driveway.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 5
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 2/14

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 5

Address: 115 Calle Resplendor

Additional Information:

*This home was designed by Anne J. Rysdale, RA

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 105 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-008 (0.714) acres
 OWNER: Van Nort, Steven Danforth & Carolyn G.
 OWNER ADDRESS: 105 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1951

BRIEF DESCRIPTIVE STATEMENT: Exposed masonry Ranch Style residence with medium gable roof, with asphalt shingles, an interior chimney, exposed rafters, recessed entry, off-center with wood door, and side lights, no porch. Windows are metal casement with plain lug sills and decorative wood shutters. There is an attached garage with lattice work at the rear. A graveled circular driveway with low brick border wall skirts the entry and leads to the rear. There are mature palms with low brick planter walls. Some shrubbery exists at the foundation.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 6
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____

PHOTO:



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 2/13

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 6

Address: 105 Calle Resplendor

Additional Information:

*This home was designed by Anne J. Rysdale, RA

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 95 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-009 (0.670) acres
 OWNER: Shenker, Lewis & Cynthia
 OWNER ADDRESS: 95 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1951

BRIEF DESCRIPTIVE STATEMENT: Exposed masonry brick, one story Ranch style residence with low gable roof with asphalt shingle sheathing, exposed rafters, single exterior chimney. There is a detached garage to the east with heavy brick piers. The porch is recessed under the main roof line with brick piers and no rail. The entry is central with wood door. Some windows are new, most are metal casement. This home was designed by Anne J. Rysdale, RA.

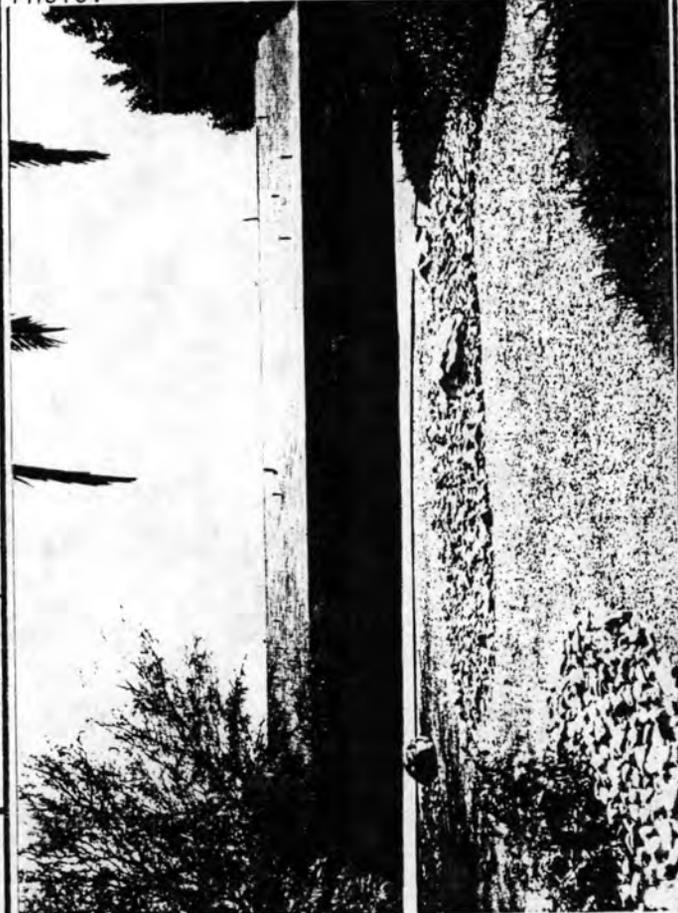
ALTERATIONS: New windows

CONTEXT: RESIDENTIAL STREETSCAPE EXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 8
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM _____

PHOTO:



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 4/34

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 40 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-012 (0.533) acres
 OWNER: Crum, Robert E. & Elysa E.
 OWNER ADDRESS: 40 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1963

BRIEF DESCRIPTIVE STATEMENT: Exposed stump brick 1 1/2 story Modern Style residence with flat and shed roofs, parapet and flush eaves, molded belt course, tile roof sheathing on shed roofs, wrought iron grill on windows and patio at facade, bay window with hood, off-center facade window with arched lintel and fixed plate glass. The entry is central, recessed with wood door and single column on pedestal and large stained glass window to the side. The porch has a heavy flat roof of cast concrete. Second story has ceramic tile, exposed rafters and sculptured metal canales.

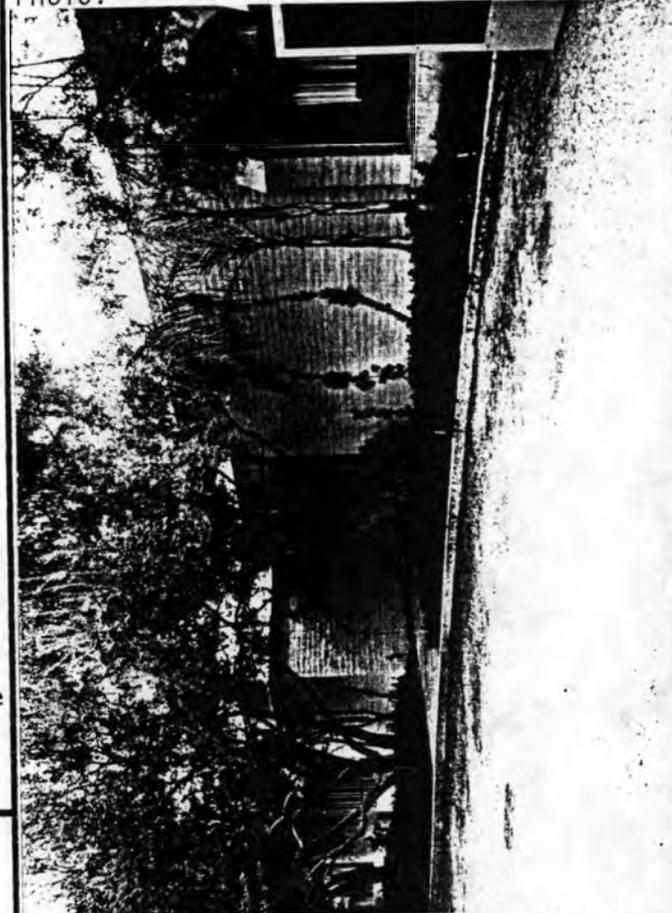
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 11
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____

PHOTO:



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: SE, 3/4

NEGATIVE NUMBER: EEEN 4/32

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 50 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-013 (0.438) acres
 OWNER: Wilson, C. Darrel & Mary Page
 OWNER ADDRESS: 50 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Georgian Revival
 CONSTRUCTION DATE: 1955

BRIEF DESCRIPTIVE STATEMENT: One 1/2 story red brick Georgian Revival Style residence with medium gable roof with asphalt shingle sheathing, triangular vents at pediment, single interior chimney, boxed cornice and plain frieze, open porch with wrought iron posts, curved frieze, no rail, central entry with wood door and double hung, wood frame windows with wood shutters. There is a dormer with horizontal wood siding. The garage roof is flared as the front porch is. There is a graveled driveway and concrete walkway. Vegetation is mature, with trees and lawn.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 12
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: SE, 3/4
 NEGATIVE NUMBER: EEEN E-28

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 12

Address: 50 N. Camino Miramonte

Additional Information:

*This home was designed by Burr De Bois, RA.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 N. Calle Mirasol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-018 (0.477) acres
 OWNER: Phillips, Dean R. & Nancy J.
 OWNER ADDRESS: 20 N. Calle Mirasol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1945

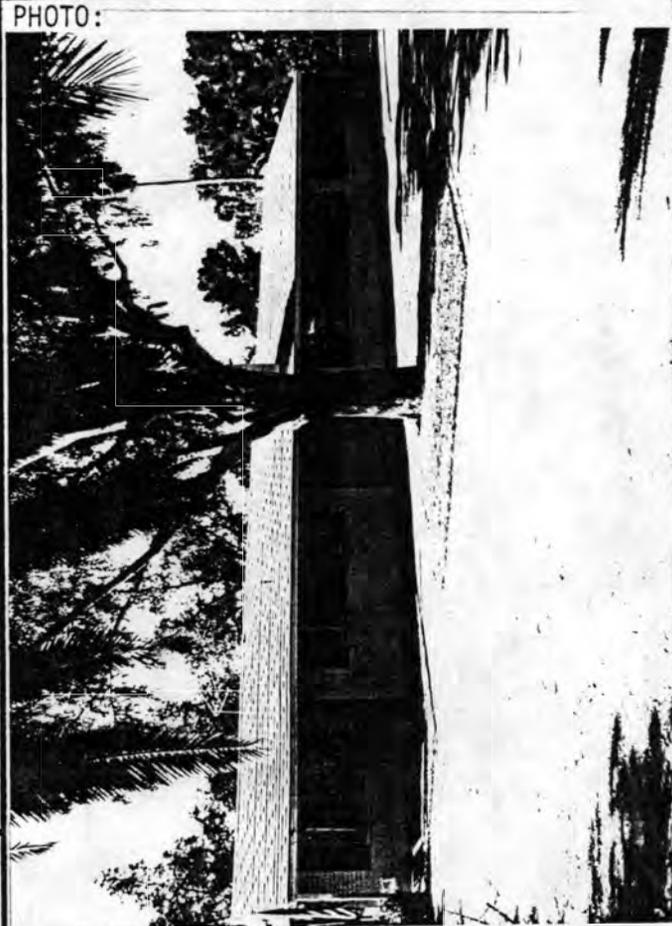
BRIEF DESCRIPTIVE STATEMENT: One story modern Ranch Style residence with medium gable roof, interior chimney, asphalt shingle sheathing, common bond exposed masonry walls, corbeled cornice, metal casement windows with wood shutters, recessed central entry with wood door, louvre side panel, side porch with hip roof and simple wood posts. The porch is recessed with no rail. There is a detached carport of wood frame and corrugated plastic cover. Gable ends have screened vents. The driveway is graveled. A large tree stands on a small lawn. Other vegetation is desert.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 17
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN 5/6

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Simons Home
 ADDRESS/LOCATION: 60 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-019 (0.521) acres
 OWNER: Simons, Bernard W.
 OWNER ADDRESS: 60 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1941

BRIEF DESCRIPTIVE STATEMENT: One story exposed masonry modern Ranch Style residence with low hipped roof with asphalt shingle sheathing, and tile ridge, interior chimney, metal casement windows and off-center, recessed entry with wood door and metal screen door, recessed entry with rail. The garage is under the main roof line. There is a graveled circular driveway, sculptured shrubs at foundation and landscaped median. This home was designed by Saul A. Brown, RA.

ALTERATIONS: Rear sunporch added

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

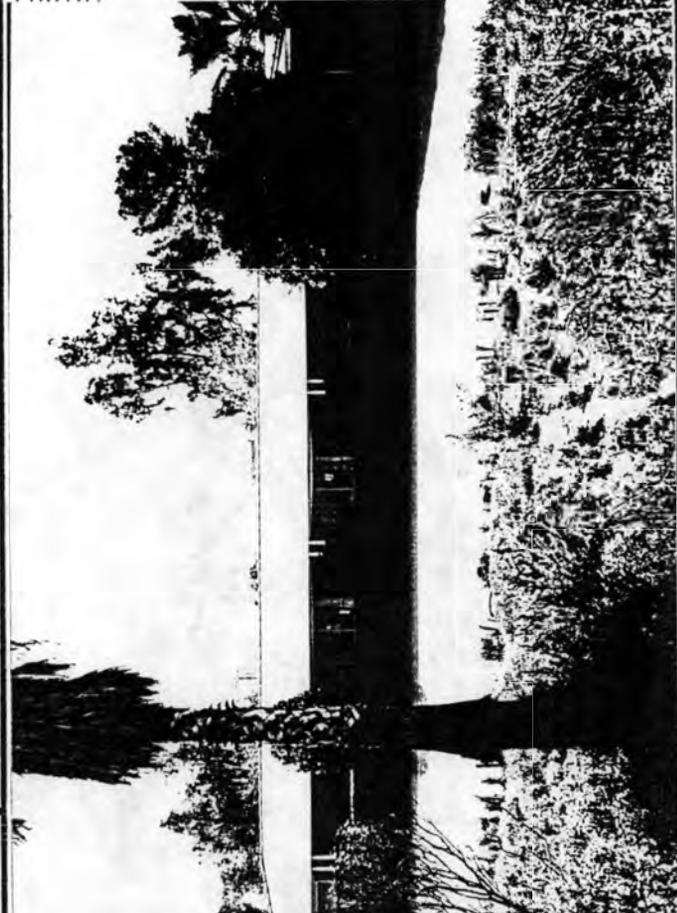
SURVEYOR: updated by LL&A

DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 19
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

PHOTO:



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, 3/4

NEGATIVE NUMBER: EEEN 5/6

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 19

Address: 60 N. Camino Miramonte

Additional Information:

*Built for Bernard Simons, a prominent photograph engraver for various newspapers in Tucson.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 70 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-020 (0.539) acres
 OWNER: Rosen, Yetta & Rosen Tobin
 OWNER ADDRESS: 70 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1958

BRIEF DESCRIPTIVE STATEMENT: One story Ranch Style exposed masonry residence with flat roof and capped parapet, two exterior chimneys, massive concrete arched entry with wrought iron gate and double wood doors, no porch. There is an attached garage. Vegetation consists of shrubs at foundation, some mature trees, a brick planter at facade, low brick border wall at driveway line. This was built by Embassy Homes.

ALTERATIONS: Additions, 1970

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 20
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 5/2

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 15 N. Calle Mirasol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-021 (0.536) acres
 OWNER: Horn, Sarah & Connie Ostenak
 OWNER ADDRESS: 15 N. Calle Mirasol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1947

BRIEF DESCRIPTIVE STATEMENT: One story modern Ranch style residence with medium hip and medium gable roofs with ridge capped asphalt shingle sheathing, interior chimney, clapboard at pediments, masonry wall sheathing with full height fieldstone veneer, metal casement windows with plain sills, off-center entry, recessed with wood door with four lights, carport under main roof line, with wood post supports, lattice work at side. There is a circular driveway, graveled with various rocks as border. The median is desert landscaped. A small lawn and shrubs are at foundation.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 21
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, 3/4

NEGATIVE NUMBER: EEEN 1/7

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 21

Address: 15 N. Calle Mirasol

Additional Information:

*This was designed by Arthur T. Brown, RA.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: UofA President's Home
 ADDRESS/LOCATION: 85 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-026a (0.710) acres
 OWNER: Barton, Francis O., Jr. & Joyce
 OWNER ADDRESS: 85 E. Calle Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern with Spanish Colonial influence
 CONSTRUCTION DATE: 1953

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with low hip roof with exposed rafters, one interior chimney, 1 exterior chimney, Mission tile sheathing, metal 6/1 double hung windows, with wrought iron grill work, central entry with wrought iron gate, double front door with top half louvred and side panels identical to door, lights at either side of entry. There is a large lawn at the front, some shrubbery and some mature trees and a low brick border wall. This was designed by Starkweather & Morse, RA.

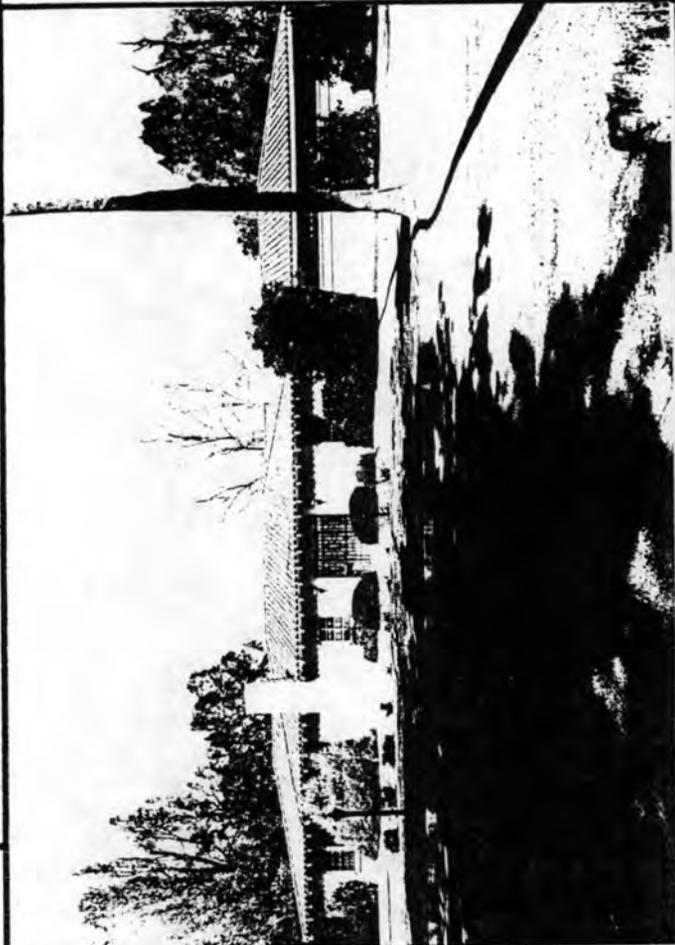
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 28
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 3/7

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 28

Address: 85 E. Calle Encanto

Additional Information:

*This home was deeded to the University of Arizona Board of Regents from 1948 to 1972. It was home of Dr. Richard A. Harvill, 14th president of the University of Arizona. Dr. Harvill was dean of the liberal arts college, when he was named president in 1950. Harvill was a native of Centerville, Tenn., born on Aug 29, 1905. He graduated with distinction from Mississippi State College in 1926 with a bachelors degree in science. He received his masters degree from Duke University in 1927 in economics, and his Phd. from Northwestern University in 1932. (He would later receive an honorary degree of doctor of laws from Duke University in 1959). Harvill's teaching career began at Miss., when he instructed students in economics. He taught at Miss. State for two years before going to Duke University and teaching for four years. In 1934, Harvill came to the UofA. He taught as assistant professor of economics from 1934 to 1937, and then acted as visiting professor of economics at the U of Buffalo. The out break of the war found him in Phoenix, working with the Office of Price Administration, a job he held for four years. In 1946, he returned to the UofA as dean of the graduate college and professor of economics. By 1947, he was named dean of the liberal arts college, a post he held until his appointment as the UofA's 14th president. Harvill took office June 30, 1951. During his long -- twenty years -- presidency, Harvill would see the construction of 42 new campus buildings, and increased student enrollment, as well as the addition of 4 new colleges and 405 new sponsored research projects. Harvill retired on June 30, 1971 at the age of 65. The UofA retained this home for one year after Harvill's retirement. Harvill's replacement, John P. Schaefer, would opt to maintain his own Tucson home, rather than move into the "President's Home," thus 85 Calle Encanto was sold in 1972.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 14 N. Calle Conquista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-029 (0.366) acres
 OWNER: Dubrowin, Raphael & Bernice
 OWNER ADDRESS: 14 N. Calle Conquista
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1962

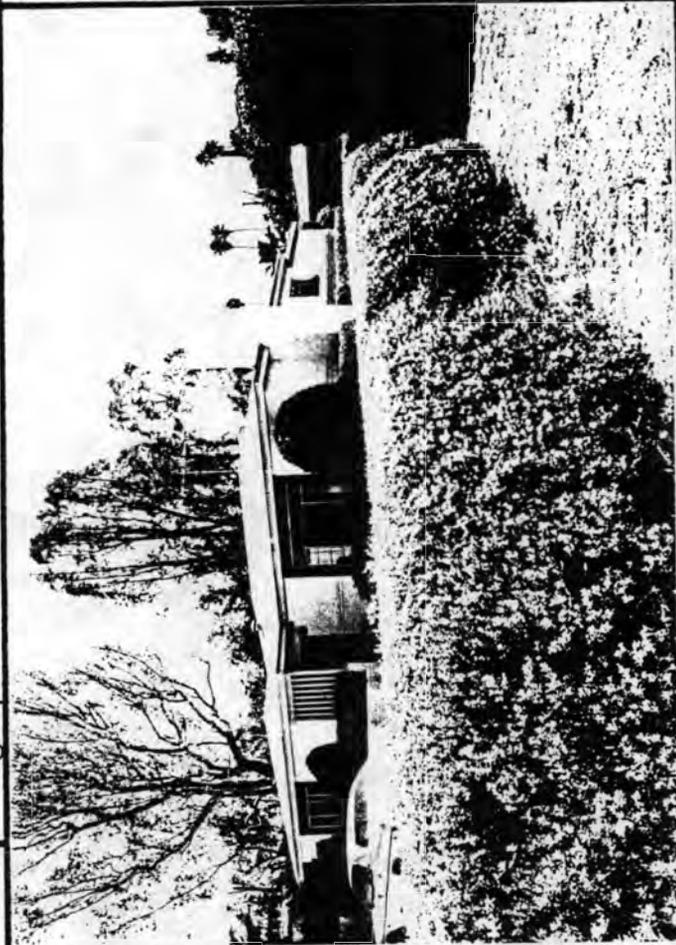
BRIEF DESCRIPTIVE STATEMENT: One story painted brick Modern Style residence with low hipped roof with single exterior chimney, asphalt shingle sheathing, boxed cornice, metal casement windows with red brick trim surround, small entry porch with half brick, half vertical grill wall on north side, garage/ guest house with skylights. There is a large fixed multi-paned window at front facade. The driveway is circular and graveled. The median is desert landscaped with brick planters and lamp post. This home was built by Blanton & Cole.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 34
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 3/18

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 100 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-030 (0.421) acres
 OWNER: Hayes, John G. Jr.
 OWNER ADDRESS: 100 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Neo-Colonial Revival
 CONSTRUCTION DATE: 1950

BRIEF DESCRIPTIVE STATEMENT: One story Neo-Colonial Revival Style residence with flat roof, interior chimney, painted brick wall sheathing, metal casement windows, some with diagonal wrought iron grills, some metal fixed windows. There are circular vents and caprow at parapet. The entry is central, recessed w/ stone sheathing and panel wood door. A painted brick ballustrade is above the entry. There is an attached garage with shed roof and rolled asphalt roof sheathing. There is a large front lawn, planters, sculptured hedges and mature trees. Designed by William Carr, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 35
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 3/15

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Haskell Home
 ADDRESS/LOCATION: 110 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-031 (0.498) acres
 OWNER: Haskell, William R. & Ellen
 OWNER ADDRESS: 110 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern Ranch
 CONSTRUCTION DATE: July, 1947

BRIEF DESCRIPTIVE STATEMENT: One story painted brick Modern Ranch Style residence with medium gable roof with asphalt shingle sheathing, rectangular vent at pediment, central interior chimney, recessed porch with seven wood post supports, attached garage under roof line, 4-4 metal casement windows, two entries, one central with wood door, one off-center with screen door and wood door. There is a wall at rear, large lawned front yard without vegetation.

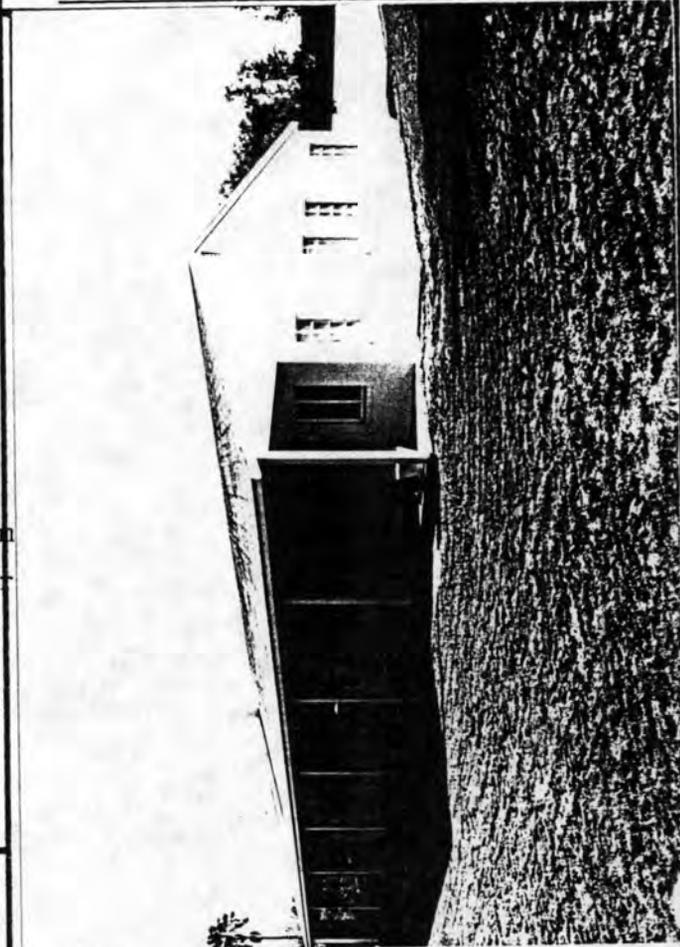
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 37
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 1/36

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 37

Address: 110 N. Camino Miramonte

Additional Information:

*This home was designed by M.H. Starkweather for Stanley K. Knight and his wife, Ellen (of unknown historical significance), who lived here until the early 1950's. This later became the home of Fletcher O. Haskell, founder of Haskell Linen Supply Co., one of the largest linen services in the southwest, with offices in New Mexico and southern Arizona.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Bailey Home
 ADDRESS/LOCATION: 100 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-033 (0.390) acres
 OWNER: Woon, David D. & Christine
 OWNER ADDRESS: 100 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1950

COUNTY: Pima SURVEY SITE: 40
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

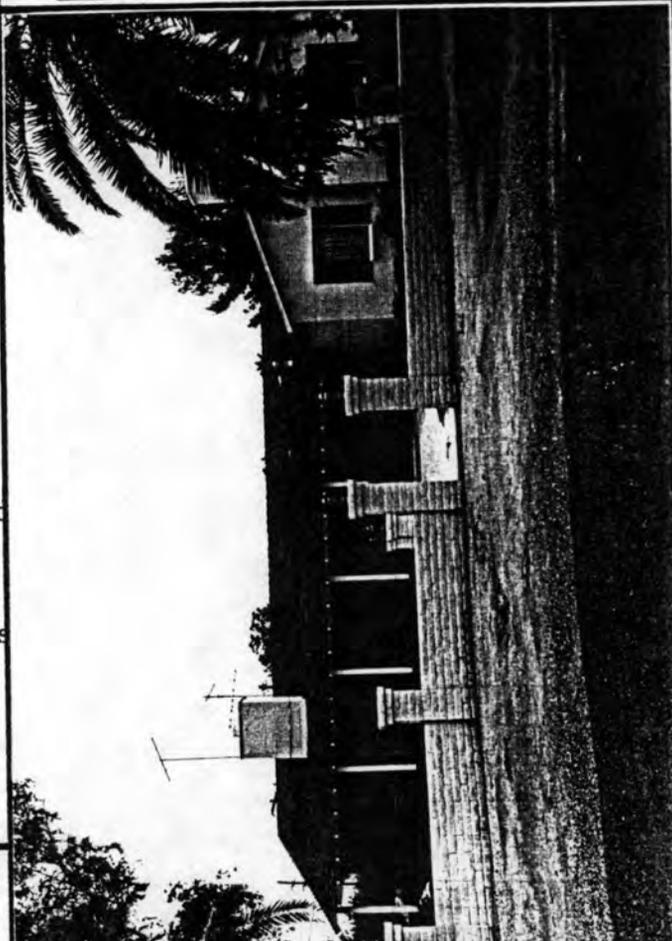
BRIEF DESCRIPTIVE STATEMENT: One story L-shaped Ranch Style residence with L-shaped medium gable roof with wood shingles, two exterior chimneys, exposed rafters, metal casement windows with decorative wood shutters, open, non-railed porch with seven wood post supports central entry with metal screen door and wood door with lights. Windows have lug sills. There is a rusticated brick wall at front property line, a walkway to front entry and brick patio. Vegetation is sparse, with shrubs at the foundation. This was designed and built by Bailey & McCoy.

ALTERATIONS: Some windows replaced

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 7/28

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 40

Address: 100 E. Calle Primorosa

Additional Information:

*This home was designed and built by Bailey & McCoy for George D. Bailey, one of the company founders. He and his wife Shirley lived here from 1950 through 1962. Bailey & McCoy was responsible for the design and construction of 21 homes in the El Encanto Neighborhood, more than any other firm or architect.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 80 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-035 (0.955) acres
 OWNER: Hall, Susan Daly
 OWNER ADDRESS: 80 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1950

BRIEF DESCRIPTIVE STATEMENT: One story modern Ranch Style brick residence with medium gable roof with asphalt shingle, overhang, fascia, interior chimney, metal casement and side slide windows, off-center entry with wood door with moulded trim, attached carport with guest unit of brick, with gabled roof with asphalt shingles. The porch is recessed with wood posts and exposed rafters. There is a circular driveway that is graveled, a central median with lawn and palm tree. A low brick border wall lines driveway. There are shrubs at the foundation.

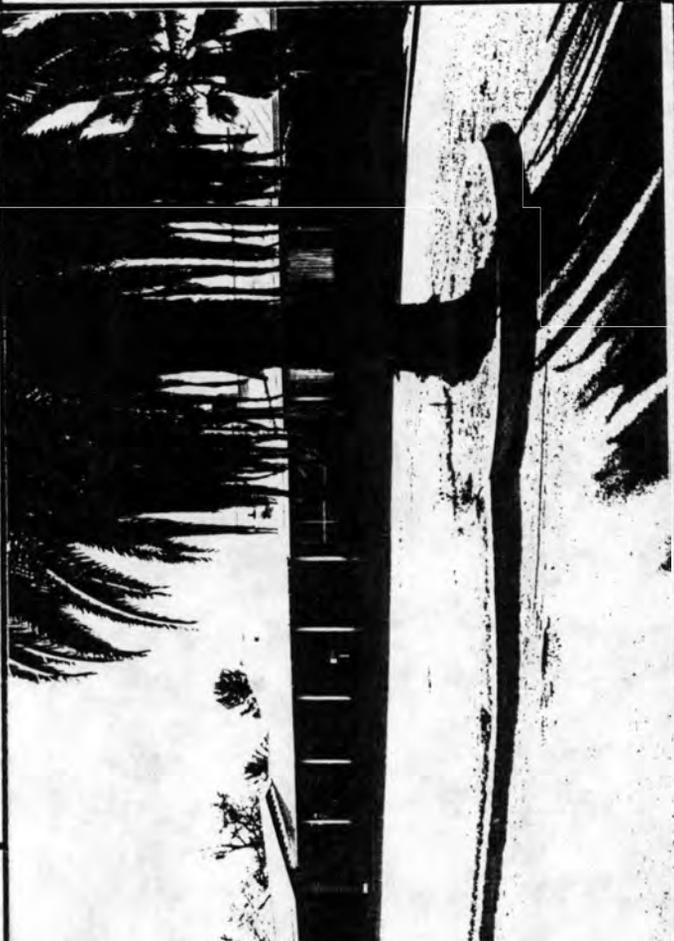
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 42
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: SE, 3/4
 NEGATIVE NUMBER: EEEN 1/34

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 42

Address: 80 E. Calle Primorosa

Additional Information:

*This home was designed by William H. Carr, RA for Arnold L. Lieberman.

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Bellinger Home
 ADDRESS/LOCATION: 130 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-036 (0.635) acres
 OWNER: Dixon, Anthea
 OWNER ADDRESS: 130 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Mar, 1942

BRIEF DESCRIPTIVE STATEMENT: One story stuccoed brick Pueblo Revival Style residence with flat roof irregularly rounded and tapered parapet, recessed, central entry with wood door, wood frame screen door and windows on either side, recessed porch (under main roof line), wheel chair ramp, metal casement windows with wood lintels, attached stuccoed garage converted to guest suite. The vegetation is lush, with mature trees and shrubs at foundation. There is a graveled median with low brick border wall, and a graveled circular driveway.

ALTERATIONS: Garage converted to guest suite in 1978

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 44
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, FF

NEGATIVE NUMBER: EEEN D-18

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 44

Address: 130 N. Camino Miramonte

Additional Information:

*Built for John W. Bellinger, in 1942, and is an excellent example of a Pueblo Revival Style residence in El Encanto. Designed by locally prominent architects Arthur Brown and Richard Morse.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 85 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-037 (0.572) acres
 OWNER: Simpson, Gary C. & Gloria W.
 OWNER ADDRESS: 85 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1954

COUNTY: Pima SURVEY SITE: 45
 USGS QUAD: Tucson, Az
 T14s R14e S09 / NE ¼ OF THE SW ¼
 UTM _____

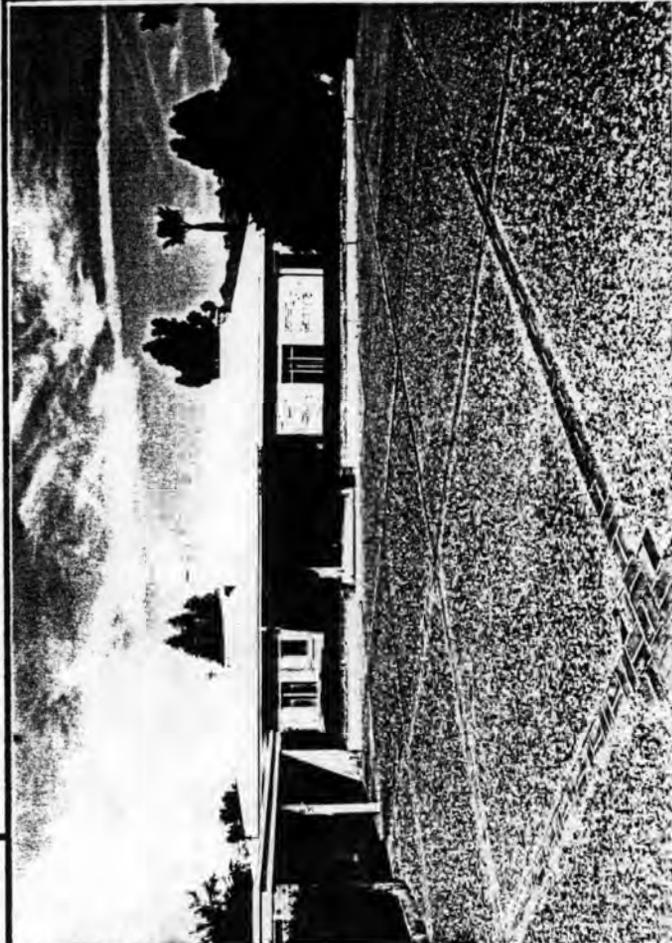
BRIEF DESCRIPTIVE STATEMENT: One story brick, Modern Style residence with gabled hip roof, asphalt shingle sheathing, two corbeled chimneys, louvred vents at gable ends, metal casement windows with decorative wood shutters detached two bay garage, recessed entry with wood door, recessed porch with brick flooring, bay window at front facade. There is an additional porch at the back with flat roof and wood posts with entablature. The driveway is of a concrete/gravel mix with brick laid in a grid pattern. There are three foot planters with sculptured hedges and some mature trees.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 1/3

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 45

Address: 85 E. Calle Primorosa

Additional Information:

*This home was designed by Frederick A. Eastman, RA.

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 95 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-038 (1.056) acres
 OWNER: Gregory, Steven M. & Jan
 OWNER ADDRESS: 95 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: c. 1936

BRIEF DESCRIPTIVE STATEMENT: One story stuccoed brick Spanish Colonial Revival residence with medium gable roof with Mission tile sheathing, interior tapered chimney, and flat roof extension, exposed rafters on gable portion and parapet on flat roof, off-center entry with wood door, recessed porch (under main roof line), with two wood post supports and closed brick rail. There is a stuccoed masonry detached two bay garage with flat roof. There is a circular driveway with grassy median with brick planters, a three foot planter at facade and shrubs surround.

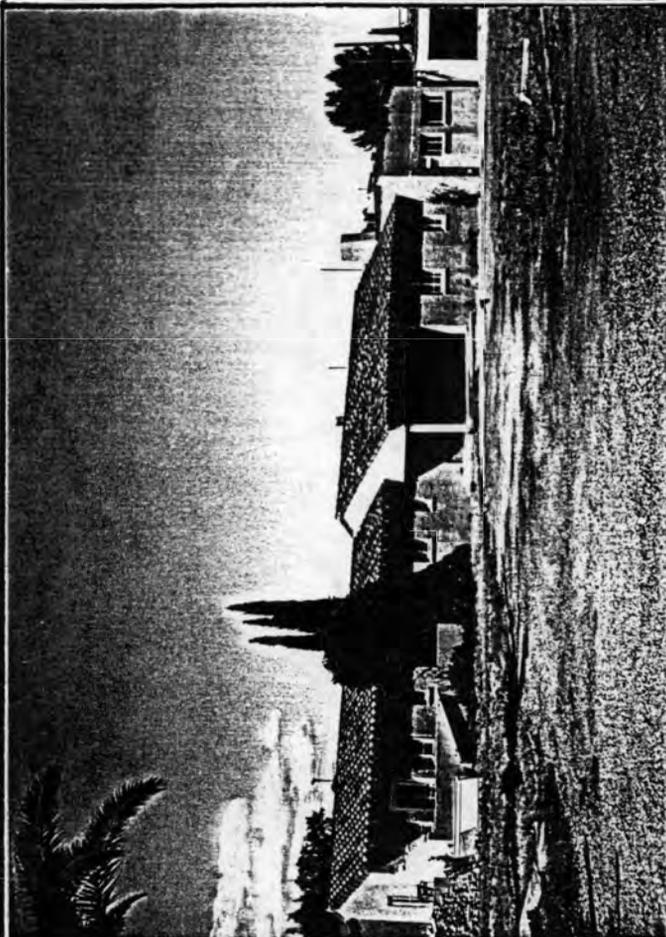
ALTERATIONS: Porch rail, carport added to east side in 1952, current remodeling under way (1987)

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 47
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, 3/4

NEGATIVE NUMBER: EEEN 1/2

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 47

Address: 95 E. Calle Primorosa

Additional Information:

*According to Tucson telephone directories, this was the home of Mathew H. Swift from circa 1936 to 1947. A later resident was Boyd M. and Jane Morse who owned this house from 1947 to 1967. Jane Morse was a Loew, of the Loew family theater chain, and this was one of the two houses which Elizabeth Taylor is rumored to have spent time in, as a guest in Tucson.

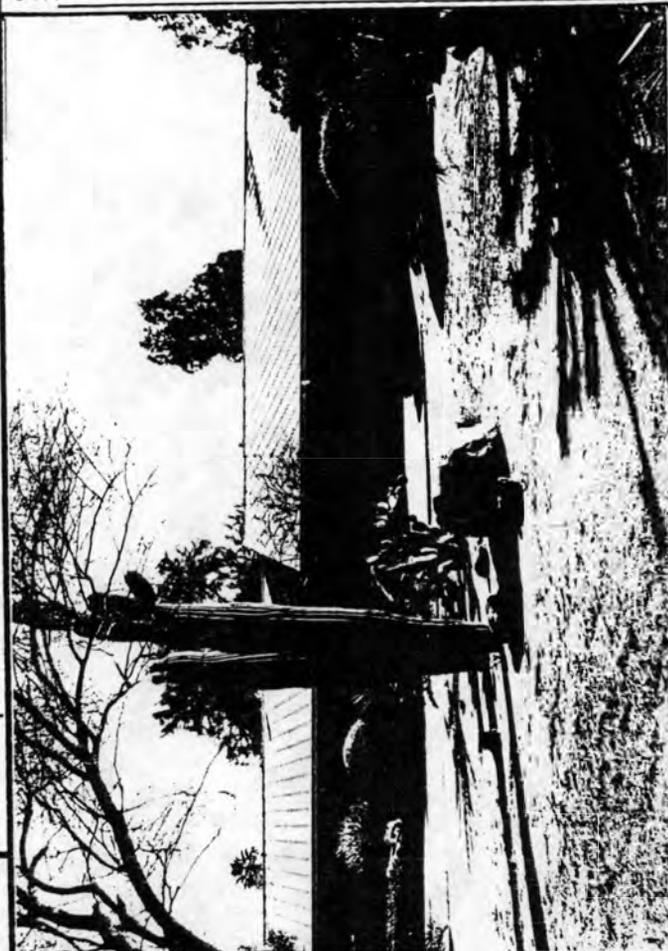
ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Boice Home
 ADDRESS/LOCATION: 140 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-043 (0.517) acres
 OWNER: Dees, Mr. & Mrs.
 OWNER ADDRESS: 140 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1952

COUNTY: Pima SURVEY SITE: 51
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story brick, Ranch Style residence with medium gable roofs with asphalt shingle, metal side slide and casement windows with moulded sills, off-center entry with wood door and louvred side panels, single interior chimney, gable ends with rectangular metal louvres. There is a gravelled driveway that leads to the entry and to the garage. The vegetation is desert landscaped and mature.

ALTERATIONS: None



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 1/25

SKETCH MAP: See Final Map

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 51

Address: 140 N. Camino Miramonte

Additional Information:

*This home designed by Arthur T. Brown, was the residence of Frank S. Boice, Jr. a prominent AZ rancher. His father Frank, Sr. (#70) was part owner of many Cochise county ranches including: Sulphur Spring Valley, Empire ranch, and Arivaca ranches, as well as ranches in California and Kansas. Frank, Sr. was named to the National Cowboy Hall of Fame (1958). Frank, Jr. took over the Empire ranch near Willcox after his father's death in 1956. Frank ran the ranch until 1958, when he sold to Gulf American Corp, now GAC Properties, Inc of AZ for approximately 4 million dollars. Frank, Jr. was elected pres. of the AZ Cattle Growers Assn. (a position his father once held) in 1970 and was reelected in 1971. He also headed the AZ office of Management Computer Network, Inc., a bookkeeping service for farmers and ranchers. Frank was killed on Nov 20, 1973 when his light airplane crashed; He was enroute to Grand Junction, CO. Frank and his wife, Sherry B. lived at 140 Camino Miramonte from 1962 through 1974.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 145 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-044 (0.508) acres
 OWNER: Oyler, Raymond F. & Georgia
 OWNER ADDRESS: 145 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1950

BRIEF DESCRIPTIVE STATEMENT: One story brick Modern Style residence with low hip roof with asphalt shingles and interior chimney, wood frame casement and side sliding windows, recessed entry with wood door with wood louvres flush with facade, single bay at front facade with hip roof and asphalt sheathing. There is another porch on the west facade with metal columns and a shed roof. There is sparse vegetation with sculptured hedges and some desert plantings, all with low brick border walls. This home was designed by Starkweather & Morse, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 52
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN 7/14

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Rollings Home
 ADDRESS/LOCATION: 3284 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-045 (0.500) acres
 OWNER: Rollings, Bradley Kelly & Nancy Young
 OWNER ADDRESS: 3284 E. Fifth Street
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1948

BRIEF DESCRIPTIVE STATEMENT: One story Modern Style brick residence with stucco finish, gable roof with Mission tile, metal casement windows, rear porch with brick paving and tiled shed roof, off-center recessed entry with wood door with side lights, exposed rafters. Gable ends have louvred vents. There is a detached garage with gable roof. There is a walkway which leads from the driveway to the entry, a large front lawn and low border wall at driveway line. Some hedges are located at foundation. There are some mature trees. This was designed by Nelson, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 53
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, 3/4
 NEGATIVE NUMBER: EEEN 8/33
 SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 53

Address: 3284 E. Fifth Street

Additional Information:

*This was the home of Harry A. and Elizabeth Jane Rollings from 1947 through 1967, when the deed was transferred to Harry's son, Kelly H. Rollings. Harry Rollings came to Tucson in the 1920's. By 1925, he was co-owner of the Hudson-Essex car dealership, located on North 6th between Congress and Broadway Blvd. In 1927, Rollings opened his first car dealership which was located at 412 N. 6th Ave. By 1944, and joined by his son, Kelly, he bought out a DeSoto-Plymouth dealership at 218 E. Broadway. He moved the dealership to 901 E. Broadway in 1954, and changed the name to its present name of Rollings Chrysler-Plymouth. Harry Rollings died in 1973. His widow, Elizabeth, remained in the home. His son, Kelly, ran the Chrysler-Plymouth dealership until 1980, when he sold to a "group of employees." Rollings Chrysler-Plymouth is still located on E. Broadway. Elizabeth Jane Kelly Rollings, Harry's wife, was born in Beaver City, Neb. in 1896. She arrived in Tucson in the 1920's and married Harry in 1923. She had received her bachelors in liberal arts from the U of Wyoming and taught for many years at Roskrige High School on E. 4th St. Mrs. Rollings was also quite active in the community. H. Kelly Rollings, Harry's son, remains in the house today.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 3270 E. Fifth Street
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-046 (0.500) acres
 OWNER: Huisenga, Vickie & Joel Cook
 OWNER ADDRESS: 3270 E. Fifth Street
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1938

COUNTY: Pima SURVEY SITE: 54
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story brick Modern Style residence with flat roof with parapet, one interior chimney, one exterior chimney, metal casement windows, metal louvres at parapet, porch at east side with exposed rafters, asphalt shingled shed roof, iron grill work, double leaf wood entry door, enclosed porch, natural desert landscaping, six foot wood and brick wall and patterned stones in front yard.



ALTERATIONS: None

PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 8/36

SKETCH MAP: See Final Map

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 5 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-051 (1.032) acres
 OWNER: Klimst, Ben & Jane Elizabeth
 OWNER ADDRESS: 5 E. Calle Claravista
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1948

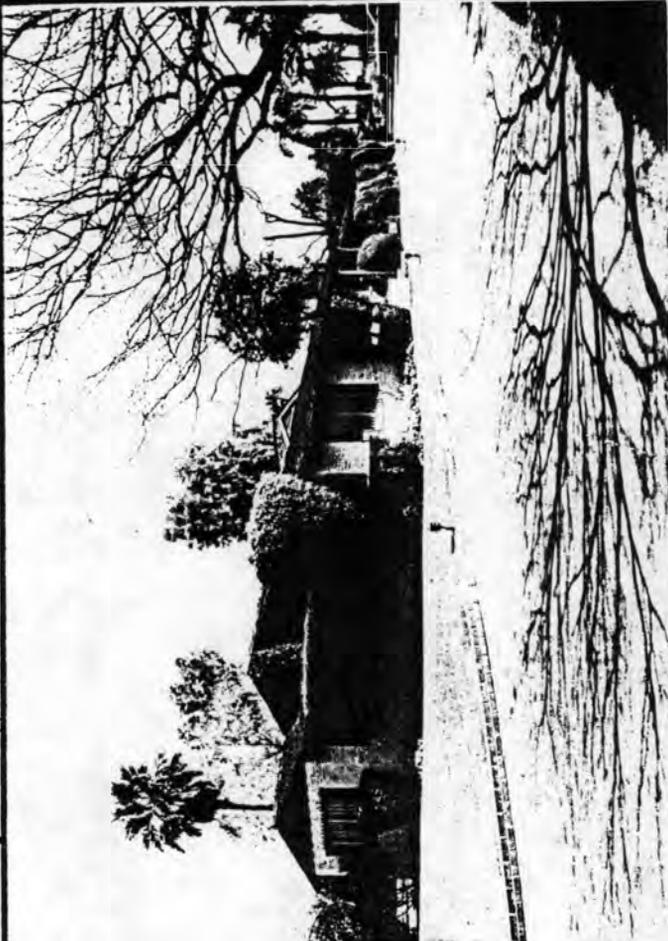
BRIEF DESCRIPTIVE STATEMENT: One story brick Ranch Style residence with gable roof with wood shingle sheathing, metal casement windows, south entry with wood door, front porch with brick flooring, attached carport with low gable roof, partially enclosed with brick, gable ends are wood sided. There are wrought iron grills over windows and decorative wood shutters. The porch has a single wrought iron support. The driveway is straight with low border wall around the large lawn. Some hedges are at foundation and sculptured. Trees are mature.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 59
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, 3/4

NEGATIVE NUMBER: EEEN 8/2

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Drachman Home
 ADDRESS/LOCATION: 132 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-053 (0.507) acres
 OWNER: Drachman, Betty Jo
 OWNER ADDRESS: 132 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1956

COUNTY: Pima SURVEY SITE: 61
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story Modern Style brick house with gable roof with Mission tile, and interior brick chimney, gable ends have metal louvers; windows are metal casement the entry is recessed with a wood door with glass panes and vertical wood siding, and side lights. There is an attached carport with low gable roof, partially enclosed with a brick wall and vertical wood planking at gable end. The driveway is semi-circular. This home was built by Gist Construction.



ALTERATIONS: Rear room addition at north end

PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, FF
 NEGATIVE NUMBER: EEEN B-32

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SKETCH MAP: See Final Map

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

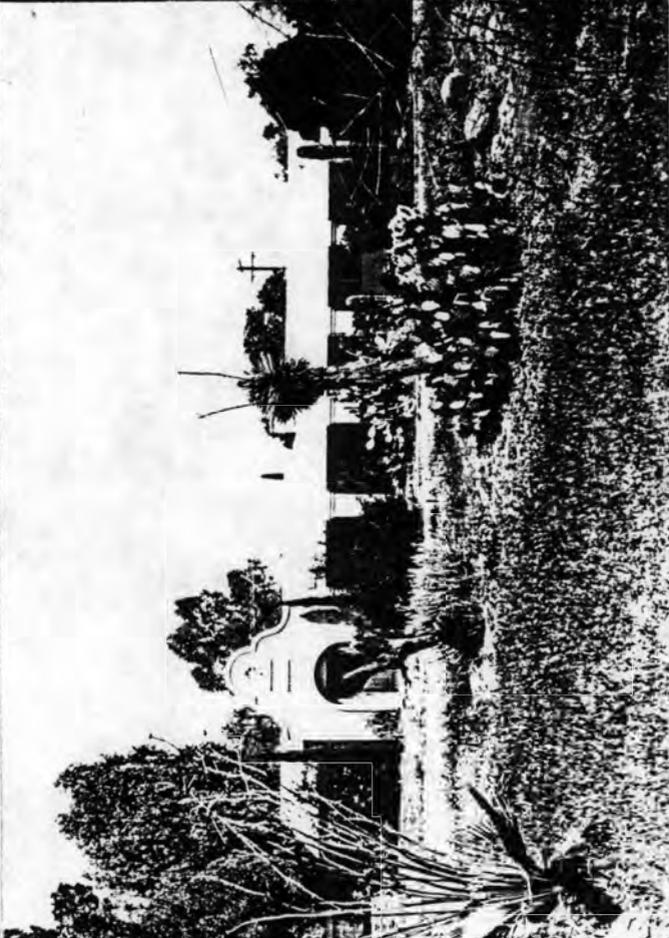
Survey Number: 61

Address: 132 N. Camino Espanol

Additional Information:

*This home, built in 1956, has been the home of James W. and Betty Jo Drachman since the mid 1950's.

ARIZONA BUILDING INVENTORY "SHORT FORM"

<p>SURVEY AREA NAME: <u>El Encanto Estates</u></p> <p>HISTORIC NAME: <u>None</u></p> <p>ADDRESS/LOCATION: <u>45 E. Calle Claravista</u></p> <p>CITY/TOWN: <u>Tucson</u></p> <p>TAX PARCEL NUMBER: <u>125-15-056a</u> (0.501) acres</p> <p>OWNER: <u>Greathed, Marguerite</u></p> <p>OWNER ADDRESS: <u>45 E. Calle Claravista</u></p> <p>HISTORIC USE: <u>Residence</u></p> <p>PRESENT USE: <u>Residence</u></p> <p>BUILDING TYPE: <u>House</u></p> <p>STYLE: <u>Mission Revival</u></p> <p>CONSTRUCTION DATE: <u>1951</u></p> <p>BRIEF DESCRIPTIVE STATEMENT: One story Mission Style, masonry residence with stucco sheathing, hip roof with asphalt shingle roof sheathing, single interior chimney, metal casement windows, veranda porch with moulded columns and trellis, off-center entry with Mission Revival style cast concrete roof parapet, solid wood door. There is natural desert landscaping and dirt circular driveway.</p>	<p>COUNTY: <u>Pima</u> SURVEY SITE: <u>66</u></p> <p>USGS QUAD: <u>Tucson, Az</u></p> <p>T <u>14s</u> R <u>14e</u> S <u>09</u> / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ UTM</p>
<p>ALTERATIONS: <u>Piers and trellis work, Mission Revival facade added ca. 10 years ago</u></p>	
<p>CONTEXT: RESIDENTIAL STREETScape <u>XXX</u></p> <p>COMMERCIAL _____</p> <p>TOWN SQUARE _____</p> <p>CBD _____</p> <p>ISOLATED/RURAL _____</p>	<p>PHOTOGRAPHER: <u>Linda Laird & Associates</u></p> <p>DATE: <u>Sept, 1987</u> VIEW: <u>N, FF</u></p> <p>NEGATIVE NUMBER: <u>EEEN 8/7</u></p>
<p>SURVEYOR: <u>updated by LL&A</u></p> <p>DATE: <u>Sept, 1987</u></p>	<p>SKETCH MAP: <u>See Final Map</u></p>

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Atkinson Home
 ADDRESS/LOCATION: 65 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-058c (0.585) acres
 OWNER: Northcutt, Val & Nancy Locke
 OWNER ADDRESS: 65 E. Calle Claravista
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: Sept, 1958

BRIEF DESCRIPTIVE STATEMENT: One and a half story exposed masonry and stained wood Modern Style residence with gable roof with wood shingle sheathing, interior chimney, recessed main entry with brick deck and wood door with side lights, shed roofed porch, metal casement windows, concrete foundation, and new detached 3 car garage with shed roof, and one raised roof to accommodate a camper. The sheathing is brick at the lower portion and vertical wood planking at second story upper. Landscaping is lush with mature trees. Home of T. Atkinson, an architect who built this home.

ALTERATIONS: New 3 car garage

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 68
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN F-13

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 68

Address: 65 E. Calle Claravista

Additional Information:

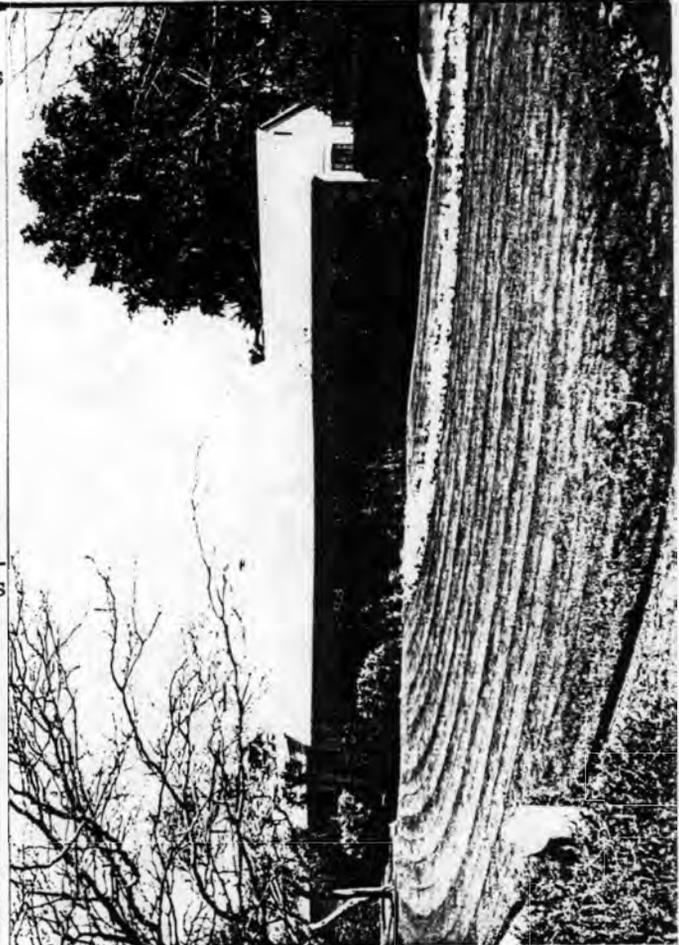
*This home was designed and built by Terrance C. Atkinson, RA as his private residence. T.C. was born in Eureka, CA on Aug 8, 1915. He attended Humbolt State U in Arcata, CA and graduated from UC Berkeley with a BA in fine arts in 1936. He received his post grad degree from the Arts Center in Los Angeles. T.C. arrived in Tucson in 1939, and began practicing architecture in 1946. Some projects he worked on include: Tucson Medical Center, Tucson Electric Power building, Tucson Newspapers, Inc (the advertising and printing company used by the Arizona Daily Star and Tucson Citizen), the Pima County Government Center building, and the Tucson International Airport terminal. He remodeled St. Augustine Cathedral (in downtown Tucson), and worked on several buildings at the UofA, (College of Law, College of Architecture, and the Biological Sciences West buildings). T.C. also designed many buildings on the Northern Arizona University campus. T.C. was community conscious, serving on the board of directors for Tucson Gas (now known as TEP) from 1966 till his death and was executive committeeman for the Southern Arizona chapter of the Amer. Institute of Architects. T.C. died on June 4, 1983 at the age of 68.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Bredin Home
 ADDRESS/LOCATION: 75 E. Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-059a (< lac) acres
 OWNER: Emerson, Randall & Bonnie Sedlmayr
 OWNER ADDRESS: 75 E. Calle Claravista
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: Mar, 1946

COUNTY: Pima SURVEY SITE: 69a
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NE 1/4 OF THE SW 1/4
 UTM

BRIEF DESCRIPTIVE STATEMENT: Two story Modern Style block residence with gable roof and "Bermuda" tile sheathing (a light weight concrete material), rectangular vents at gable ends exterior chimney, metal casement windows, central entry with metal screen door, wood door with panel wood surround, recessed porch with wood post supports, expansive lawn with rock bordered walkway, shrubs, mature trees, and graveled driveway.



ALTERATIONS: None

PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 8/13

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SKETCH MAP: See Final Map

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 69a

Address: 75 E. Calle Claravista

Additional Information:

*This home was designed by Arthur T. Brown, RA for Col. Lewis L. and Natalie Bredin (1946-1951). It is assumed Bredin worked for Davis Monthan. In 1951, the home was bought by G.L. Curtis, a Clinton, Iowa businessman and the maternal grandfather of Tucson's current mayor Lew Murphy. In 1957, it became the home of Henry G. and Margaret T. Boice, a famous Southwestern Arizona rancher (see #70 for his first home). Boice lived here through 1974. This was Boice's second home.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 135 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-059b (< lac) acres
 OWNER: Hom. Howard & Janet
 OWNER ADDRESS: 135 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1982

BRIEF DESCRIPTIVE STATEMENT: One & 1/2 story Modern Style brick residence with low hipped roof with Mission tile, octagonal tower with exposed rafters and octagon-shaped, fixed windows, recessed entry with recessed porch under main roof line, with brick supports and wrought iron enclosure. There are metal casement windows with plain sills, octagonal brick work expressed on facade. There is a 3 car garage attached and similar in construction to main structure. The landscaping is desert oriented with mature palms, low brick border walls and circular driveway.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 69b
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 8/30

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 69b

Address: 135 N. Camino Miramonte

Additional Information:

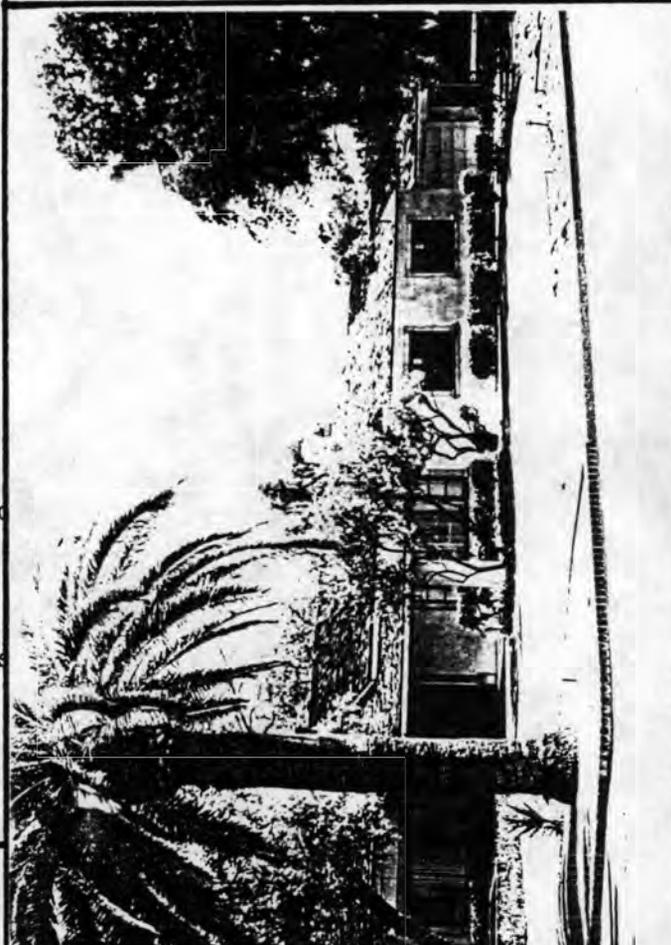
*This home was designed by S.A. Brown, RA.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Smith Home
 ADDRESS/LOCATION: 30 Calle Claravista
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-063 (0.547) acres
 OWNER: Adamson, Larry R. & Florence
 OWNER ADDRESS: 30 Calle Claravista
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: July, 1930

COUNTY: Pima SURVEY SITE: 73
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story modified stuccoed brick early Ranch style residence with medium gable roof, wood shingle roofing, two interior brick chimneys, and boxed cornice. The porch has a shed roof overhang with wood post supports. Eaves are flush. The entry is off-center with wood door and windows located to either side. There is no porch rail. The garage is attached, modified. A small portal has been added, landscaping has been modified and a rear porch is glassed in. There is an oval shaped lawn and mature trees and rock bed. There is a low border wall.



ALTERATIONS: Re-stuccoed, alterations to left wing including window changes in 1987.

PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 1/18

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SKETCH MAP: See Final Map

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 73

Address: 30 Calle Claravista

Additional Information:

*This early Ranch style residence has recently been altered. It was designed by John Smith in July, 1930 as a personal residence. Smith was responsible for the design of 4 other residences in El Encanto. This home remained in the Smith family until around 1946. It illustrates the shift toward Ranch styles that occurred late in the period of significance. Recent alterations have compromised the integrity of the original design.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Williams Home #1
 ADDRESS/LOCATION: 10 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-065 (0.551) acres
 OWNER: Barricklow, William H. & Jean
 OWNER ADDRESS: 10 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1947

COUNTY: Pima SURVEY SITE: 75
 USGS QUAD: Tucson, Az
 T 14sr 14es 09 / NW ¼ OF THE SW ¼
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One & 1/2 story painted, exposed masonry Modern Style residence with gable and hip roofs with wood shingle sheathing, exposed rafters, single exterior chimney, 3-3 metal casement windows with wood lintels and brick sills, facade pediment has horizontal planking with rectangular wood vents. The entry is central with panel wood door and wood lintel, brick floor, and decorative wood side panels. There is a 2 car garage with pitched roof. This home was designed by Josias Joesler. The driveway is graveled. There are trees and shrubs.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: SE, FF
 NEGATIVE NUMBER: EEEN 1/17

SKETCH MAP: See Final Map

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 75

Address: 10 Calle Resplandor

Additional Information:

*This is one of five homes purported to have been designed by Josias T. Joesler, RA. (see also 3, 122, 123, and 186). It was the first home of Roy O. Williams. Williams resided here from 1947 to 1952, while his second home was being built (see #3). Williams was a dentist.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 5 E. Calle de Felicidad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-066 (0.504) acres
 OWNER: Phillips, Donn & Clotilde C.
 OWNER ADDRESS: 5 E. Calle de Felicidad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1953

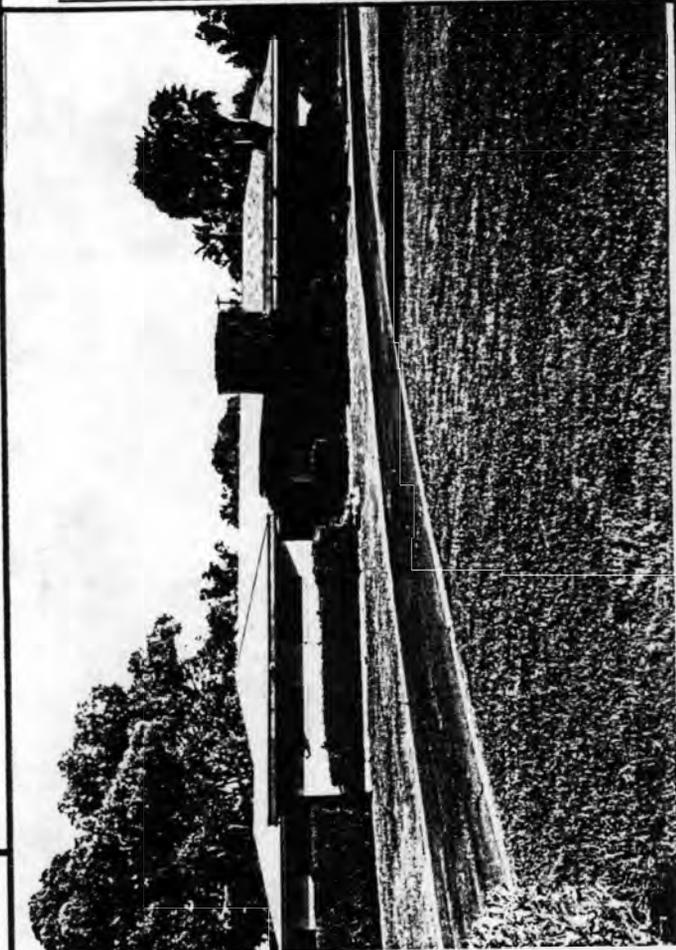
BRIEF DESCRIPTIVE STATEMENT: One story Modern Style brick residence with hip roof and asphalt shingle sheathing, boxed cornice, single exterior capped chimney, shed roofed porch with metal post supports, central entry with wood door, sculptured hedges at foundation, circular driveway with border wall, and lawned median.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 76
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: NW, FF

NEGATIVE NUMBER: EEEN 1/21

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 35 E. Calle de Felicidad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-067 (0.554) acres
 OWNER: Hensler, Robert R. & Bonnie L.
 OWNER ADDRESS: 35 E. Calle de Felicidad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1953

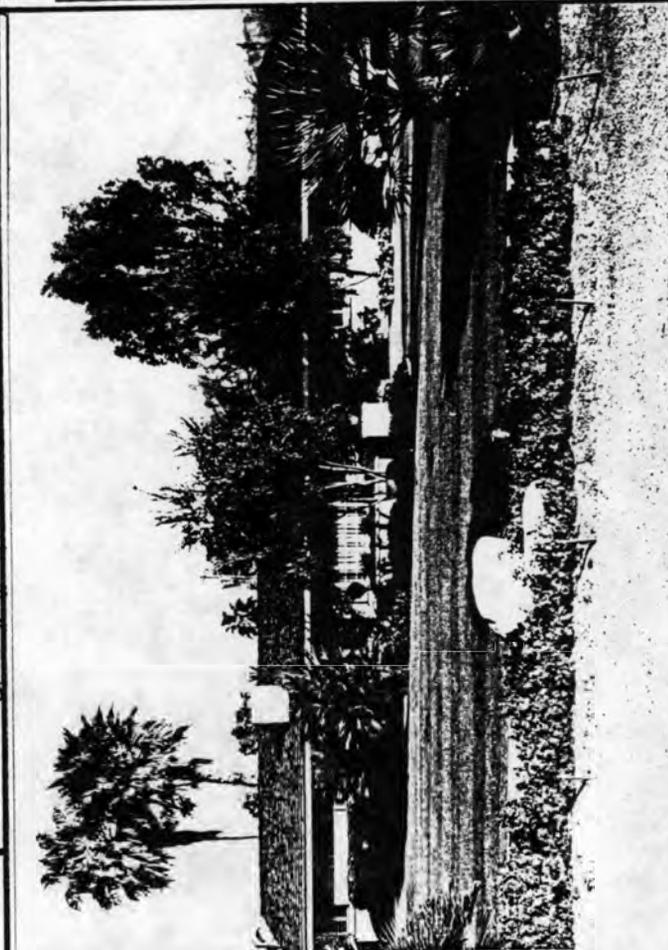
BRIEF DESCRIPTIVE STATEMENT: One story brick modern Ranch Style residence with ridge capped wood shingle roof sheathing, 2 exterior chimneys, plain fascia, metal casement windows with decorative wood shutters and plain sills. central entry, recessed with wood door, recessed porch with brick rail, brick walkway to entry. There is a large lawn with shrubbery at foundation as well as some mature trees. Attached garage with metal rolling door. This home was designed by Emerson C. Scholer, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 77
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 1/22

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 65 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-069 (0.631) acres
 OWNER: Brown, William H., III
 OWNER ADDRESS: 65 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1947

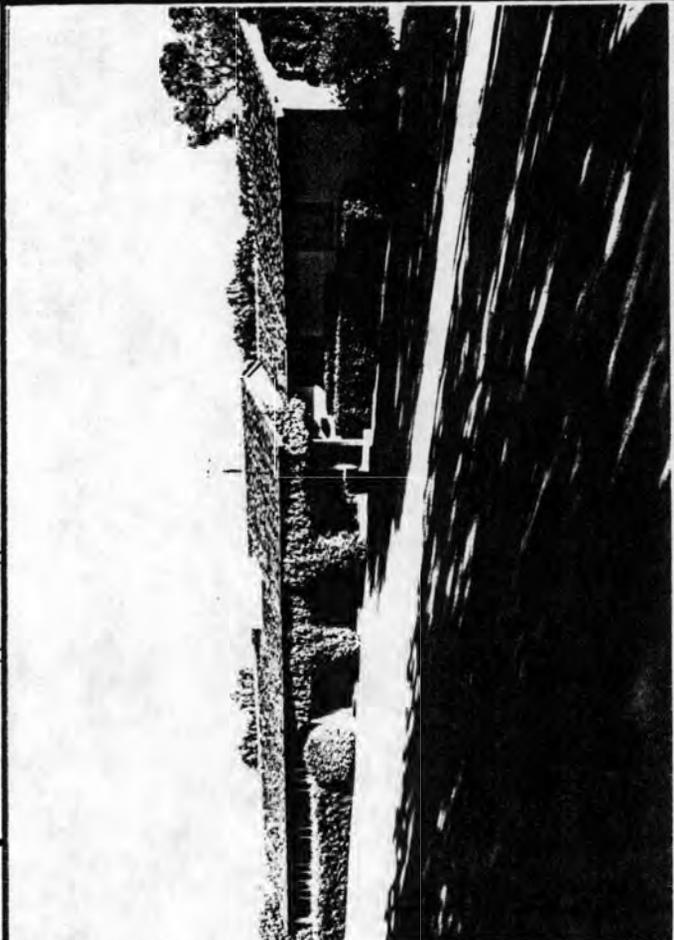
BRIEF DESCRIPTIVE STATEMENT: One story painted brick Ranch Style residence with medium gable roof with wood shake sheathing, exposed rafter ends, interior chimney, ceramic tile ridges, recessed porch with wood post supports, metal casement windows with plain sills, off-center entry with wood door with lights, shrubbery at foundation, paved driveway. This home was designed by Gordon Luepke, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 79
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: NW, 3/4
 NEGATIVE NUMBER: EEEN 1/24

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: none
 ADDRESS/LOCATION: 115 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-070 (0.969) acres
 OWNER: Beachy, Harriet S.
 OWNER ADDRESS: 115 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: May, 1930

BRIEF DESCRIPTIVE STATEMENT: One story stuccoed brick Spanish Colonial Revival Style residence with flat roof with parapet and rectangular vents, recessed off-center entry with wood door and wrought iron gate flush with facade, metal and fixed windows (some altered at facade). There are shrubs at the foundation, mature trees, and graveled driveway.

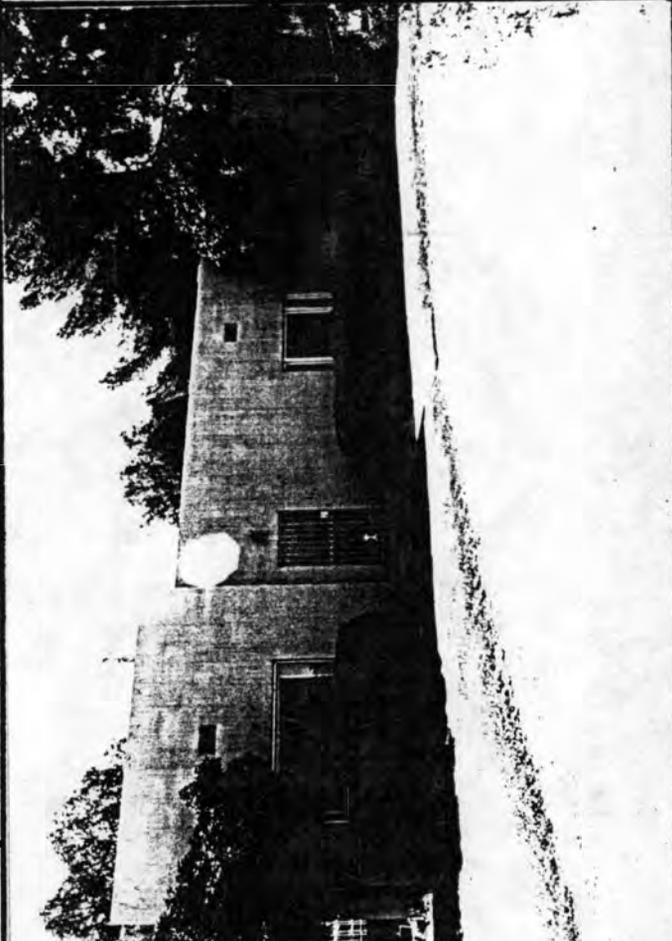
ALTERATIONS: Stucco finish, facade windows replaced, entry modified

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 80
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 3/21

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 80

Address: 115 N. Camino Miramonte

Additional Information:

*This was designed by H.E. A. Figge, an architect from Scandinavia, for Dr. Alfred W. and Winnifred Atkinson in May, 1930. Its modifications jeopardize the integrity of the Spanish Colonial design. Dr. Atkinson was the 12th president of the University of Arizona. He was succeeded by Benjamin McCormick (#148) in 1948. The Atkinson's owned this home from 1931 to 1945. Harold R. and Harriet S. Beachy are later residents, owning the home from 1945 to the present. Harold Beachy was vice-president of the Dr. Peter Farhney and Sons, Chicago, and a member of the Tucson Medical Center Board of Directors (1952-54). This home was the Beachy winter residence for 40 years. Harold Beachy died November 27, 1976.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Jacome Home
 ADDRESS/LOCATION: 60 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-071 (0.487) acres
 OWNER: Jacome, Estela V.
 OWNER ADDRESS: 60 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1947

BRIEF DESCRIPTIVE STATEMENT: One story stucco brick Modern Style residence with medium gable roof with Mission tile, exposed rafters, metal casement windows with plain sills, shed roofed porch with paired metal posts, vinyl sheathing, central entry with wood door, detached garage to south with gable roof, shrubs at foundation, mature trees with low border walls, graveled driveway and concrete walkway.

ALTERATIONS: None

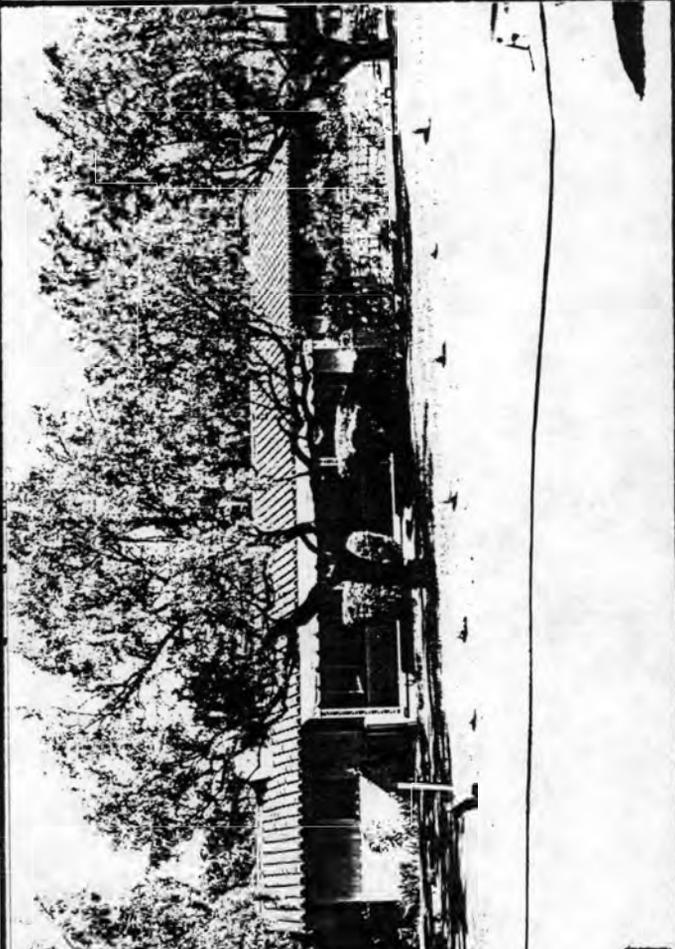
CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A

DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 81
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: SE, FF

NEGATIVE NUMBER: EEEN C-31

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 81

Address: 60 E. Calle Primorosa

Additional Information:

*Built in 1947, for Henry R. Krueger, this has been the Jacome home since 1957. Alexander Jacome was born Oct. 25, 1904 to Carlos C. Jacome an early Tucson pioneer. Carlos Jacome along with his partner, Loreto Carrillo founded the Jacome & Carrillo, a general merchandising store. This later became Jacome & Manzo, when Carlos went into partnership with G.S. Manzo. In 1913, the partnership was dissolved and by 1928, Alex entered into the family business and Jacome & Manzo became Jacome, Inc. Prior to his entering the family business, Alex attended Tucson High, and graduated for the UofA (1927) with a B.S. in commerce. Alex wanted to be a diplomat, but his father needed his help in the store. Upon graduating, Alex went to N.Y. to work for Arnold Constable Co. and learn modern merchandising. After a brief stint with J.C. Penney's in Laredo, TX, he returned to Tucson and when Jacome's was incorporated, became vice pres. and merchandising manager. The new Jacome store opened on Congress St. in 1931, in time for Carlos Jacome to see the growth of the store as well as his son's marriage to Estela A. Valles in 1934 before his death in 1935. As the business became established, Alex finally was able to work toward his original desire. Alex became a diplomat, representing AZ at the Pan American Highway Congress in 1940, representing the U.S. as representative to the Inter-American Indian Congress in 1954, representing the U.S. on the governing board of the Inter-American Indian Institute in 1955, chairing the executive committee the following year, and serving on the U.S. Trade Mission to Spain in 1959. Alex was on the Arizona-Sonora Conference committee and was also appointed honorary vice consul of Mexico for Tucson. He served the state and local community as well, as a member of the Board of Regents (pres. 1959), and regional director of the Assn. of Governing Boards of the State Universities in 1960. He received numerous awards and an honorary doctor of law degree in 1974. Jacome was director of many civic groups including TMC, Tucson Symphony and Tucson Merchants Assn. Alex Jacome died January 14, 1980 while working at his office. Jacome Dept. Store closed its Congress store in early 1980.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 105 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-072a (0.928) acres
 OWNER: Kerr, Donald Ralph & Margaretha Moore
 OWNER ADDRESS: 105 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1957

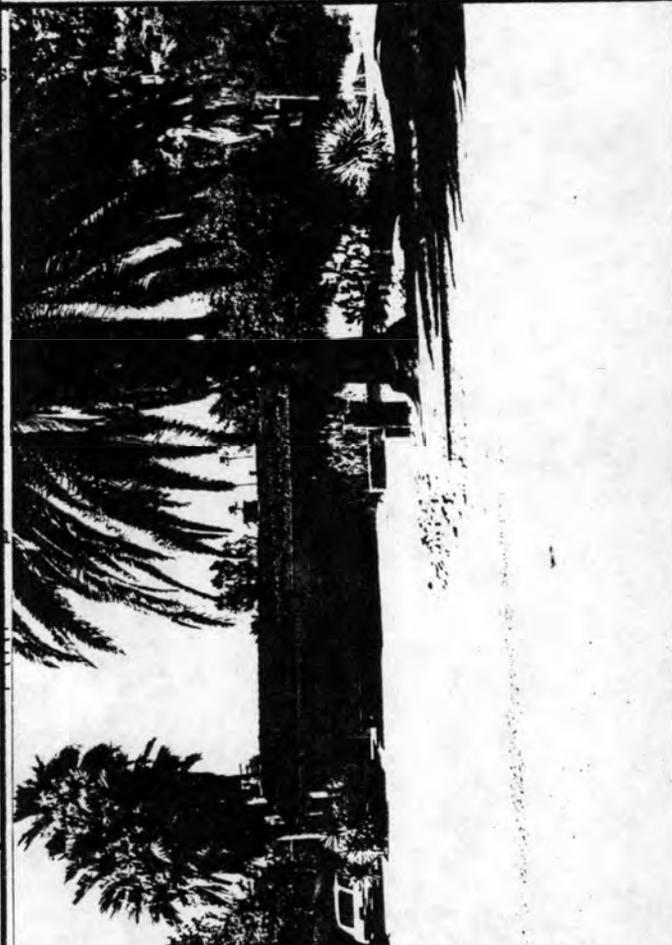
BRIEF DESCRIPTIVE STATEMENT: One story brick, Ranch Style residence with low gable roof with wood shingle sheathing, corbeled chimney, metal casement windows, recessed porch with metal column supports, central entry with wood door, exposed rafters, single bay carport under main roof line with metal column support and wood door entry. There is a 2ft brick wall and wood planters. Vegetation consists of mature trees and desert landscaping.

ALTERATIONS: Room added

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 82
 USGS QUAD: Tucson, Az
 T 14SR 14ES 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, FF
 NEGATIVE NUMBER: EEEN 3/13

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Guerin Home
 ADDRESS/LOCATION: 30 E. Calle de Felicidad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-076 (0.491) acres
 OWNER: Harrison, V. William
 OWNER ADDRESS: 30 E. Calle de Felicidad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern with Moorish detail
 CONSTRUCTION DATE: June, 1929

BRIEF DESCRIPTIVE STATEMENT: One 1/2 story stuccoed Modern brick residence with Moorish detailing, flat and towered roof, stepped parapet, entry with Moorish arch with decorative tile and paint, recessed with wood door, wrought iron gate, no porch, fixed domed window on roof tower, metal casement with wrought iron grill cover at some facade windows, facade bay, all with plain sills, sundeck on roof with wrought iron rail. There is an attached garage, a 5 foot wall at rear, circular concrete driveway and shrubs and mature trees. An arcade is located to south.

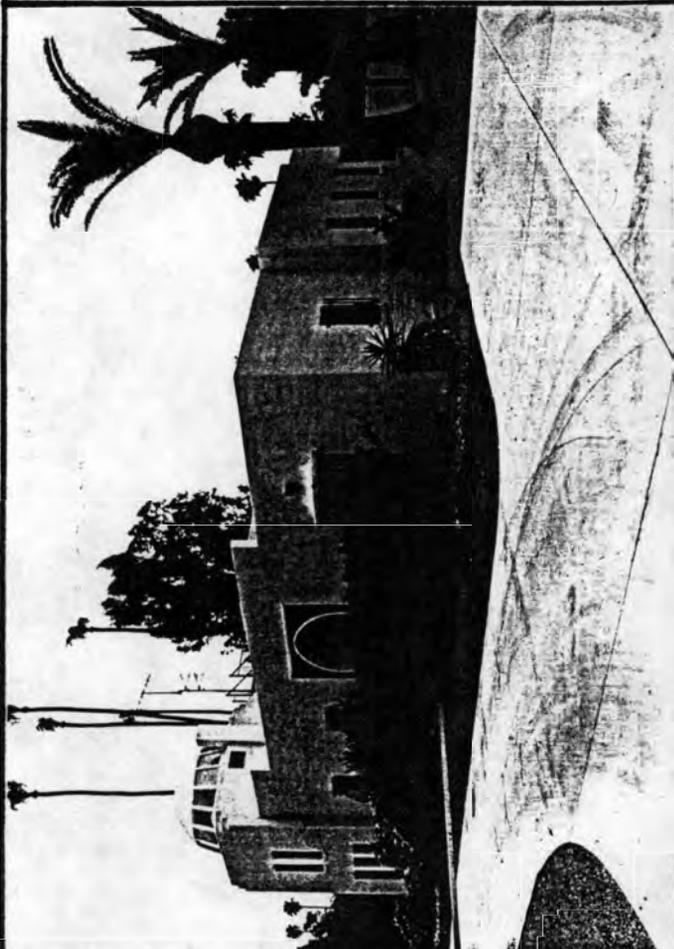
ALTERATIONS: Extensive modifications in 1980's when the home was enlarged

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 86
 USGS QUAD: Tucson, Az
 T 14S R 14e S 09 / NE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 7/32

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 86

Address: 30 E. Calle de Felicidad

Additional Information:

*This home was designed by M.H. Starkweather for W.E. Guerin, who lived here from 1929 to 1951. Guerin was president of El Encanto Estates, Inc. until the corporation closed in the early 1960's. Guerin was an attorney and banker in Cleveland, Ohio and former vice-president of the Guardian Bank of Cleveland. He directed the development of El Encanto Estates. Guerin died January 8, 1960 in La Jolla, CA. This later became the home of Dr. Darrel E. and Fern Hayhurst. Dr. Hayhurst was a well-known general practitioner, who practiced in Tucson for 31 years. Hayhurst was instrumental in starting the Tucson Little League program and was team physician for both the UofA and Tucson High School. This home is rumoured to have been influenced by a trip made by Mrs. Guerin to Morocco. It is said she wanted a "Moorish" designed home. It is unique in El Encanto as the only Moorish influenced residence in the District. Extensive remodeling of the east wing, enclosure of the original garage, construction of a second story addition, construction of a two car garage at the end of the building, in conjunction with the cutting of skylights in the original dome, and replacement of the original elaborate tile work which surrounded the facade entry has compromised the original integrity of the design of this home.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 E. Calle de Felicidad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-077 (0.521) acres
 OWNER: Druckman, Susan
 OWNER ADDRESS: 20 E. Calle de Felicidad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Mission Revival
 CONSTRUCTION DATE: 1966

BRIEF DESCRIPTIVE STATEMENT: One story adobe brick Mission Revival Style residence with flat roof with roof parapet, cap row, arched bell tower with bell, single exterior chimney metal casement windows with wrought iron grill some with arched brick lintel and plain brick sills, central, recessed, with triple corbeled brick arch and engaged columns, wood door, with transom and wood panel sides. There are also some protruding canales. The foundation has sculptured hedges. The driveway is graveled. There is a sparsely desert landscaped median with low border wall.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 87
 USGS QUAD: Tucson, Az
 T 14SR 14eS 09 / NE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 7/34

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 35 E. Plaza del Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-079 (0.873) acres
 OWNER: Murphy, James & Billie
 OWNER ADDRESS: 35 E. Plaza del Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1952

BRIEF DESCRIPTIVE STATEMENT: One story stucco over brick Spanish Colonial Revival Style residence with flat roof with parapet, metal casement windows with plain sills, tiled vents in triangular pattern, single exterior chimney with tiled vent in rectangular pattern, off-center entry with panel wood door, lighted transom and side lights, shed roofed porch with ionic capital columns, and two engaged columns, no rail, second entry with wood door, attached single bay garage, paved circular driveway with lawn median, with mature trees.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 89
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 8/25

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 100 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-080b (1.026) acres
 OWNER: Green, Thomas J. & Marcia D.
 OWNER ADDRESS: 100 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1981

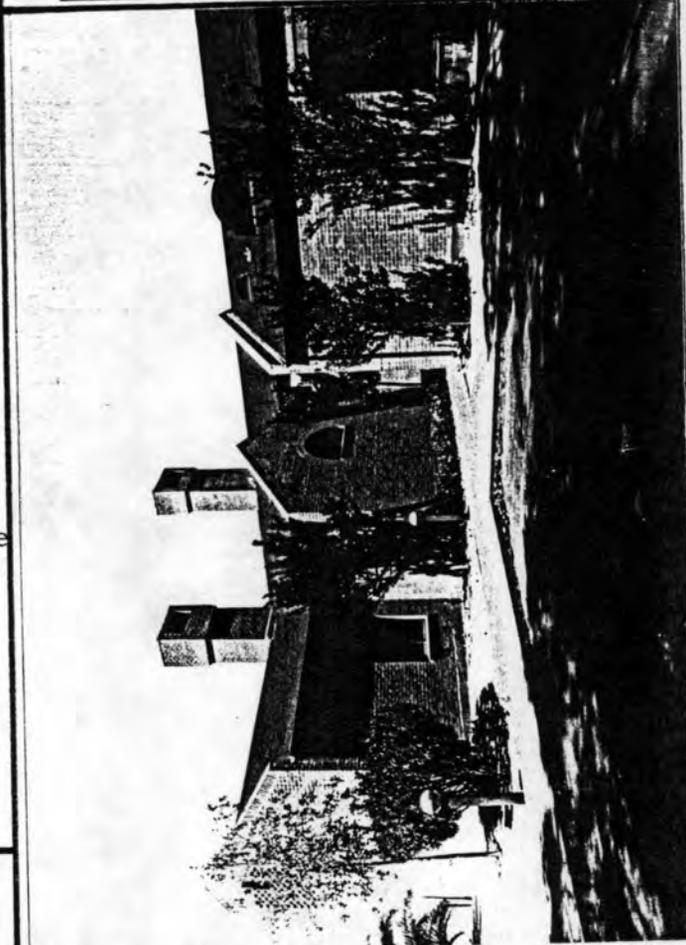
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with medium gable roof with asphalt shingle sheathing, three interior corbeled chimneys, domed dormers with semi-circular vents, projecting eaves, parapets at gabled ends, vent in large rectangular pattern at one parapet, metal side slide and fixed windows with brick sills, recessed entry with wood door and transom, no porch, sparse vegetation with young planting paved driveway and low brick border wall. This home was designed by architects Gresham & Larsen.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 91
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 7/15

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 98 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-080c (0.517) acres
 OWNER: Rosen, Dennis A.
 OWNER ADDRESS: 98 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1981

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with medium gable roof with asphalt shingle sheathing, semi-circular dormers with lights, two exterior corbeled chimneys, gable ends have parapets, projecting eaves, metal casement, fixed windows, recessed entry with double leaf wood doors with transom, recessed porch with large masonry piers, semi-circular window cut by chimney on facade/gable end. There are brick steps and patio which leads to entry, graveled driveway, three foot high brick planters with hedges, some young trees.

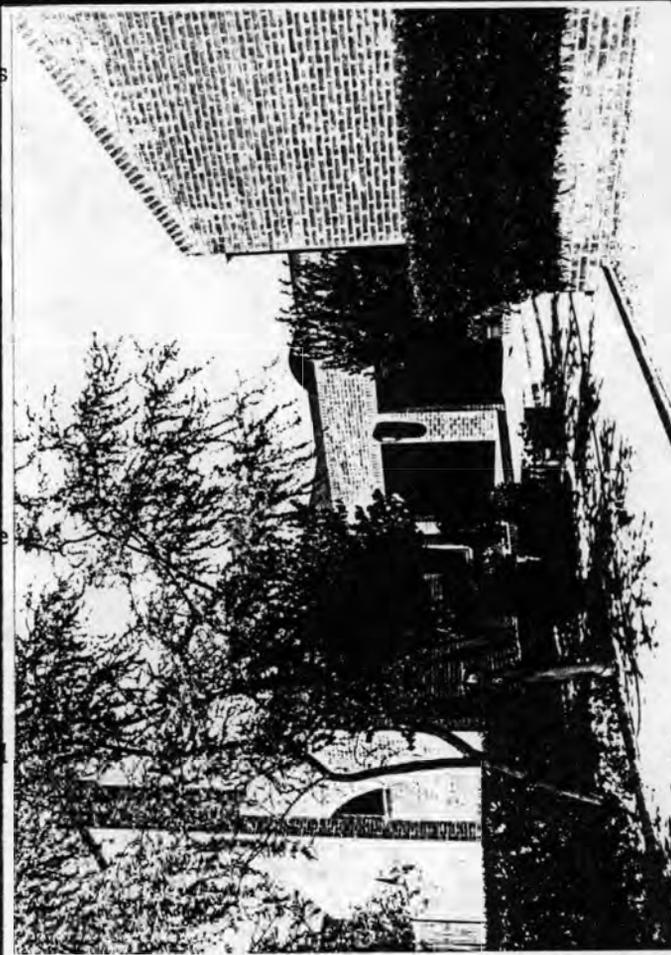
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 92
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, FF
 NEGATIVE NUMBER: EEEN 7/16

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 92

Address: 98 N. Camino Espanol

Additional Information:

*This home was designed by Gresham & Larsen.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Wilson Home
 ADDRESS/LOCATION: 5 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-082 (0.501) acres
 OWNER: Lininger, Helen
 OWNER ADDRESS: 5 E. Calle Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: 1938

COUNTY: Pima SURVEY SITE: 93
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NW ¼ OF THE SW ¼
 UTM _____

PHOTO: See attached copy of blue print.

BRIEF DESCRIPTIVE STATEMENT: One story simple Pueblo Revival Style residence with stuccoed brick walls, flat roof, irregularly steeped high parapet, truncated corner entry with wood door, glassed in porch, overlooking walled brick patio to north, attached carport enclosed in 1961 (designed by E.H. Nelson, RA) an addition second story family/washroom added 1954 (designed by F.A. Eastman, RA). The home is invisible due to overgrowth of front vegetation in addition to eight foot stuccoed wall. Copies of blue print are attached.

ALTERATIONS: 1961, carport enclosed, 1954, 2nd story addition added

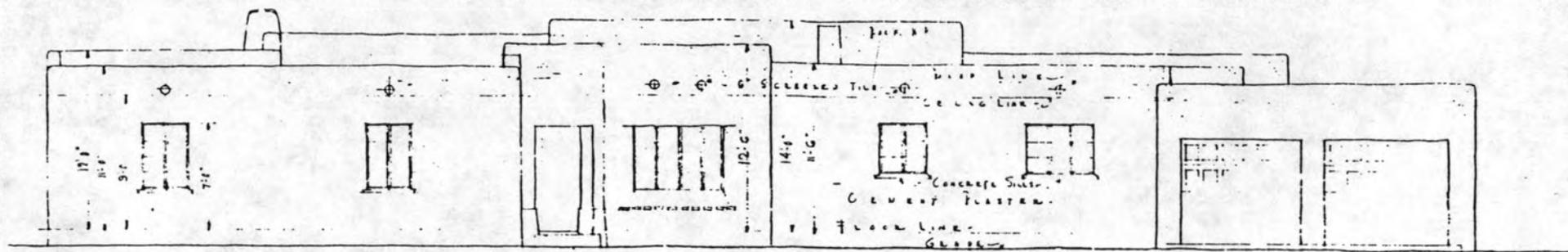
PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N/A
 NEGATIVE NUMBER: N/A

SKETCH MAP: See Final Map

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information



FACADE ELEVATION (WEST)
SCALE 1/4" = 1'-0"

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 93

Address: 5 E. Calle Encanto

Additional Information:

*This home was designed by Bailey & McCoy in 1938. It was the home of Eldred D. & Frances Wilson from its construction to 1946. Wilson received his bachelors from the Missouri School of Mining & Met. He worked briefly for Ray Consolidated Copper Co., before joining the Arizona Bureau of Mines at the UofA in 1918. He received his masters from the UofA and his doctorate from Harvard. Wilson was noted as the foremost authority on AZ geology, and mining development was claimed to have been heavily dependant upon his "pioneering work." Wilson devised the current USGS map for the state of Arizona. He died on July 29, 1965.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 83 N. Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-080d (0.597) acres
 OWNER: United Bank of Arizona
 OWNER ADDRESS: PO Box 3043, Tucson, Az 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1981

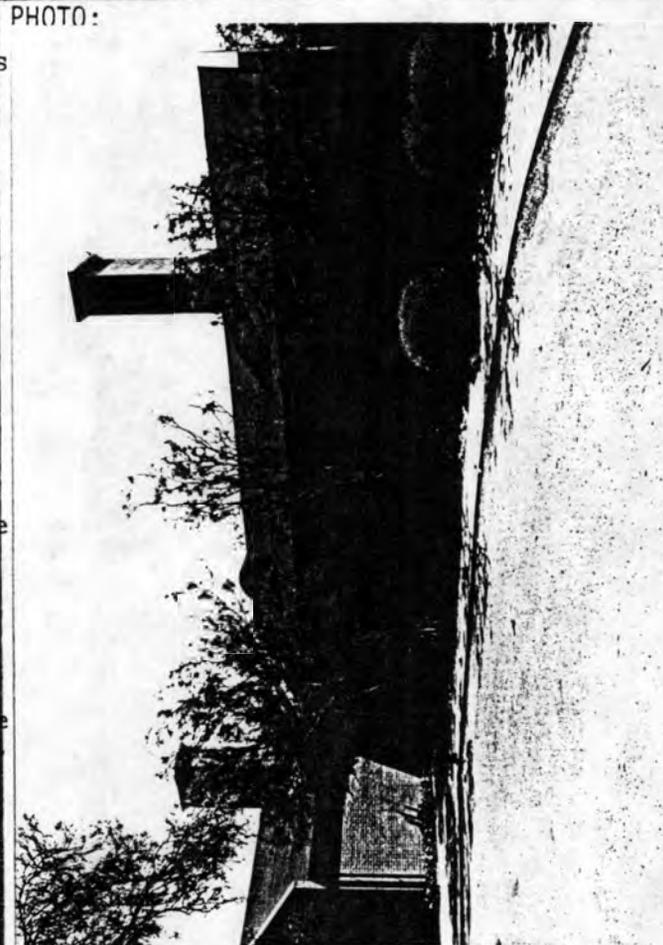
COUNTY: Pima SURVEY SITE: 94
 USGS QUAD: Tucson, Az
 T 14sr 14es 09 / NW 1/4 OF THE SW 1/4
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with medium gable roof with asphalt sheathing, one exterior chimney, one interior chimney, parapets at gable ends with decorative brick work in a circular pattern, dormers with lights, bay window at facade with hood, double wood frame and glass doors, recessed entry with double leaf wood doors, no porch, graveled driveway with brick walkway, shrubs at foundation, some young trees, six foot brick wall at northwest chimneys are corbeled. One of three homes designed by Gersham & Larsen.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: SW, FF

NEGATIVE NUMBER: EEEN 7/19

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 15 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-084 (0.553) acres
 OWNER: O'Reilly, Mrs. Frank
 OWNER ADDRESS: 15 E. Calle Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Early Ranch
 CONSTRUCTION DATE: 1938

BRIEF DESCRIPTIVE STATEMENT: One story painted masonry, Early Ranch residence with low hip roof with ridge cap, asphalt shingle sheathing, two chimneys; one tapered exterior, one interior, plain fascia, 4-4 metal casement windows with decorative wood shutters, off-center entry with wood door with 2 side lights and no porch, but concrete steps and wrought iron rail. There is a large front lawn and graveled circular driveway, cut hedges at foundation, attached single bay garage with hip roof and asphalt shingle roof sheathing.

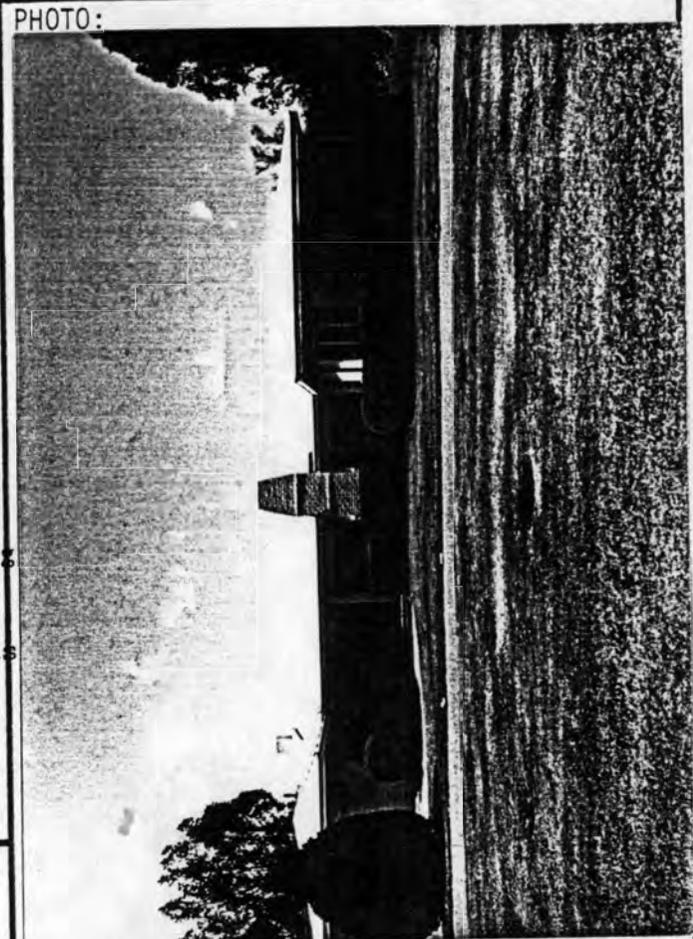
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 95
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 7/20

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 95

Address: 15 E. Calle Encanto

Additional Information:

*This home was designed and built by Bailey & McCoy.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: O'Reilly Home
 ADDRESS/LOCATION: 25 E. Plaza del Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-085 (0.732) acres
 OWNER: Rice, Robert R. & Barbara M.
 OWNER ADDRESS: 25 E. Plaza del Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Early Ranch
 CONSTRUCTION DATE: May, 1939

BRIEF DESCRIPTIVE STATEMENT: Two story exposed brick and stuccoed (at second story) Early Ranch Style residence with medium gabled roof, with exterior chimney, wood shake roof sheathing, exposed rafters, 1/1 DH steel frame windows, central entry with classical wood trim door, recessed porch without rail, 2nd story balcony with open wood rail, new carport at north side, lush vegetation with mature trees. There is a circular driveway with landscaped median with low border wall planters and border wall at driveway line. The citrus grove was planted in 1939.

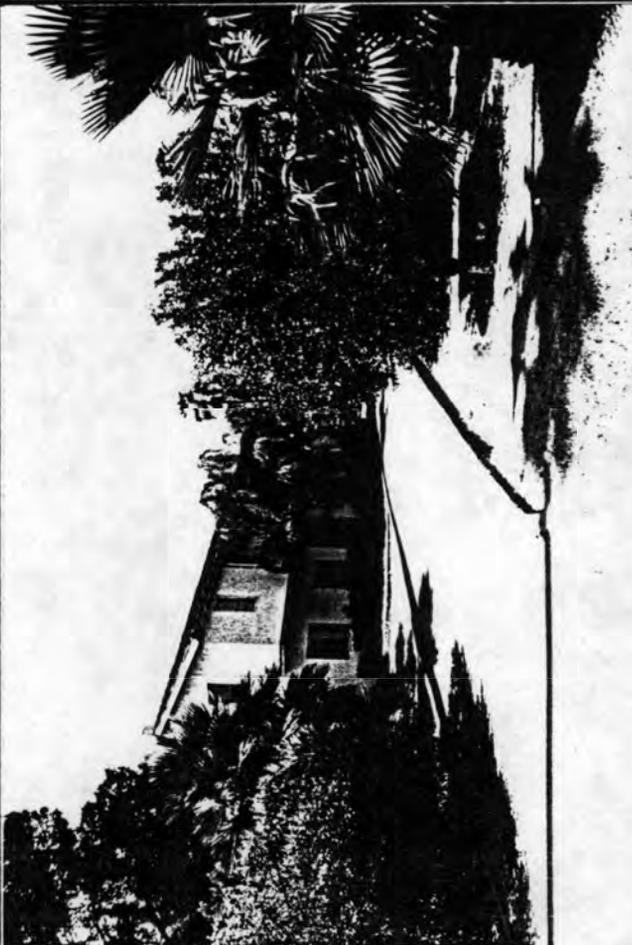
ALTERATIONS: Second story was originally covered with asbestos shingles, now a portion is stuccoed

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 96
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN 6/1

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 96

Address: 25 E. Plaza del Encanto

Additional Information:

*This home was built by Bailey & McCoy in 1939 for Frank C. O'Reilly. Frank C. and Josephine B. O'Reilly lived in this home until around 1979. Frank was the founder and president of O'Reilly Motor Co., noted as the "second largest" auto dealership in Tucson. O'Reilly was also president of the Tucson Chamber of Commerce in 1934, director of Pima Savings and Loan Association and a WWI veteran. Frank died May 20, 1979. The citrus grove at the front of this house was planted when the home was constructed, and still yields an abundance of fruit. The preliminary design and floor plan for the home was completed by Josias Thomas Joesler, documented by a rendering of the floor plans for the first and second stories of the home, which are signed by Joesler.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Solot Home
 ADDRESS/LOCATION: 60 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-087 (0.517) acres
 OWNER: Freedman, Mort & Myra
 OWNER ADDRESS: 60 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1955

BRIEF DESCRIPTIVE STATEMENT: One story Modern Style painted brick residence with flat roof with asphalt sheathing, parapet with brick cornice, central entry with double leaf solid wood doors, veranda porch with piers and trellis work along entire length of building, metal casement windows, large front lawn with sculptured hedges, vines over trellis, palm trees and several planters. There is an entry walkway wall of brick with lamp. The driveway is graveled.

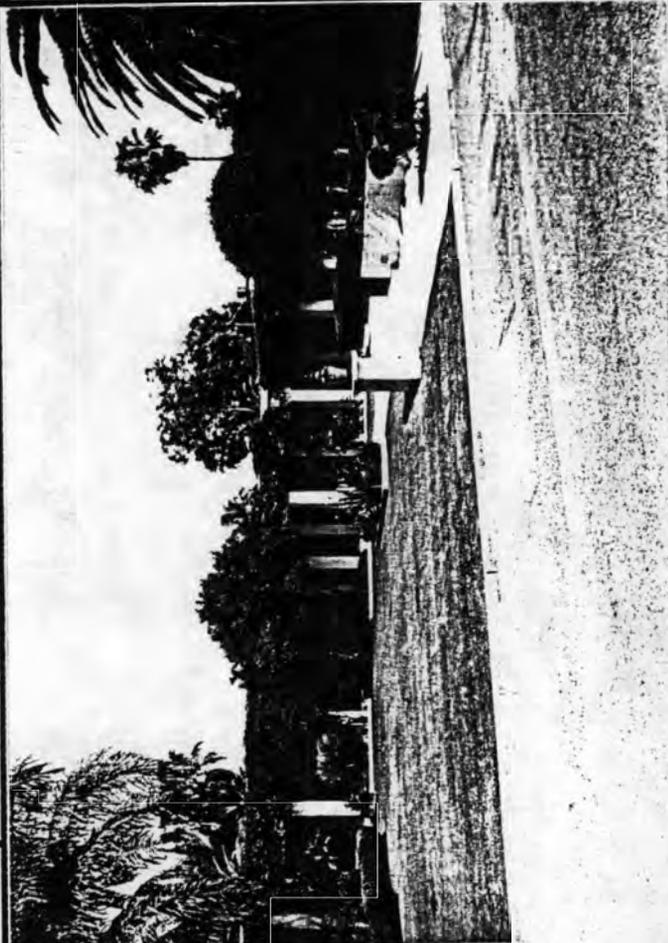
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 98
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 6/6

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

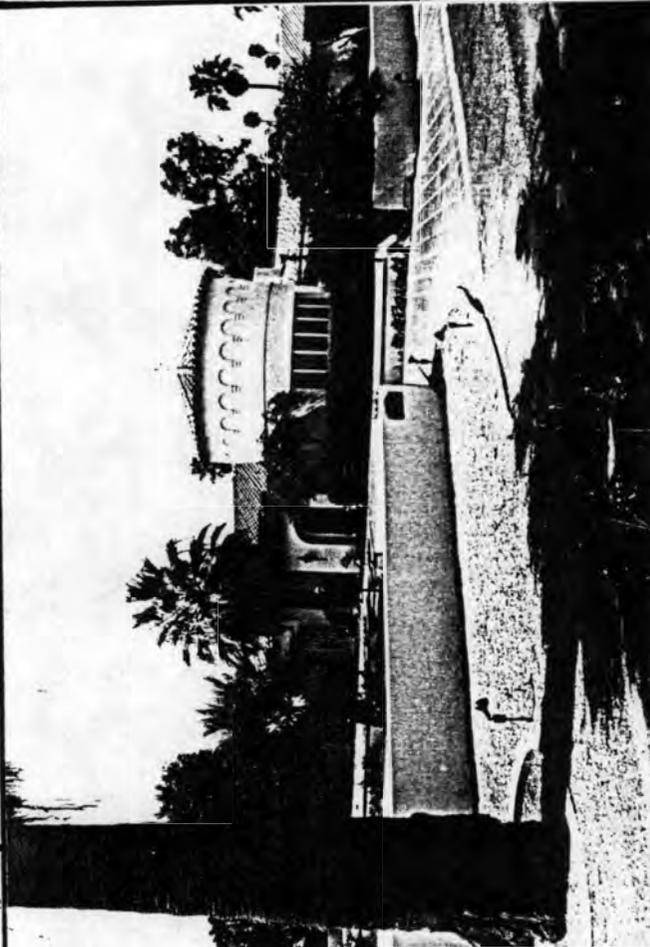
Survey Number: 98

Address: 60 N. Camino Espanol

Additional Information:

*This residence, designed by Friedman & Jobusch, was built in 1955 for Benjamin H. and Myra A. Solot. Benjamin Solot was a leading real estate developer in Tucson, and founder of the Solot Realty Co. He was well-known as a commercial developer and for his role in residential development as a broker and builder. Solot died on March 4, 1970 at the age of 79. This home at 60 Camino Espanol was sold soon after his death.

ARIZONA BUILDING INVENTORY "SHORT FORM"

<p>SURVEY AREA NAME: <u>El Encanto Estates</u> HISTORIC NAME: <u>Brown Home</u> ADDRESS/LOCATION: <u>50 N. Camino Espanol</u> CITY/TOWN: <u>Tucson</u> TAX PARCEL NUMBER: <u>125-15-088</u> (1.056) acres OWNER: <u>Lopez, Humberto S. & Czarina M.</u> OWNER ADDRESS: <u>50 N. Camino Espanol</u> HISTORIC USE: <u>Residence</u> PRESENT USE: <u>Residence</u> BUILDING TYPE: <u>House</u> STYLE: <u>Spanish Colonial Revival</u> CONSTRUCTION DATE: <u>1933</u></p>	<p>COUNTY: <u>Pima</u> SURVEY SITE: <u>99</u> USGS QUAD: <u>Tucson, Az</u> T <u>14s</u> R <u>14e</u> S <u>09</u> / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ UTM _____</p>
<p>BRIEF DESCRIPTIVE STATEMENT: Large one story Spanish Colonial Revival style residence with medium hipped roof and circular tower with mission tile roofing, exposed rafters, and stuccoed interior chimney. Foundations are stuccoed as are the walls. Decorative details include wrought iron grill work, tower ornamentation, and weather vane. The main entry is recessed, arched with solid wood door and wrought iron gate. The building material is stuccoed masonry and concrete foundations. There is a new stuccoed wall at sides, and planters at the front.</p>	
<p>ALTERATIONS: Sensitive side & rear additions, done by M.H. Starkweather, 3 car garage added in 1979, handball court & wall added</p>	<p>PHOTOGRAPHER: <u>Linda Laird & Associates</u> DATE: <u>Sept, 1987</u> VIEW: <u>E, 3/4</u> NEGATIVE NUMBER: <u>EEEN 6/3</u></p>
<p>CONTEXT: RESIDENTIAL STREETScape <u>XXX</u> COMMERCIAL _____ TOWN SQUARE _____ CBD _____ ISOLATED/RURAL _____</p>	<p>SKETCH MAP: See Final Map</p>
<p>SURVEYOR: <u>updated by LL&A</u> DATE: <u>Sept, 1987</u></p>	
<p>* See Addendum for Additional Information</p>	

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 99

Address: 50 N. Camino Espanol

Additional Information:

*This home is an example of a modified Spanish Colonial Home, designed by M.H. Starkweather in 1933. The home was built for Clifton O. Brown, a prominent businessman involved in Arizona mining. It was more recently the winter home of L. Noland, founder of the Noland Co., the largest plumbing and heating supply firm in the southwest. Noland was also Virginia State senator (1949-50). Alterations to this home have compromised the integrity of the original design.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Darton Home
 ADDRESS/LOCATION: 25 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-089 (0.547) acres
 OWNER: Darton, Eileen J.
 OWNER ADDRESS: 25 E. Calle Primorosa
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Contemporary
 CONSTRUCTION DATE: 1970

BRIEF DESCRIPTIVE STATEMENT: One story slump block residence with parapet topped by cast stone, central entry with cast stone motif which is squared and accentuates the buildings symmetry. The house is U-shaped with landscaped atrium at rear. The roof is flat, with built up roof sheathing. The design is simple. There is an attached slump block two bay garage to the left. A six foot masonry wall is at the front. Facade vegetation is sparse. There are a few mature palms. The driveway is circular with gravel.

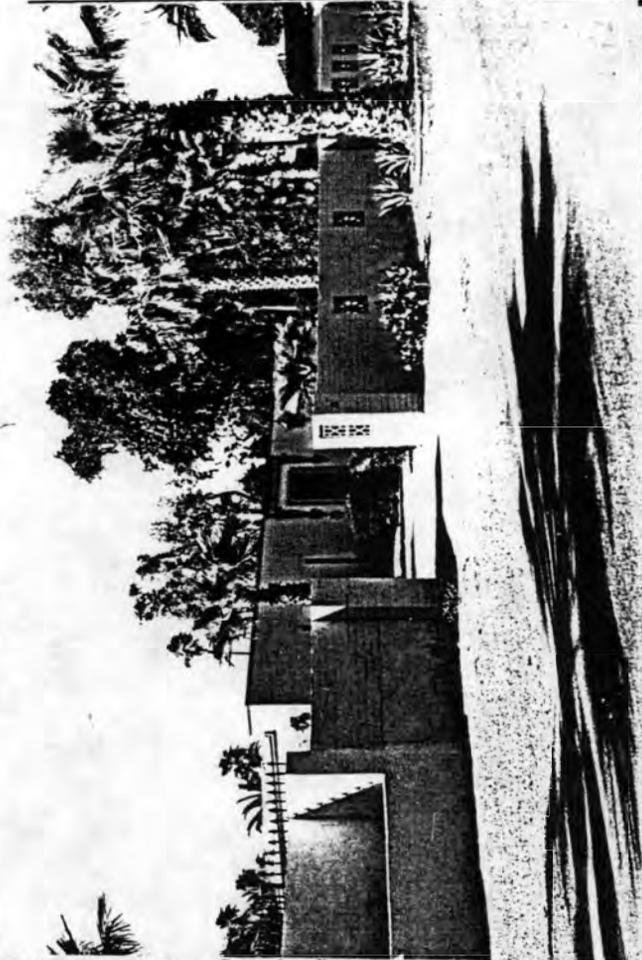
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 100
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / SW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: NW, 3/4

NEGATIVE NUMBER: EEEN A-19

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 100

Address: 25 E. Calle Primorosa

Additional Information:

*This home was designed and built by Arthur B. Darton, RA as his personal residence in 1970.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-090 (0.510) acres
 OWNER: Garcia, Ernest C. & E. Joanne
 OWNER ADDRESS: 20 E. Calle Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1949

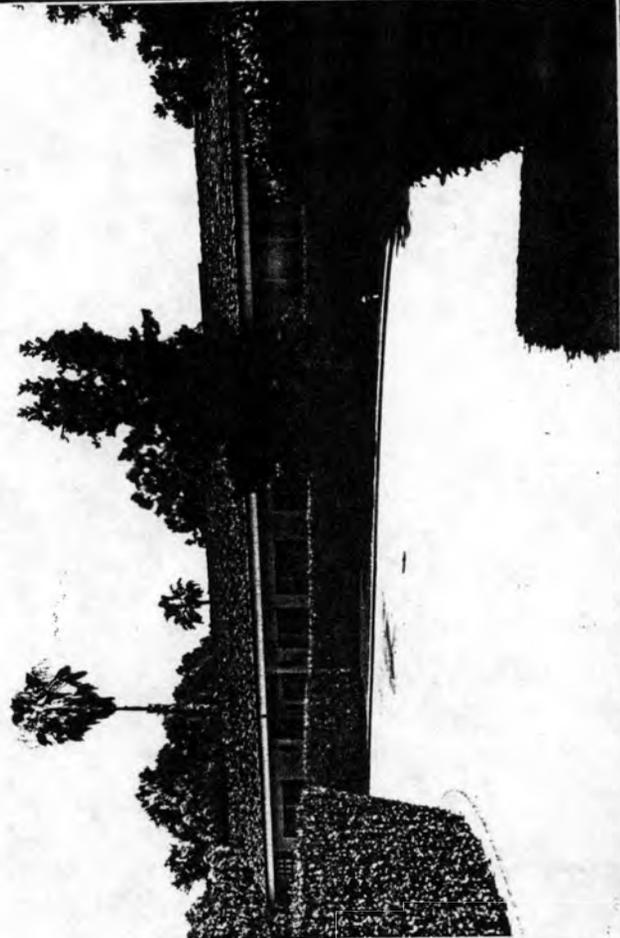
BRIEF DESCRIPTIVE STATEMENT: One story painted masonry modern Ranch Style residence with medium gable roof with wood shingle sheathing with ridge cap, plain fascia, double hung, multi-pane windows with decorative wood shutters, central entry with wood door with lighted transom, two side lights, lamps on either side, hedges at foundation, lawn with border wall of brick, paved circular driveway with hedged median, some mature trees. This was designed by John W. Smith, RA.

ALTERATIONS: Pool and tennis court added

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 101
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 7/21

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Silverman Home
 ADDRESS/LOCATION: 15 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-093 (0.487) acres
 OWNER: Silverman, Goldie
 OWNER ADDRESS: 15 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1957

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with low gable roof, with asphalt shingles, interior chimney shed roofed porch with plain fascia, recessed entry with wood door and side lights, metal casement windows, attached garage, graveled circular driveway with low brick border wall, mature trees, shrubs at foundation and desert landscaped median. Windows have brick sills. The foundation is raised concrete. This home was designed by Friedman & Jobush, RA.

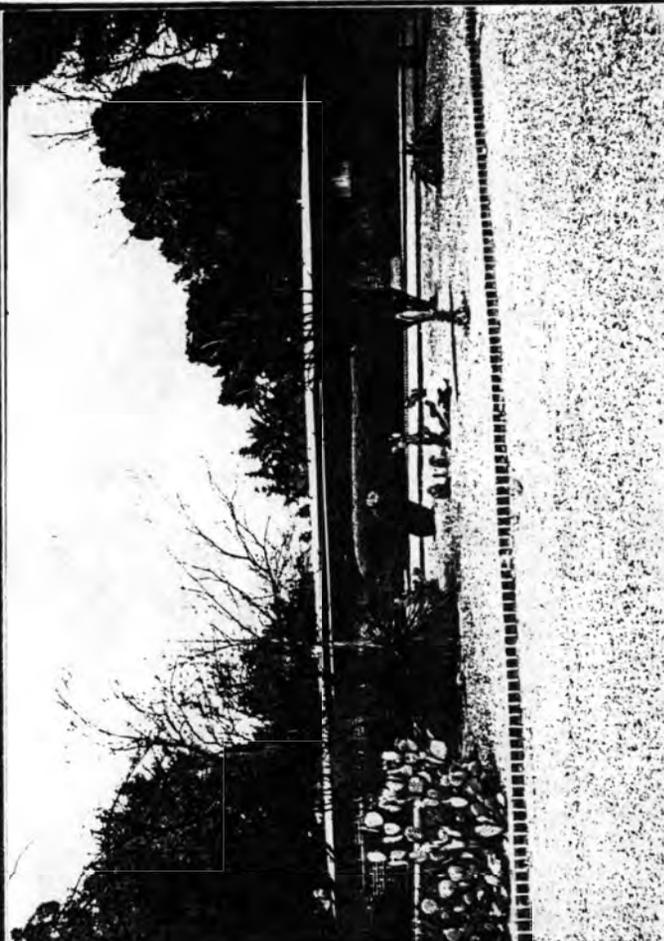
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 105
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / SW ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 2/26

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 105

Address: 15 E. Calle de Amistad

Additional Information:

*This home was built for Jake and Goldie Silverman in 1957 by Friedman & Jobush, RA. Jake Silverman was born in Texarkana, TX. He came to Tucson and began a partnership in the Williams Auto Sales, a car dealership. This dealership was the first dealership to offer in-house financing in Arizona. Silverman was also instrumental in founding Blue Chip Motors an auto dealership located at North Alvernon and Speedway. Jake Silverman retired from the auto sales in 1981, and died three years later on November 4, 1983. The home soon sold.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Glennie Home
 ADDRESS/LOCATION: 25 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-094 (0.461) acres
 OWNER: Peate, Wayne Frederice & Lynn Marie
 OWNER ADDRESS: 25 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1955

BRIEF DESCRIPTIVE STATEMENT: One story exposed masonry Ranch Style residence with wood shingle sheathing, two interior chimneys, exposed rafters, 4-4 metal casement and fixed windows with decorative wood shutters, central entry with panel wood door and tile trim surround, hedges and some young trees at foundation, small lawn with low brick border wall, brick walkway, graveled circular driveway, lawned median. This home was designed by William H. Carr, RA.

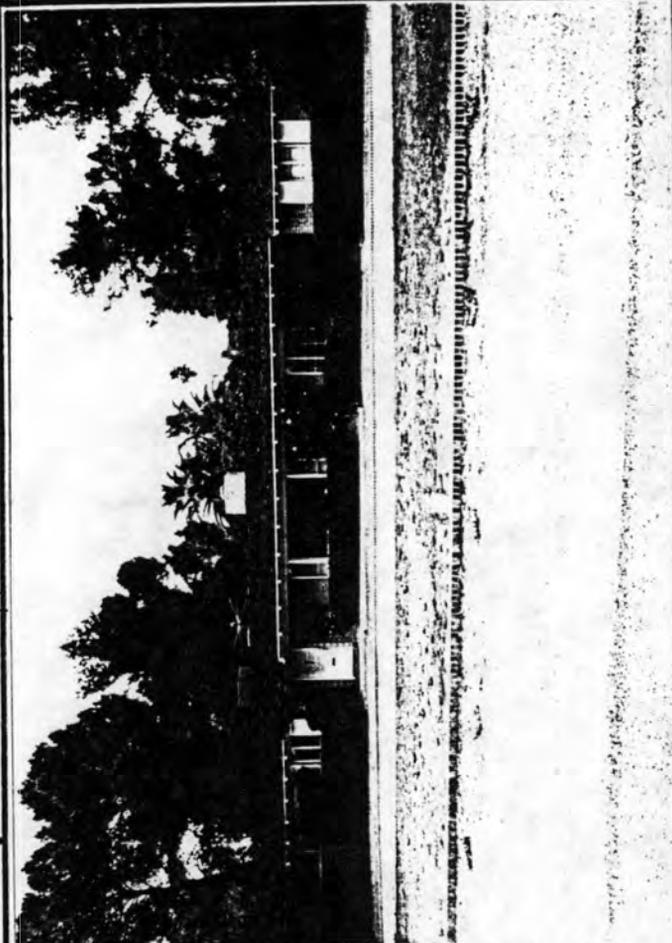
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 106
 USGS QUAD: Tucson, Az
 T 14sR 14eS 09 / SE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 2/23

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 106

Address: 25 E. Calle de Amistad

Additional Information:

*This home, designed by William H. Carr, RA in 1955 was the home of Blair A. Glennie. Glennie was a prominent dentist, practicing in Tucson 40 years. Glennie received his degree from the University of Michigan's dental school. He came to Tucson in 1927 and founded the dental health program for children. He was president of the Arizona State Dental Society, on the Arizona Dental Examiners board, a member of the Southern Arizona Dental Society and a fellow of the American College of Dentists. Glennie was the dentist for the Southern Pacific Railroad between 1934 and 1939. He was involved with the Boy Scouts, Tucson Symphony, the YWCA and the Historical Society of Tucson. Blair A. Glennie died April 7, 1980 and his home in El Encanto was soon sold.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 65 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-095 (0.487) acres
 OWNER: Mitsuoka, Roy M.
 OWNER ADDRESS: 65 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1950

COUNTY: Pima SURVEY SITE: 107
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____

BRIEF DESCRIPTIVE STATEMENT: One story painted masonry, Ranch Style residence with L-shaped medium gable roof, with Mission tile sheathing with ridge cap, exterior chimney, rectangular vent at gable end, exposed purlins, metal casement windows, with plain sills, recessed entry with wood door, recessed porch without rail, attached garage under main roof line with brick and wrought iron wall, three foot brick planters, lawned front, brick walkway, graveled driveway and rocked median with some mature hedges. This home was designed by Anne J. Rysdale, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, FF
 NEGATIVE NUMBER: EEEN 2/22

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 60 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-096 (0.607) acres
 OWNER: Foresman, Harry J. & Anne Holmes
 OWNER ADDRESS: 60 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1952

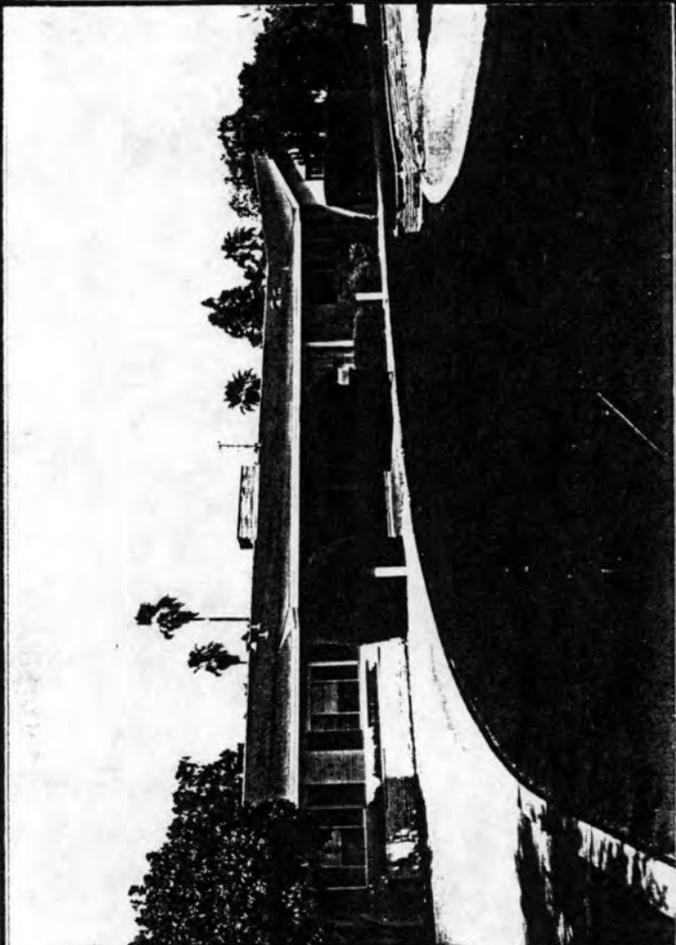
BRIEF DESCRIPTIVE STATEMENT: One story modern Ranch Style painted brick residence with L-shaped gable roof with asphalt shingle sheathing, plain fascia, single interior chimney, metal casement windows with decorative wood shutters and brick sills, central entry with wood door and double wrought iron gate, three foot brick planters, hedges at foundation, some mature trees, paved circular driveway, lawned median and three foot planter.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 108
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: NE, 3/4
 NEGATIVE NUMBER: EEEN 7/22
 SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Buehman Home
 ADDRESS/LOCATION: 50 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-097 (0.593) acres
 OWNER: Yesian, Rose & Beatrice
 OWNER ADDRESS: 50 E. Calle Encanto
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1948

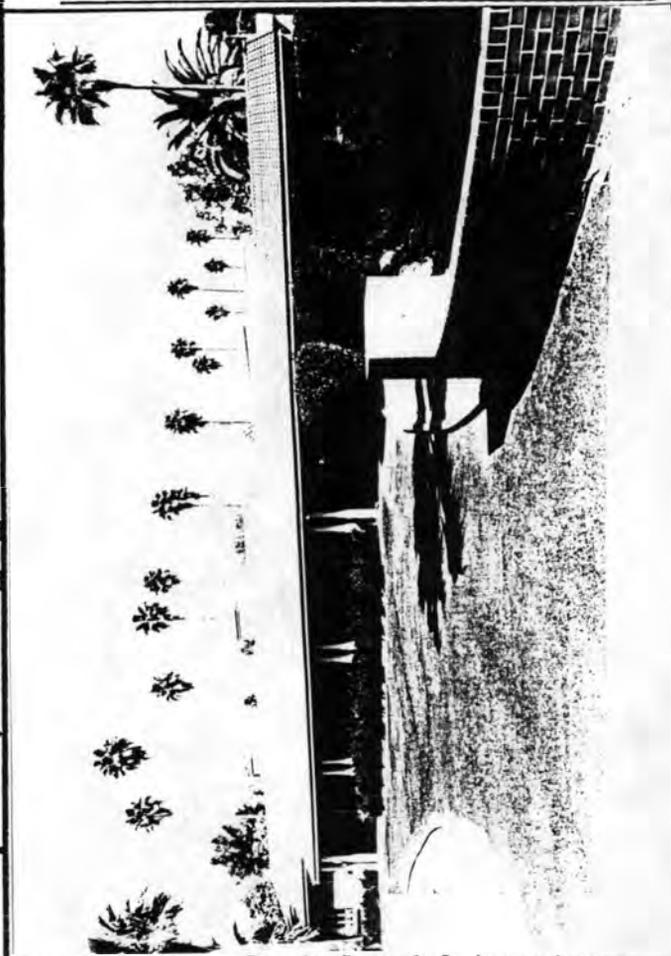
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick modern Ranch Style residence with gabled roof with tile sheathing, two interior chimneys, projecting eaves, open porch with paired wood posts, recessed entry with metal screen door and wood door, metal casement windows with brick sills, graveled circular driveway, shrubbery at foundation, three foot brick wall at driveway entry, mature trees. This home was designed by Starkweather & Morse, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 109
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 3/27

SKETCH MAP: See Final Map

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 109

Address: 50 E. Calle Encanto

Additional Information:

*This home designed by Starkweather & Morse in 1948, was built for Albert R. & Ella Buehman. Albert Buehman was the son of Henry H. Beuhman, a German immigrant born in 1851, who at the age of 20, came to the U.S. and six years later arrived in Tucson (1874). In Tucson, he pursued a career in photography, a career he started in Germany. Within a year, he was submitting photos for the Arizona Citizen (now known as the Tucson Citizen). By 1882, Henry was taking a leading part in Tucson's public life. He was elected to many positions, including: county public administrator, school trustee, county assessor, supervisor and mayor for four years. Henry had his son, Albert, March 28, 1886. Albert was not pushed into pursuing a career in photography. Rather, he went to the UofA, and then received a BS in mining from Michigan College of Mining Technology. He began a career in mining chemistry, but his father's death in 1912, necessitated his return to Tucson and eventually an altered career. Albert became a photographer in earnest, and in 1926, he received the highest salon honors for 5 of his pictures entered in the Photographic Assn. of America's exhibit. In 1932, he was awarded the second-place medal in the association's international exhibit. Albert became director of the group in 1934, and president in 1939. He was also pres. of the Arizona Assn. of Photographers and an organizer for the American Society of Photographers. In 1912, he was married to Ella Doyle and by 1949, their son, Remick, took over the Buehman Studios, an operation that existed in Tucson since 1873. The Buehman Studios finally were sold in 1953. Many of the Buehman photographs, mostly studio portraits, are now housed at the Arizona Historical Society in Tucson. Albert died in 1967, his wife, Ella, remained in this home at 50 Calle Encanto for some time. The home sold around 1977.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 60 E. Calle Encanto
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-098 (0.407) acres
 OWNER: First National Bank of Arizona
 OWNER ADDRESS: PO Box 350, Tucson, Az 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1955

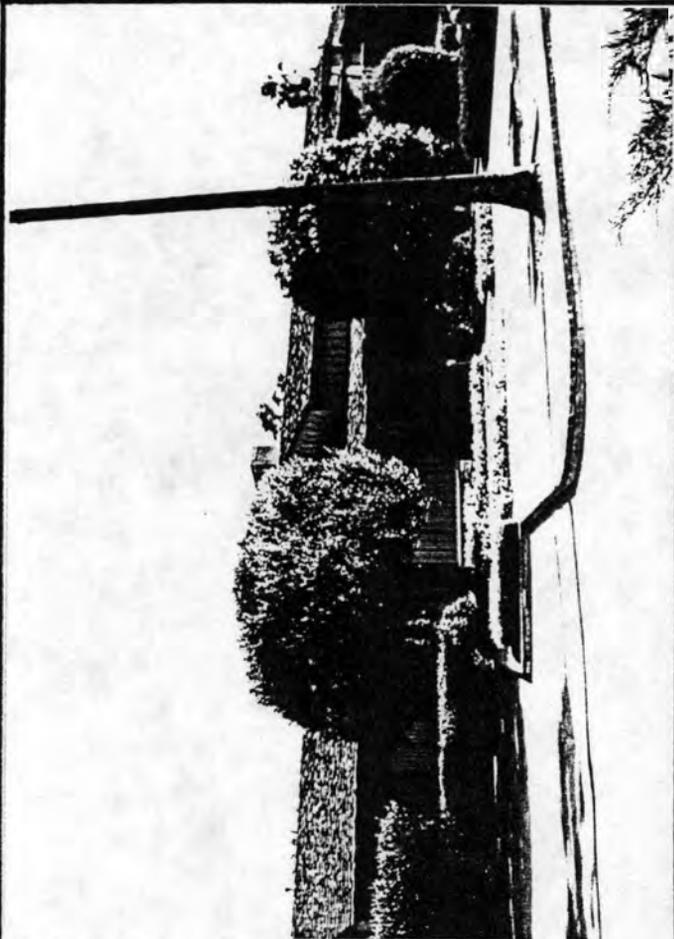
BRIEF DESCRIPTIVE STATEMENT: One and a half story exposed brick Modern Style residence with medium gable roof with wood shingles, single interior chimney, corbeled cornice, metal side slide and fixed, and one bay window near the central entry with plate glass and cast concrete lintel. The entry has a panel wood door, and cast concrete block trim. There is a sliding glass door at second story with wrought iron rail balcony, hedges at foundation, front lawn, brick walkway to entry, two foot high planters and mature trees. This home was designed by Bernie Friedman, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 110
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN E-16

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Palermo Home
 ADDRESS/LOCATION: 75 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-100 (0.504) acres
 OWNER: Naughton, Frank J. Sr. & Anna Angela
 OWNER ADDRESS: 75 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: Feb, 1948

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick modern Ranch Style residence with medium gable roof with interior chimneys, ridge cap Mission tile sheathing, projecting eaves, metal casement windows, recessed entry with double leaf panel wood door, attached garage, brick walkway, circular driveway that is asphalt, desert landscaped front yard with mature growth, which serves to hide many features of the home. The attached photograph is the best photograph possible.

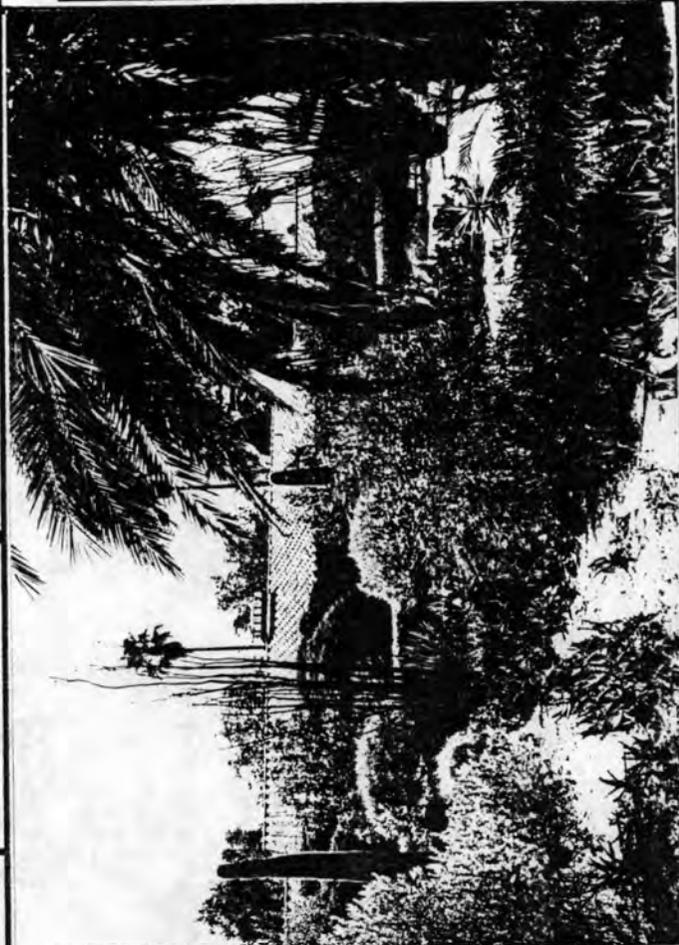
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 112
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN 7/25

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 112

Address: 75 N. Camino Miramonte

Additional Information:

*This home was designed by E.D. Herreras for Eugene E. & Lucy Palermo. Lucy Palermo was a "lifelong campaigner." She was the first woman of Italian descent to be elected to political office in the U.S. (board of Commissioners, 1934, Cook County, Ill). While commissioner, she established the first blood bank in the country at Chicago's Cook County Hospital. She also served as vice-president of the Juvenile Home Court Committee and the Cook County Hospital. She arrived in Tucson in 1943, and established her residence at 75 Camino Miramonte in July, 1947. Palermo soon became involved in local politics. She was a member of the Tucson Property Owners Protective Assn. and served as a board member and as chairperson of the fact-finding committee. In 1971, at the age of 86, she ran for county supervisor. Claiming that the current supervisor was not doing his job, she wanted "only one term..just..enough time to clean up this place.." she said. Lucy Palermo lost the election, but remained active in local political organizations. She died at the age of 94 on Dec. 11, 1979.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Breck Home
 ADDRESS/LOCATION: 55 N. Camino Miramonte
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-101 (0.861) acres
 OWNER: McLoughlin, Kevin J. & Kay J.
 OWNER ADDRESS: 55 N. Camino Miramonte
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1951

BRIEF DESCRIPTIVE STATEMENT: One story painted brick and board & batten, modern Ranch Style residence with low L-shaped gable roof with ridge cap Mission tile sheathing, single interior decorative brick chimney, exposed rafters, 4-4 metal casement windows with brick sills and fixed, recessed central entry with wood door and wood panel sides, large fixed and casement windows at gable end with plain lintel and rectangular vent at pediment. There are three foot planters at foundation, flagstone walkway to entry, lawned front yard with low brick border wall.

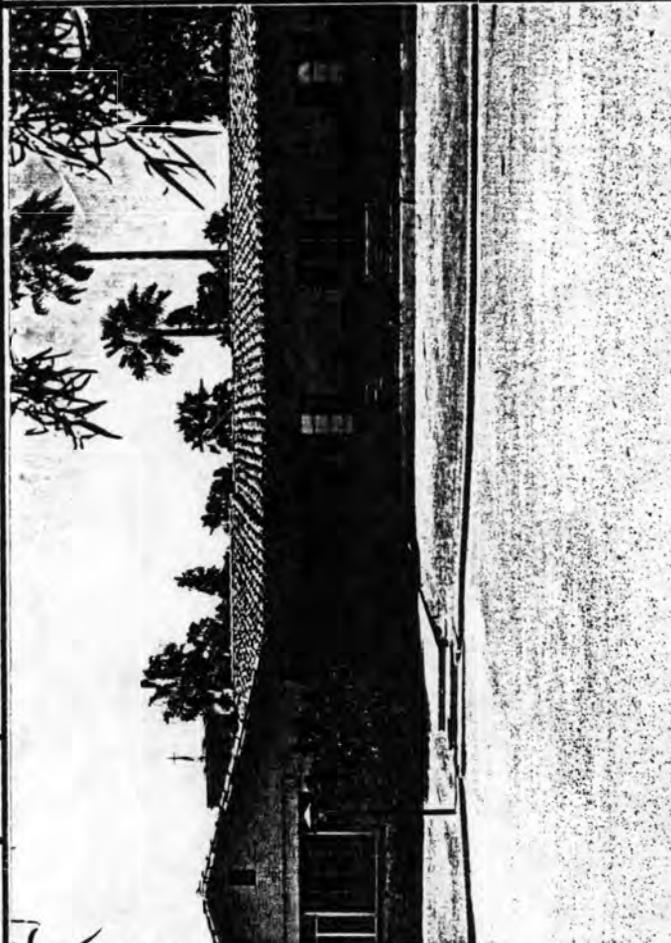
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 113
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, FF

NEGATIVE NUMBER: EEEN 7/24

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 113

Address: 55 N. Camino Miramonte

Additional Information:

*Designed by Anne J. Rysdale, RA, this was the home of Bernard & Rosa Block from 1950 through 1963 (unknown historical significance). It became the home of William H. Breck around 1963. "Bill" Breck and his wife, Alice, moved to Tucson in 1951 from Bozeman, Montana, after his two sons, Dan and Joe, came down with viral pneumonia. Breck had been a successful auto dealer in Bozeman, and soon entered into a partnership with Harry Mack. Breck and Mack ran a car lot at N. 6th Ave. and E. Pennington downtown until 1954, when Breck joined Young Buick as sales manager. In 1959, the Dodge division of Chrysler Corp. offered Breck its Tucson franchise, replacing Dodge dealer Frank Dawson. Bill Breck Dodge began in 1959 at E. Speedway and N. Country Club Rd. By 1972, the growth of the dealership required a consolidation of the operation and Bill Breck Dodge moved to 4220 E. 22nd St. In 1985, Bill Breck Dodge finished 15th among Western Dodge dealer and #1 in Mack truck sales in the U.S. Bill Breck cut back on his own involvement in the Dodge dealership, to let his son, Dan, run the company, still located on 22nd St. Bill Breck is noted for his community involvement in the Fiesta de los Vaqueros and was honored as Grand Marshal in the Rodeo Parade in 1986. Breck and his wife lived in this home at 55 Camino Miramonte until around 1975, when the home was deeded to Kevin J. McLoughlin, the current owner.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 40 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-102 (0.536) acres
 OWNER: Hoffman, Junius
 OWNER ADDRESS: 40 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1954

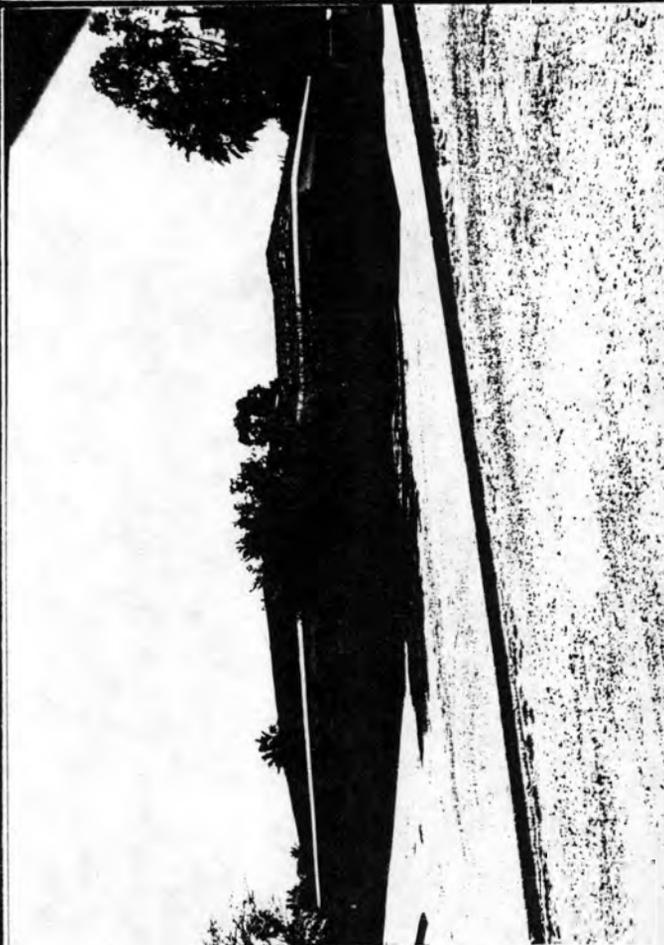
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with low hipped roof with ridge cap wood shingle sheathing, interior stone chimney, plain fascia, boxed cornice, metal casement windows, central entry recessed with wood door and side lights, field stone veneer, attached single bay garage, under main roof line, graveled circular driveway with low brick border walls, hedges at the foundation and some mature trees. There is a small lawned section of the yard. The designing architect for this home was Anne J. Rysdale, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 114
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: SE, 3/4
 NEGATIVE NUMBER: EEEN 5/9

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-103 (0.656) acres
 OWNER: Bernfeld, Michael & Elizabeth
 OWNER ADDRESS: 20 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1956

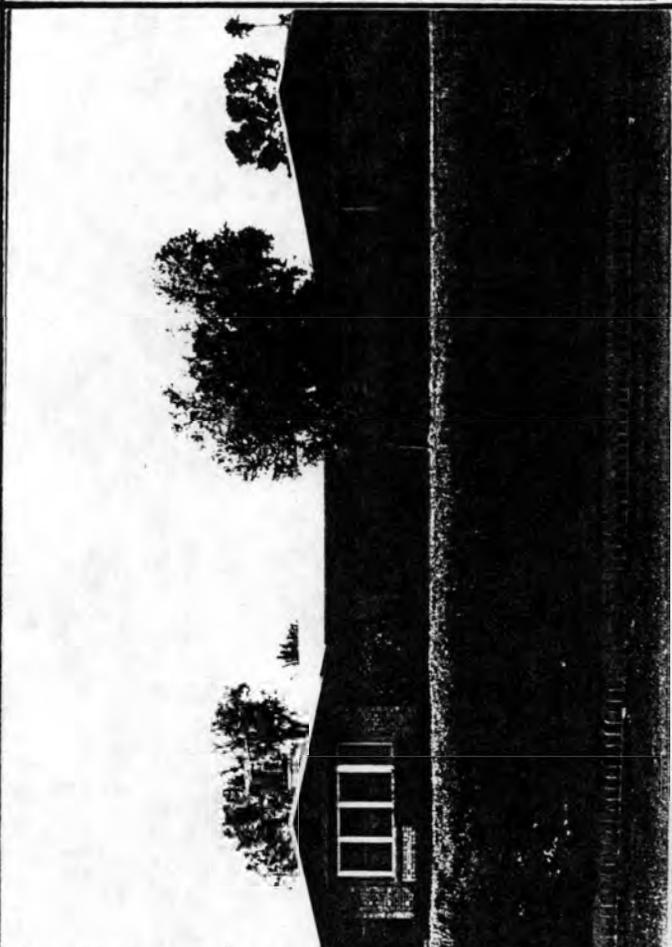
BRIEF DESCRIPTIVE STATEMENT: One story exposed masonry U-shaped, Modern Style residence with Ranch tendencies, low U-shaped gable roof with asphalt shingle sheathing, interior chimney, projecting eaves, purlins, planking at pediment metal casement and fixed windows, one bay window at front gable end with hood and four lights. The entry is central with double panel wood doors and side lights. There is a circular driveway which is graveled, a long hedge at the street line, mature trees and hedges at the foundation. The architect who designed this home was Bernie Friedman.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 115
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN 5/19

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 14 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-104 (0.660) acres
 OWNER: Chung, George K. & Perla M.
 OWNER ADDRESS: 14 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Mission Revival
 CONSTRUCTION DATE: 1964

BRIEF DESCRIPTIVE STATEMENT: One story painted brick, Mission Revival Style residence with flat roof and parapet with cap row, protruding canales, metal casement windows with wrought iron grills, central entry with arched wood door with side lights. There is a patio protected by a seven foot painted brick wall with cap row, expressed columns with corbeled ends, arched entry with wrought iron gate, shrubs at the foundation, lawn and brick walkway. This home was built by Catalina development.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 117
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: S, FF
 NEGATIVE NUMBER: EEEN 5/21

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 10 E. Calle de Amistad
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-105 (0.685) acres
 OWNER: Pitt, Nancy R.
 OWNER ADDRESS: 10 E. Calle de Amistad
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1956

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick, Ranch Style residence with medium gable roof with asphalt shingle sheathing, interior chimney, projecting eaves, metal casement windows, central entry with wood door, rear porch with wood columns and a concrete floor. There is a brick walkway that leads to the entry, natural desert landscaping that is lush and mature. This home was built by Catalina Development.

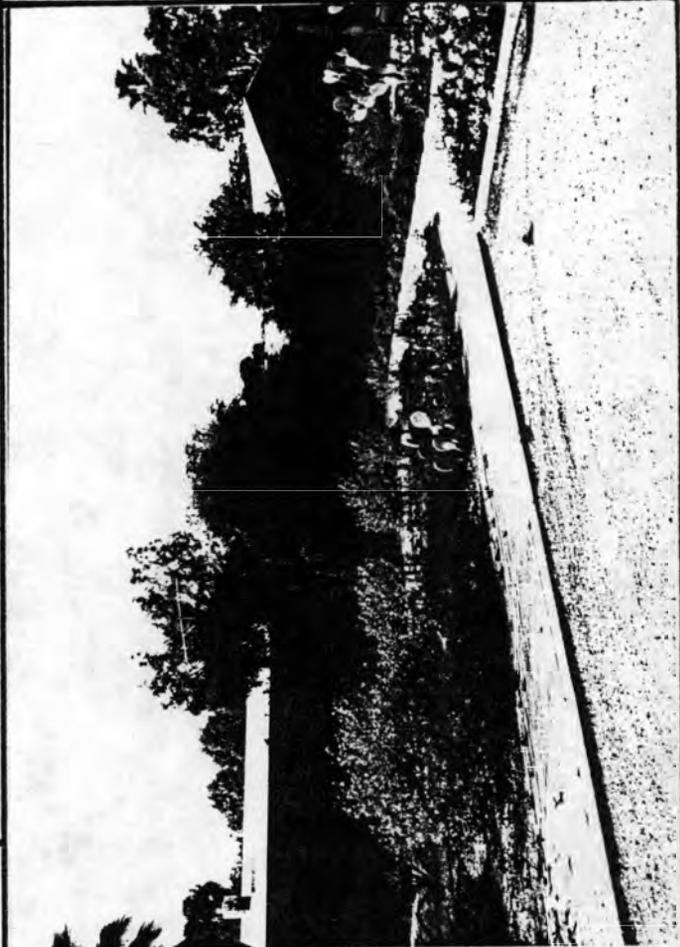
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A

DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 118
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, 3/4

NEGATIVE NUMBER: EEEN 5/23

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 10 E. Calle Primorosa
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-106 (0.413) acres
 OWNER: Myerson, Jean
 OWNER ADDRESS: PO Box 2028, Tucson, Az 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1952

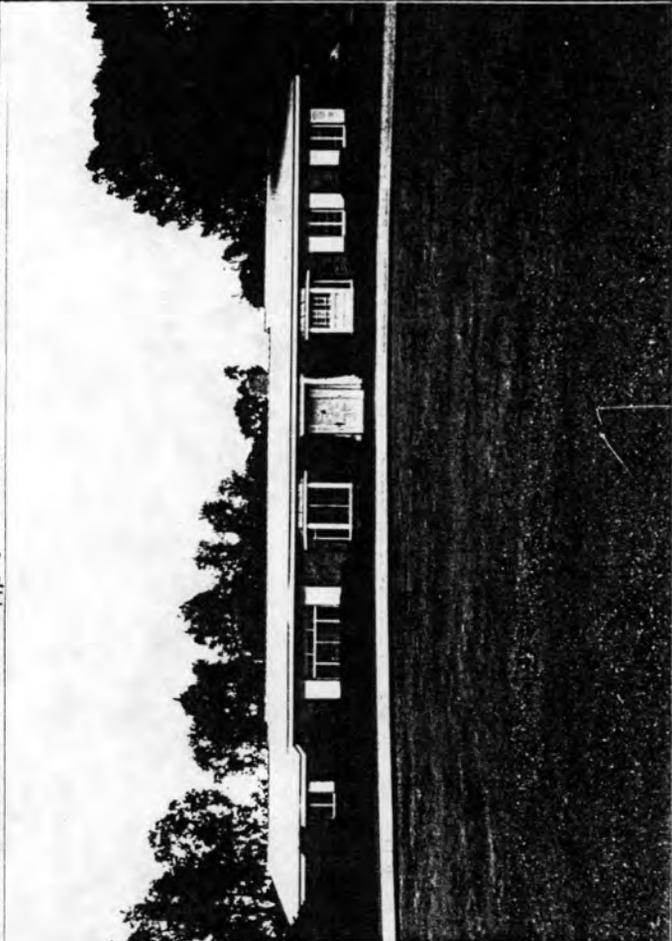
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with low gable roof and interior chimney, 4-4 metal casement and two bay windows with hooded fixed windows and decorative wood shutters on either side of facade windows, central entry with panel wood door and engaged columns. There are hedges at the foundation, circular graveled driveway with low brick border wall, and large front lawn. This home was designed by William H. Carr, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 119
 USGS QUAD: Tucson, Az
 T 14SR 14ES 09 / SW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: SE, FF
 NEGATIVE NUMBER: EEEN 2/17

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 15 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-107 (0.443) acres
 OWNER: Baker, Paul L. & Alice C.
 OWNER ADDRESS: 15 E. Calle Belleza
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1955

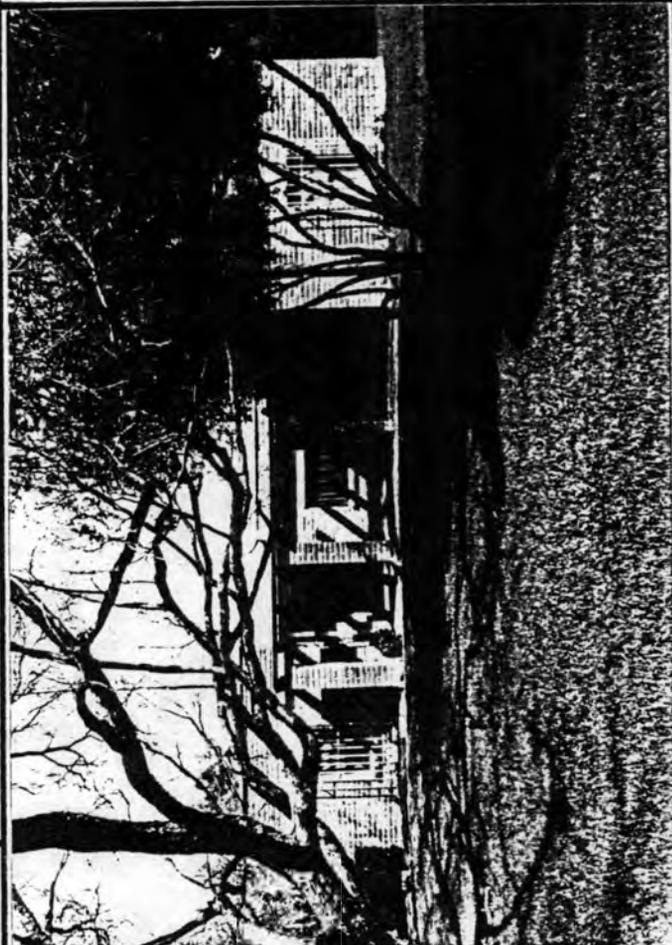
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with flat roof w/concrete mold, ramada porch with three brick piers, metal side slide windows with brick sills and wrought iron grill work, off-center entry with wood door, brick patio, large front lawn with mature trees. There is a large fixed window under the ramada, near the door.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 120
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 4/13

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 55 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-111 (0.643) acres
 OWNER: Ritter, Douglas S. & Susan H.
 OWNER ADDRESS: 55 E. Calle Belleza
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern influenced by Santa Fe Adobe
 CONSTRUCTION DATE: 1977

BRIEF DESCRIPTIVE STATEMENT: Stuccoed Modern Style residence with flat roof with parapet, metal side slide windows with plain sills, and continuous lintels, off-center recessed entry with wood door with side lights, shed roofed porch with Mission tile sheathing, no rail. There is desert landscaping with mature plantings.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 124
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN D-6
 SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 75 Calle Resplandor
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-112 (0.588) acres
 OWNER: Levenson, Alan I. & Myra K.
 OWNER ADDRESS: 75 Calle Resplandor
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1953

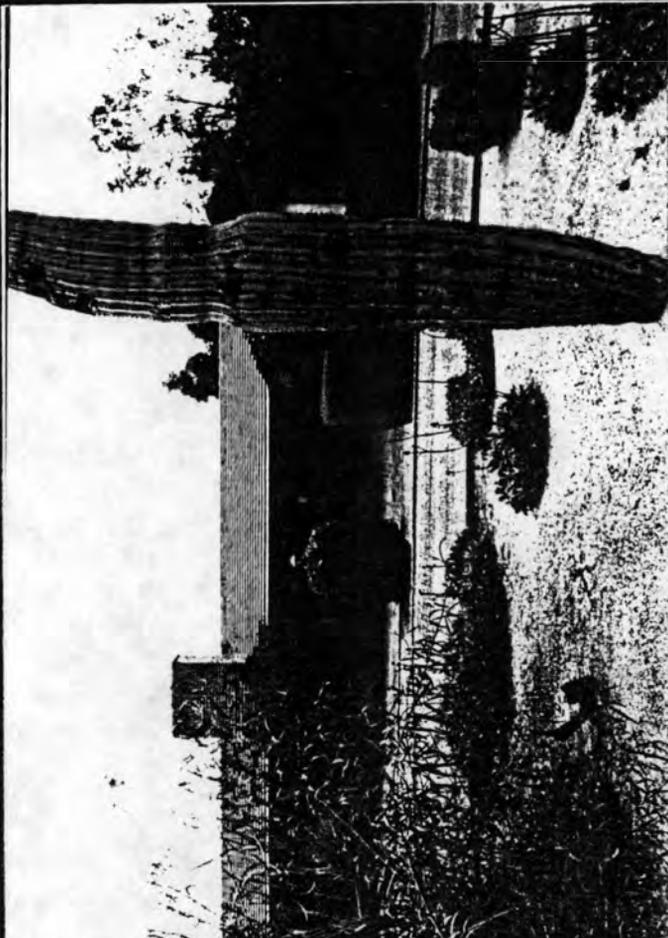
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence w/ L-shaped gable roof with asphalt shingle sheathing, exterior chimney, projecting eaves, off-center entry with double leaf panel wood door, metal side slide windows with brick sills, attached carport to the east, a brick walkway lined with hedges, hedges at the foundation, graveled circular driveway with desert landscaped median. This home was designed by Emerson C. Scholer, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 125
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: SW, FF

NEGATIVE NUMBER: EEEN 2/10

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Ivancovich Home
 ADDRESS/LOCATION: 50 E. Calle Belleza
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-113 (0.848) acres
 OWNER: Gallagher, Hugh J. & La Von O.
 OWNER ADDRESS: 50 E. Calle Belleza
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1951

BRIEF DESCRIPTIVE STATEMENT: One story exposed adobe Spanish Colonial Revival Style residence with flat roof, stepped and capped parapet, vents at tower parapet, central entry with deco carving, wrought iron gate and wood door, no porch, metal casement windows with moulded lintel, plain sills, attached garage to west, rear porch and shed additions, a concrete walkway with three foot planters, mature desert landscaping and graveled driveway.

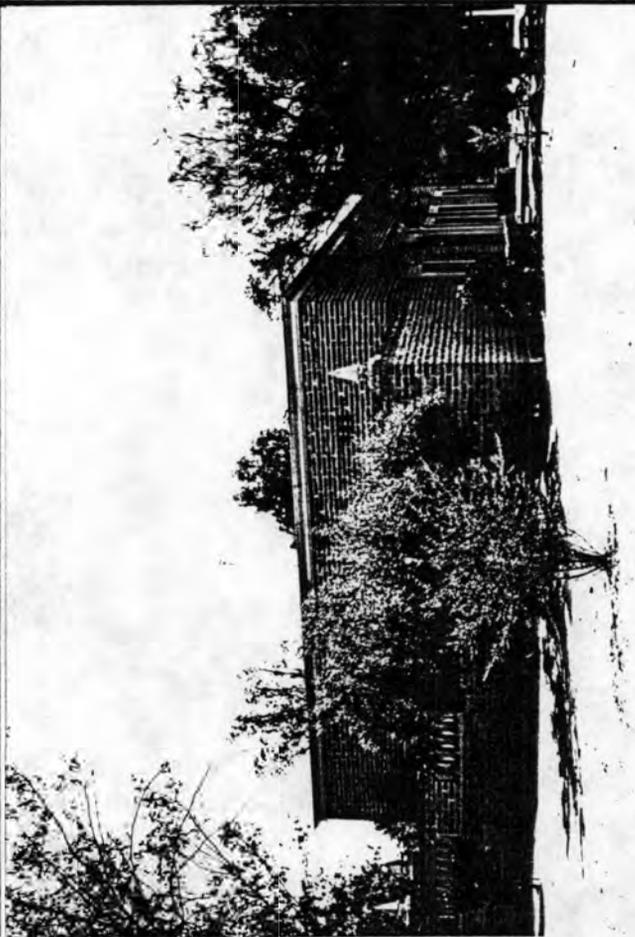
ALTERATIONS: Rear porch and shed added, rear attached addition, rear porch enclosed

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 126
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SE 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, FF

NEGATIVE NUMBER: EEEN E-13

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 126

Address: 50 E. Calle Belleza

Additional Information:

*This home, designed by Jaastad & Knipe in 1951, was the home of Byron and Jane H. Ivancovich. Ivancovich was a pioneer business and civic leader in Tucson. He took part in the first commercial electric light plant and in the City's street paving. He ran his own fruit store downtown, (on Congress Street) which eventually expanded to become a retail and wholesale grocery business. He was an early developer of Congress St. and active in pushing for improvements in the City of Tucson.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 30 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-116 (0.963) acres
 OWNER: Beigel, Allan & Joan Kaye
 OWNER ADDRESS: 30 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1954

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with medium gable roof with wood shingles, single interior chimney, planking at pediment, metal casement windows, with brick trim, brick sills, off-center recessed entry with wood door, recessed porch with single brick pier. There are purlin ends and exposed rafters. There are hedges at the foundation, lawn with low brick border wall, graveled circular driveway and desert landscaped median. This home was designed by William H. Carr, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 132
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 5/33

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 12 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-117a (0.699) acres
 OWNER: Dockins, Paul A. & Norma J.
 OWNER ADDRESS: 12 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1955

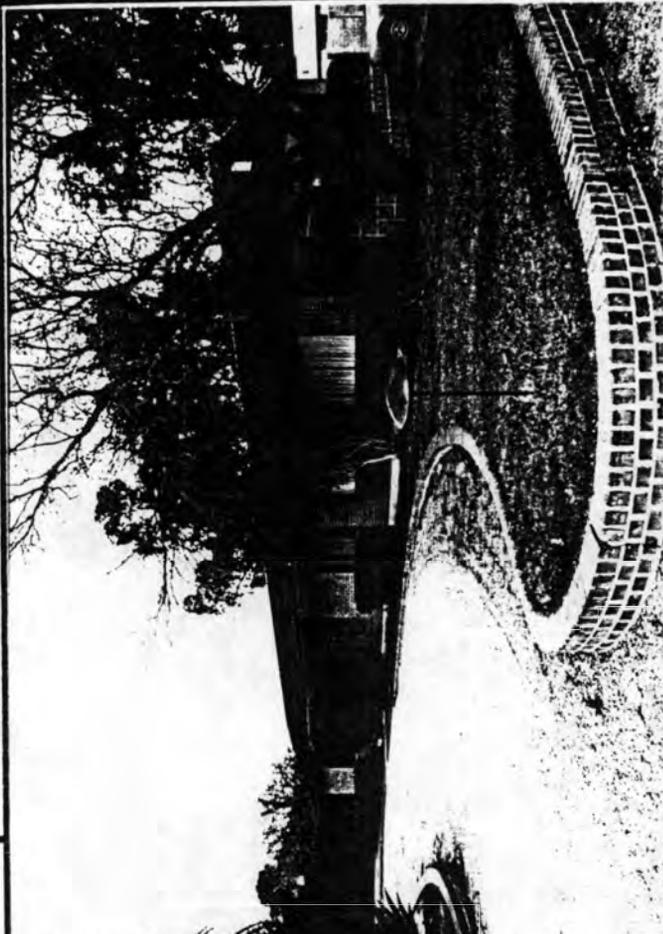
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with medium gable roof with asphalt shingle sheathing, interior chimney, square metal vent at pediment, projecting eaves, plain fascia, fixed and metal casement windows, central entry with double leaf wood door with wrought iron gate, hedges at the foundation, mature trees, gravelled circular driveway with desert landscaped median, and tiled four foot planter at south wall. This home was designed by Russell Hastings, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 134
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 2/8

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 3227 E. Broadway Blvd.
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-118a (0.559) acres
 OWNER: Wittels, Theodore S. c/o Carol Wittels
 OWNER ADDRESS: 1333 S. Copias Way, Tucson 85713
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1950

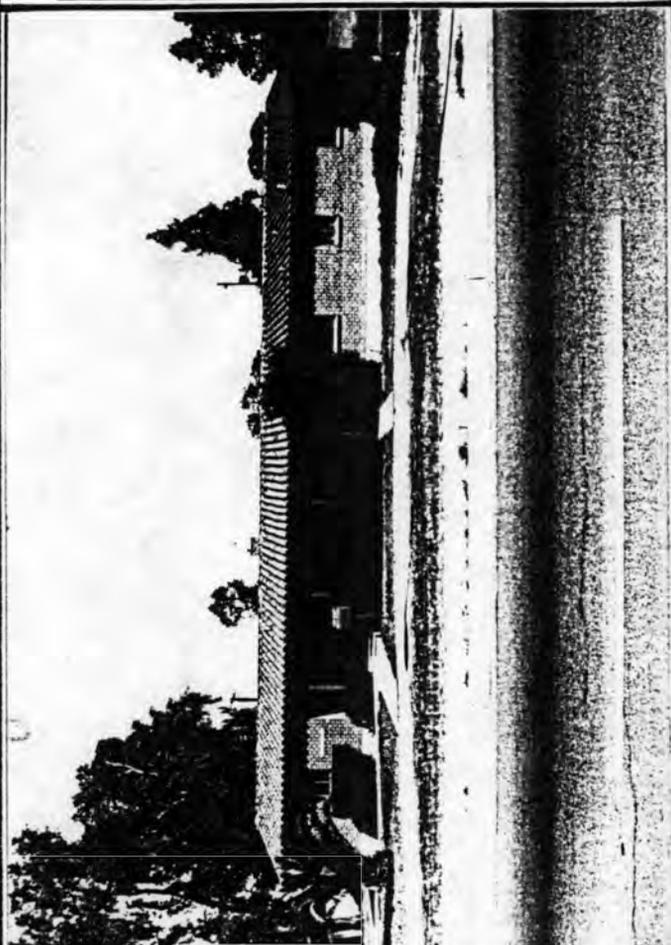
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with medium gable with ridge capped Mission tile sheathing, single interior chimney, 3-3 metal casement windows with brick sills, recessed front porch with 4 wood post supports, off-center entry with wood door, concrete walkway, concrete foundation, hedges at the foundation, lawn, mature trees at rear of main structure, graveled circular driveway, detached carport with shed and gable roof with brick pier supports. This home was designed by Anne J. Rysdale, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 136
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, FF
 NEGATIVE NUMBER: EEEN 4/10
 SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 3239 E. Broadway Blvd.
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-119a (0.557) acres
 OWNER: Youngblood, Beatrice
 OWNER ADDRESS: 3239 E. Broadway Blvd.
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1949

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with L-shaped medium gable roof with ridge capped Mission tile, single interior chimney with circular vents and tile vent in triangular pattern at pediment, shed roofed porch with exposed rafters, six wood post supports, attached carport under main roof line, central entry with metal screen door and panel wood door, 4-4 metal casement windows with brick sills, concrete foundation, lawn, concrete walkway, graveled circular driveway with sparsely vegetated median.

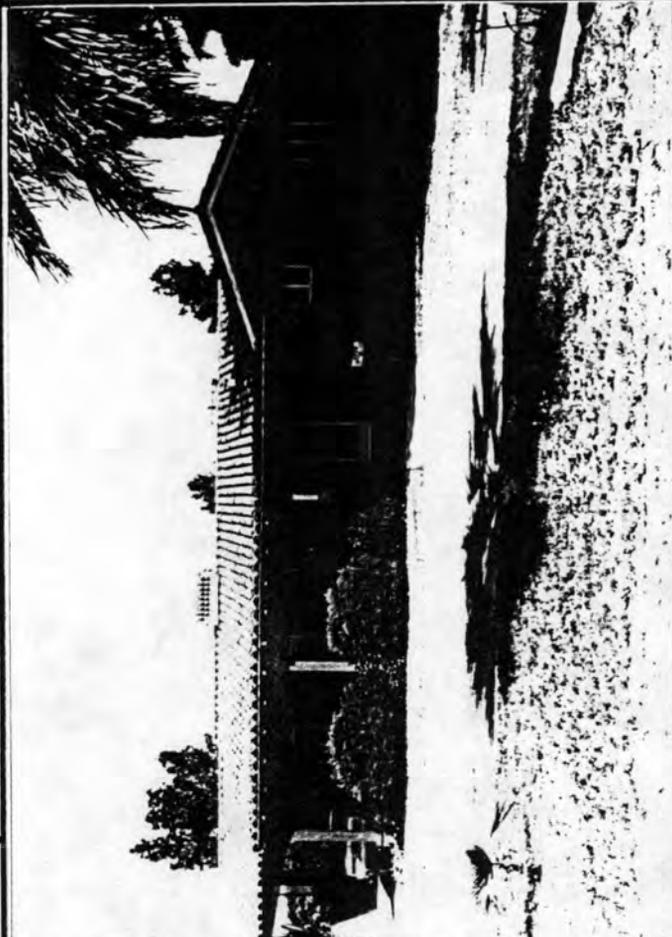
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 137
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: N, FF

NEGATIVE NUMBER: EEEN 4/7

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 137

Address: 3239 E. Broadway Blvd.

Additional Information:

*This home was designed by Knapp, RA.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 25 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-125 (0.468) acres
 OWNER: First Interstate Bank of AZ, trust dept
 OWNER ADDRESS: PO Box 350, Tucson, Az 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1954

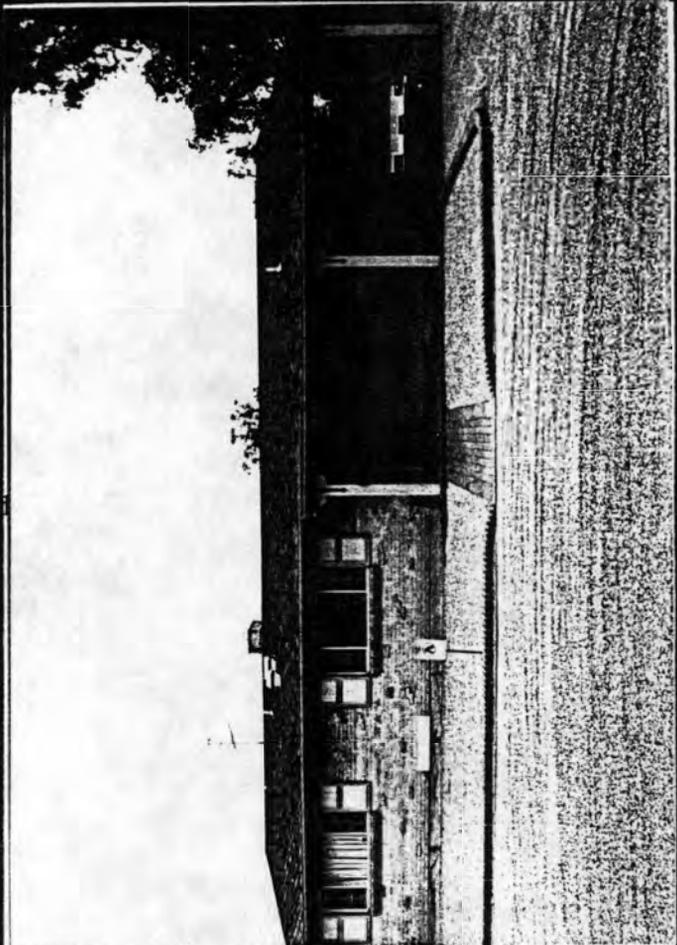
BRIEF DESCRIPTIVE STATEMENT: One story patterned brick Ranch Style residence with medium gable roof with asphalt shingle sheathing, single interior chimney, exposed rafters, metal casement windows with brick sills and decorative wood shutters, open porch with four ornamental wood posts, central entry with panel wood door, attached single bay carport under main roof line, brick walkway to entry, graveled circular driveway and graveled front yard with low brick border wall.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 144
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, FF
 NEGATIVE NUMBER: EEEN 5/3

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: McKinney Home #1
 ADDRESS/LOCATION: 45 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-127 (0.711) acres
 OWNER: Gregory, Steven M. & Jan
 OWNER ADDRESS: 45 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: 1932

BRIEF DESCRIPTIVE STATEMENT: Two story recently remodeled Spanish Colonial Revival residence with low gable roof with Mission tile, exposed rafters, second story balcony with wrought iron railing and four hewn wood posts. Windows have been altered to arched, fixed with blunt and brick sills. Recent stucco finish has been added. There is an attached garage to the right an eight foot wall to the left with arched gateway. The driveway is circular with gravel, large trees are found at the front property line. There is a landscaped median and brick border walls.

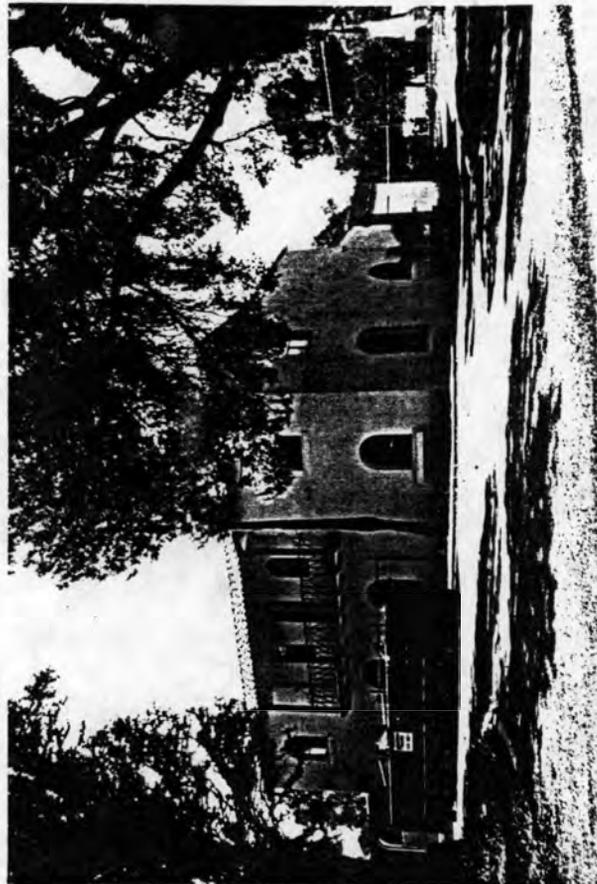
ALTERATIONS: Windows altered, replaced, new stucco finish (1987), garage converted to guesthouse

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 147
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN D-4

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 147

Address: 45 N. Camino Espanol

Additional Information:

*Recent alterations to the windows have jeopardized the integrity of this imposing two story Spanish Colonial Revival Style residence. The home, apparent on the 1935 subdivision map, and on the 1938 tax assessors roll must have been constructed circa 1932, though the original blue prints are undated. The contract was given to Bailey & McCoy, who designed and built the residence for Benjamin J. McKinney, a well-known rancher who came to Arizona in 1892. McKinney was chairman of the Livestock Board in 1924, U.S. Marshal from 1935 to 1954 and sheriff of Pima County from 1955 to 1959. "Benjie" McKinney was the first rancher to import purebred Brahma stock into Arizona. McKinney lived here until 1943, when he sold the home to James G. Bennett.

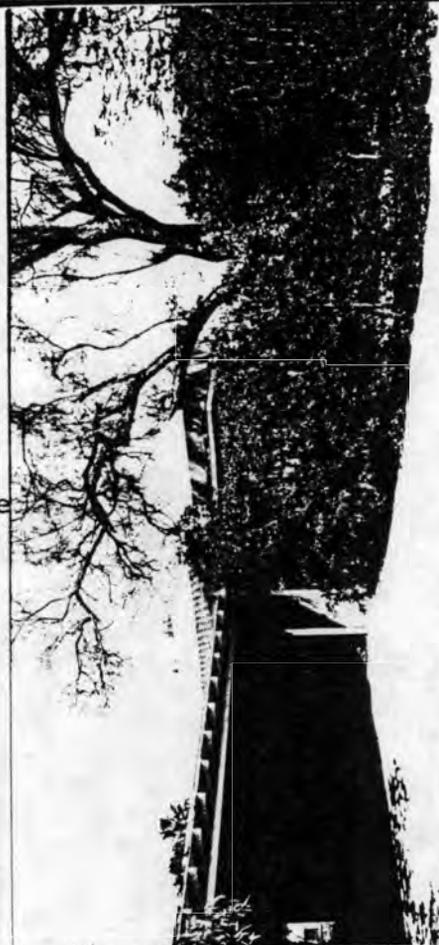
ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: James Home
 ADDRESS/LOCATION: 128 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-130a (0.944) acres
 OWNER: Fruitman, Cecelia c/o Thomas Peterson
 OWNER ADDRESS: PO Box 150, Tucson, AZ 85702
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Spanish Colonial Revival
 CONSTRUCTION DATE: c. 1921

COUNTY: Pima SURVEY SITE: 151
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM

BRIEF DESCRIPTIVE STATEMENT: Originally an adobe home, which was altered into a duplex, and then back to a single residence. It is a one story Spanish Colonial Revival residence with flat roof, wide front porch with shed roof supported by brick piers, with Mission tile sheathing, radii arches and low iron grill rail, central portion with high rounded parapet with protruding wing of lesser height, flat roofed carport added later and six foot fence which extends across the front property line. There is lush vegetation with mature shrubs and trees.

ALTERATIONS: Original adobe home was built c.1921, remodeled into duplex c. 1930, and then back to single family dwelling c.1940



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 2/0

SKETCH MAP: See Final Map

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A

DATE: Sept, 1987

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 151

Address: 128 N. Country Club Road

Additional Information:

*The original adobe home is visible on a Feb, 1929 aerial photo. It was remodeled c. 1930 into a duplex apartment by Harry A. Scott (designer/builder) for I.C. James. The mission style parapet was subsequently removed and the duplex enlarged and converted back to a single family dwelling by M.H. Starkweather for Mrs. Cecelia Fruitman-Peterson (aka. Cele Peterson). Cele is most known for her 54 years as a Tucson businesswoman and the owner of three women's "ready-to-wear" clothing stores which bear her name. She has been honored for her involvement in founding Casa de los Ninos Nursery, the Tucson Opera Co., and the Tucson Assn. for the Blind. She has been active in the Tucson Trade Bureau, the Tucson Industrial Development Authority, and worked with the symphony and the AZ Civic Theater. Alterations consist of new interior and exterior finish c. 1945, carport added c. 1955 and a back porch added c. 1945.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 55 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-132 (0.743) acres
 OWNER: Jasiak, Halina
 OWNER ADDRESS: 55 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1951

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with multiple hipped roof with asphalt shingle sheathing, interior chimneys, plain fascia, off-center entry with wood door with multiple light side lights, metal casement windows with wrought iron grill covering, three foot planters, hedges at foundation, large lawned front yard, and paved walkway. This home was designed by Bernie Friedman.

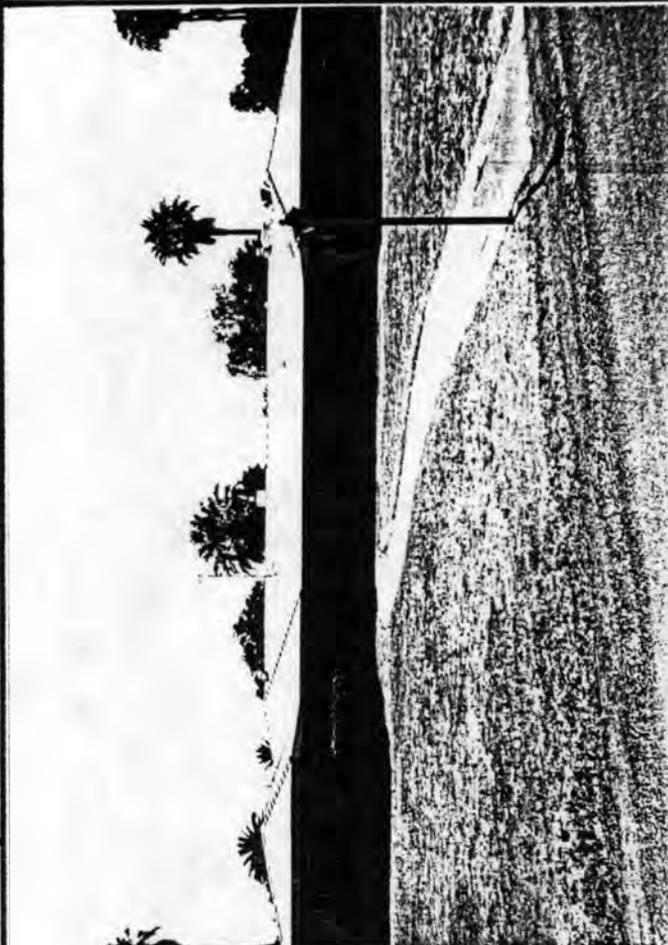
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A

DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 154
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, FF

NEGATIVE NUMBER: EEEN 6/4

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 65 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-133 (0.604) acres
 OWNER: Frank, Lisa
 OWNER ADDRESS: 65 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1949

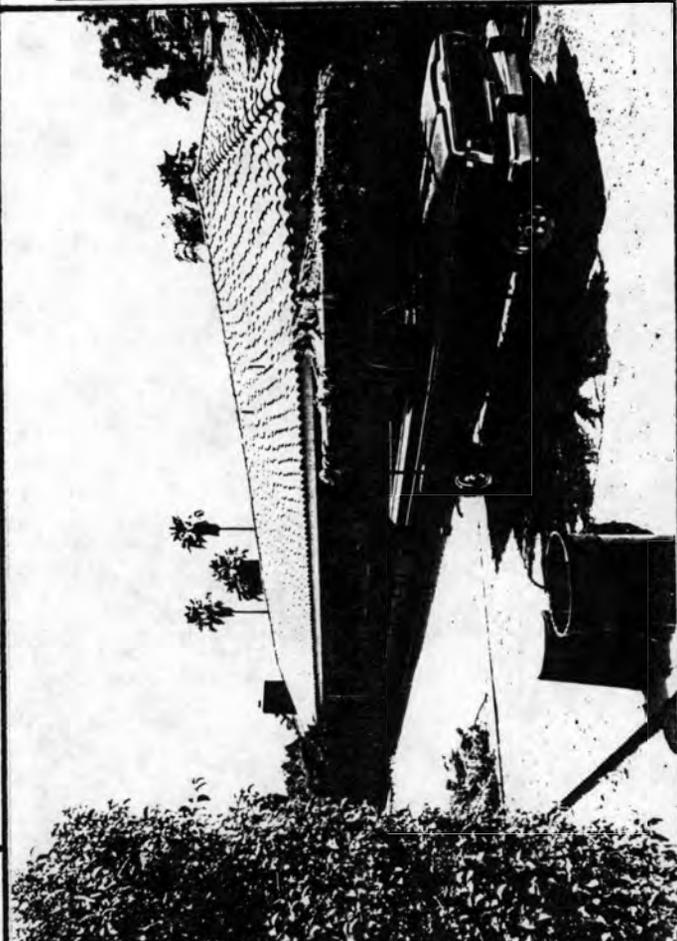
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick modern Ranch Style residence with hipped roof with ridge capped Mission tile sheathing, exterior brick chimney, plain fascia, metal casement and side slide windows, off-center entry with wood door and wrought iron screen door, recessed porch with paired wrought iron posts, graveled driveway, lush foliage and low brick border wall.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 156
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN, 6/5

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 75 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 135-15-134 (0.601) acres
 OWNER: Weiss, Frank & Thelma
 OWNER ADDRESS: 75 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1966

BRIEF DESCRIPTIVE STATEMENT: Two story exposed brick Modern Style residence with low gable roof with asphalt shingle sheathing, interior chimney, metal casement and side slide windows recessed entry with double leaf wood door with multiple diamond shaped wood panels, two blind side lights, attached garage, hedges at the property line, mature trees, and three foot brick wall. This home was designed by Arthur Darton, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 158
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, FF

NEGATIVE NUMBER: EEEN 6/7

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Elsing Home
 ADDRESS/LOCATION: 95 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-137 (0.754) acres
 OWNER: Gibbings, F.T. & Stella Mae
 OWNER ADDRESS: 95 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1952

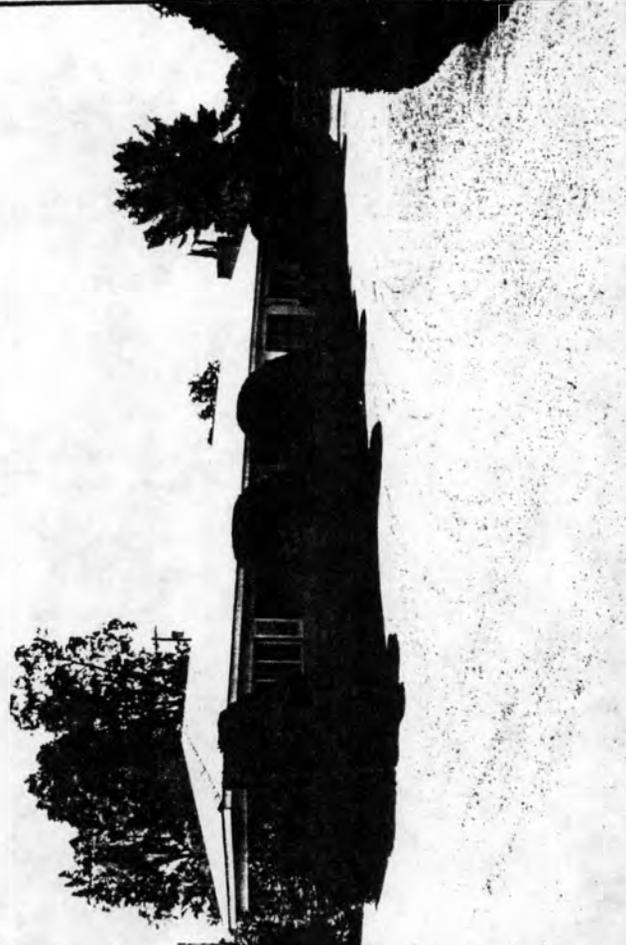
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick modern Ranch Style residence with low hip roof with ridge capped asphalt shingle sheathing, exterior brick chimney, metal casement windows with brick sills and decorative wood shutters, off-center, recessed entry with wood door, no porch, graveled circular driveway, hedges at foundation, some mature trees, detached garage with horizontal wood siding, gable roof and asphalt shingles. Designed by Morris Elsing, RA as his personal residence.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 161
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN 6/10

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 109 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-138 (0.462) acres
 OWNER: Robles, Neopito & Rachel
 OWNER ADDRESS: 109 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch with Bungalow influence
 CONSTRUCTION DATE: 1961

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with medium gable roof with ridge capped wood shingle sheathing, metal side slide windows, gabled entry with wood door, hedges at foundation, graveled circular driveway with graveled median with low brick border walls around plantings and a brick planter box.

 This was designed by Anne J. Rysdale, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 162
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 6/11

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 123 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-139 (0.462) acres
 OWNER: Seymour, Monte & Thelma D.
 OWNER ADDRESS: 4860 W. Ajo Way, Tucson, Az 85706
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1959

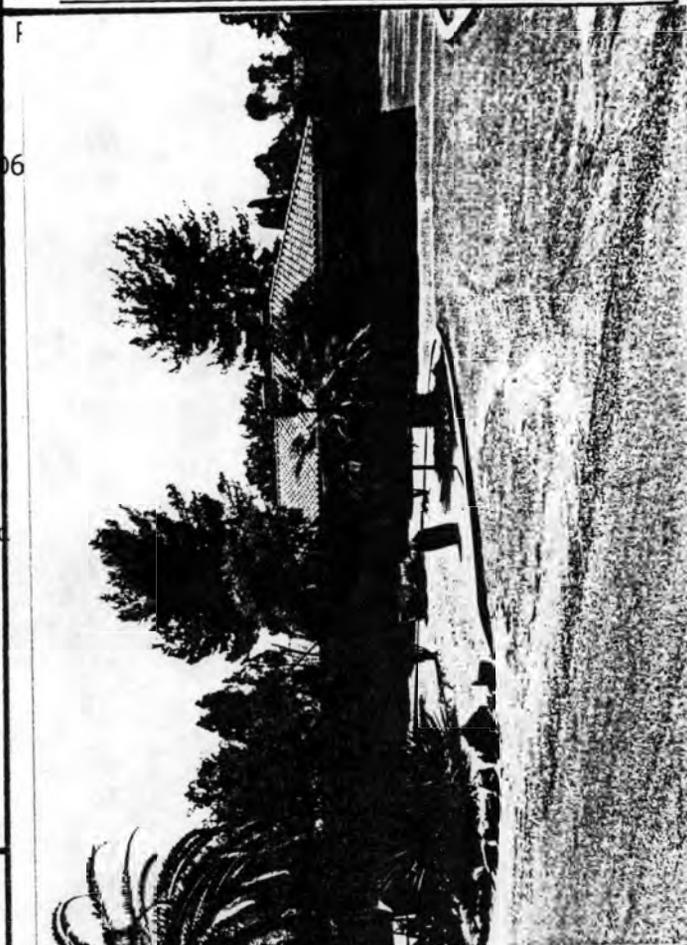
BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Ranch Style residence with medium hipped roof with interior chimney, ridge capped Mission tile, plain fascia, metal casement windows, recessed entry with wood door with one side light, no front porch, attached garage, hedges at foundation, mature trees, graveled circular driveway with desert landscaped median with low brick border wall and various rocks used as border.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 164
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, 3/4
 NEGATIVE NUMBER: EEEN 6/14

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 20 E. Calle Corta
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-140 (0.569) acres
 OWNER: Ash, Raymond S. & Norma P.
 OWNER ADDRESS: PO Box 41390, Tucson 85717
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1953

BRIEF DESCRIPTIVE STATEMENT: One story exposed flagstone modern Ranch Style residence with low multi-hipped roof with gravel sheathing, interior chimney, metal casement windows, central entry with all glass door, large glass side lights, attached garage, hedges at the foundation, mature trees, graveled median, mature trees, and graveled circular driveway.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 165
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: S, 3/4

NEGATIVE NUMBER: EEEN 6/15

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 328 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-147 (0.427) acres
 OWNER: Hegstrom, Elaine L.
 OWNER ADDRESS: 328 N. Country Club Road
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1941

BRIEF DESCRIPTIVE STATEMENT: One story painted brick Ranch Style residence with low gabled roof with ridge cap Mission tile sheathing, rectangular vents at pediment, metal casement windows with red brick sills, recessed veranda porch with vertical wood planking, wood post supports, no rail, recessed entry with wood door with iron rail grill work, low brick planters, mature trees, dirt driveway.

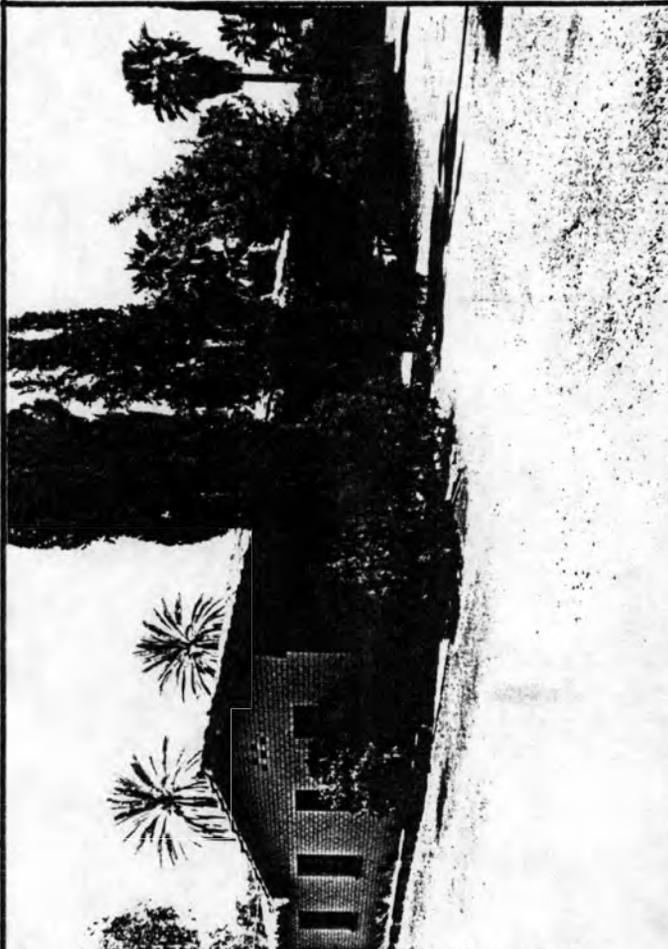
ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 172
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 6/23

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 172

Address: 328 N. Country Club Road

Additional Information:

*Built for Olaff T. Anderson & his wife, Evelyn Marie, in 1941. Anderson was a winter visitor who finally moved to Tucson and continued his architectural practice.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 300 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-149 (0.427) acres
 OWNER: Glennie, Maridee McKee
 OWNER ADDRESS: 300 N. Country Club Road
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1950

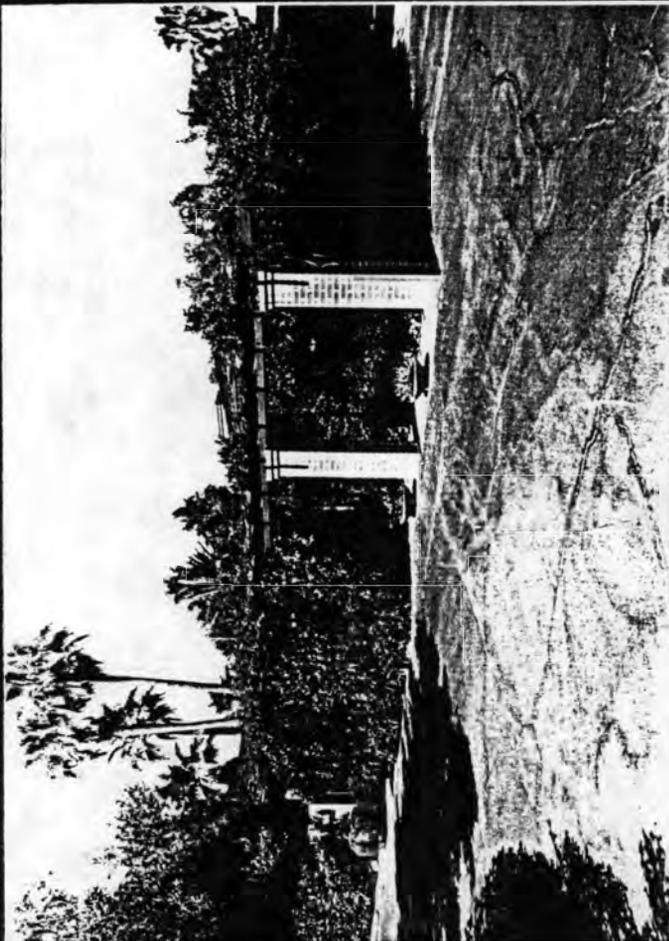
BRIEF DESCRIPTIVE STATEMENT: One story modern Ranch Style residence of brick with hip roof with wood shingles, boxed cornice, central entry with wood door and metal screen door, front patio with lattice covering in an "L" shape around house from west to south, segmental arched opening with iron gate, metal casement windows, attached carport with shed roof. Vegetation is lush with mature trees and vines over lattice covering.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 174
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 6/26

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 228 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-150 (0.427) acres
 OWNER: Roderick, Edward E. & Carolyn E.
 OWNER ADDRESS: 228 N. Country Club Road
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1946

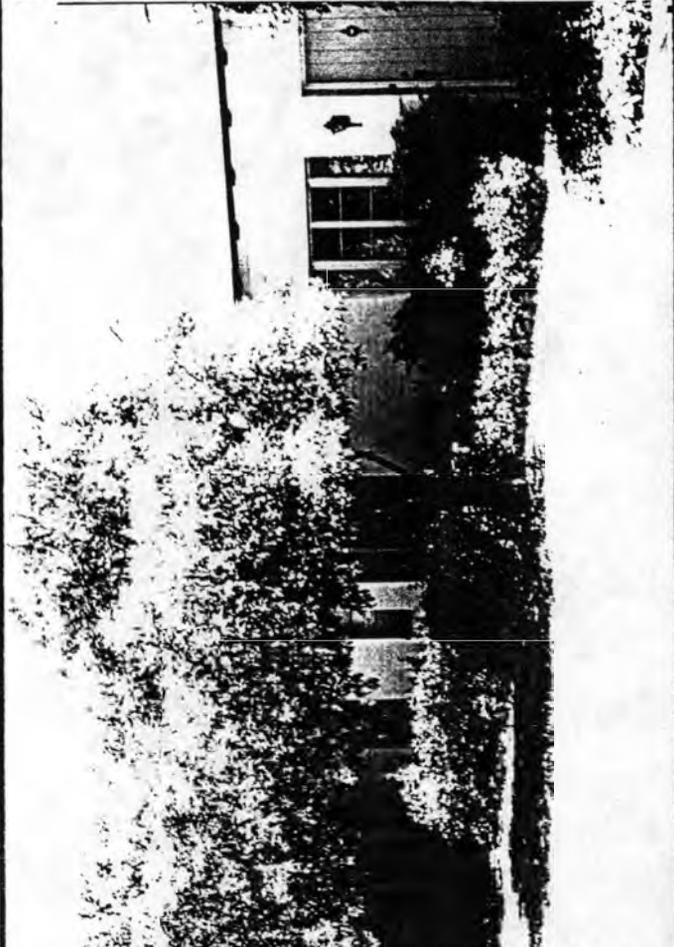
BRIEF DESCRIPTIVE STATEMENT: One story masonry brick modern Ranch Style residence with medium gable roof with asphalt shingle sheathing, exterior chimney, exposed rafters, wood door at entry, shed roofed porch with wood post supports, metal casement windows, attached two bay garage with asphalt shingle sheathing, graveled driveway lined by hedges, mature trees and large front lawn. This home was designed by George J. Smith, RA.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 175
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN C-7a
 SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 15 E. Calle Portal
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-152 (0.550) acres
 OWNER: Flores, Canchola Inc.
 OWNER ADDRESS: 2475 Wrightson Dr, Rio Rico, AZ
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Modern
 CONSTRUCTION DATE: 1956

BRIEF DESCRIPTIVE STATEMENT: One story exposed brick Modern Style residence with multi-hipped roof with ridge capped asphalt shingle sheathing, exterior brick chimney, metal casement windows with brick sills, decorative wood shutters, off-center entry with wood door, arbor running east to west which connects the homes, with a shed roof and wood supports, graveled circular driveway with low brick border wall, landscaped median with low lying shrubs and palm trees.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 176
Tucson, Az
 USGS QUAD: T 14s R 14e S 09 / SW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: E, 3/4
 NEGATIVE NUMBER: EEEN 6/28
 SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: Hewitt Home #1
 ADDRESS/LOCATION: 15 E. Calle Corta
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-153 (0.543) acres
 OWNER: McCrary, Michael W.L. & Sherry Teachnor
 OWNER ADDRESS: 15 E. Calle Corta
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Pueblo Revival
 CONSTRUCTION DATE: Sept, 1941

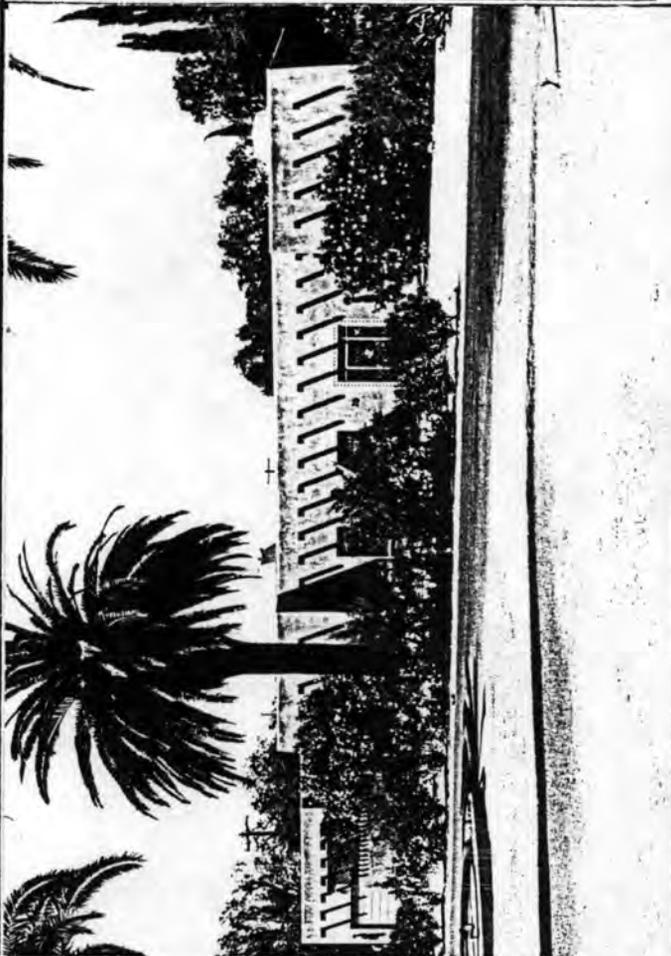
BRIEF DESCRIPTIVE STATEMENT: One story stuccoed brick Pueblo Revival Style residence with flat roof and parapet, two interior chimneys, protruding vigas, pergola, recessed entry with ceramic tile surround, wood door with side lights, metal casement windows with floral ceramic tile surround, wrought iron at entry, shrubs at foundation with small lawn at entry with low brick border wall, circular driveway with landscaped median is graveled. There is no outbuilding.

ALTERATIONS: Iron grill work on front door, stucco, vigas added 1977

CONTEXT: RESIDENTIAL STREETScape XXX
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 179
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN C-0a

SKETCH MAP: See Final Map

* See Addendum for Additional Information

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 179

Address: 15 E. Calle Corta

Additional Information:

*This home was designed by Arthur T. Brown, a pioneer Tucson architect, in September, 1941 for Dr. Roy Hewitt. Dr. Hewitt lived here from its construction until 1950, when he moved to 130 Camino Miramonte (#44) Dr. Hewitt came to AZ in 1931, was president of the Tucson Clinic, Pima County Medical Society (1942), District Governor of the American College of Physicians (Tucson Branch) and chief of staff at TMS and St. Mary's. He was also medical director of St. Luke's in the Desert, an institution for tuberculosis, and a member of many medical societies. Dr. Hewitt died on November 6, 1967.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 135 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-154 (0.629) acres
 OWNER: Morey, Carter & Patsy M.
 OWNER ADDRESS: 2804 E. 9th Tucson, AZ 85716
 HISTORIC USE: None
 PRESENT USE: Current construction
 BUILDING TYPE: to be house
 STYLE: Unknown
 CONSTRUCTION DATE: 1987

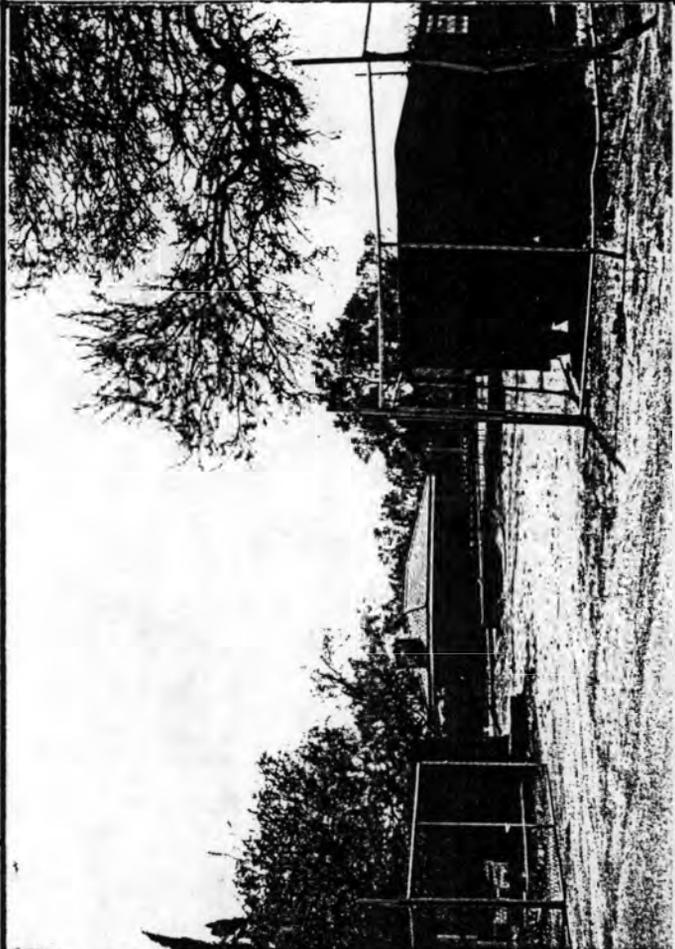
BRIEF DESCRIPTIVE STATEMENT:
 Current construction of large single family residence.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 180
 USGS QUAD: Tucson, Az
 T14s R14e S09 / NW 1/4 OF THE SW 1/4
 UTM



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: W, 3/4

NEGATIVE NUMBER: EEEN D-19

SKETCH MAP: See Final Map

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 139 N. Camino Espanol
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-155 (0.624) acres
 OWNER: Gallardo, Carmen
 OWNER ADDRESS: 139 N. Camino Espanol
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Eclectic Revival
 CONSTRUCTION DATE: 1963

BRIEF DESCRIPTIVE STATEMENT: Two story brick veneer Eclectic Revival style residence with high pitched gable roof with wood shingle sheathing, single interior brick chimney, two gable dormers with plain fascia, aluminum siding, and metal side slide windows, recessed porch with metal poles on brick pedestals, central entry with double leaf panel wood door, two side lights, metal side slide and fixed windows, one sliding glass door, shed roofed garage at rear, graveled driveway with low brick border wall, lawned median, some hedges.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

* See Addendum for Additional Information

COUNTY: Pima SURVEY SITE: 181
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW 1/4 OF THE SW 1/4
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: W, FF
 NEGATIVE NUMBER: EEEN 5/13

SKETCH MAP: See Final Map

El Encanto Estates Historic District Nomination -- Short Form Addendum

Survey Number: 181

Address: 139 N. Camino Espanol

Additional Information:

*The Herder Co. built this home.

ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 582-586 N. Country Club Road
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-168 (0.899) acres
 OWNER: Valley National Bank of AZ c/ M. Stoner
 OWNER ADDRESS: PO Box 71, Phoenix, Az 85001
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: Townhomes
 STYLE: Modern
 CONSTRUCTION DATE: 1982

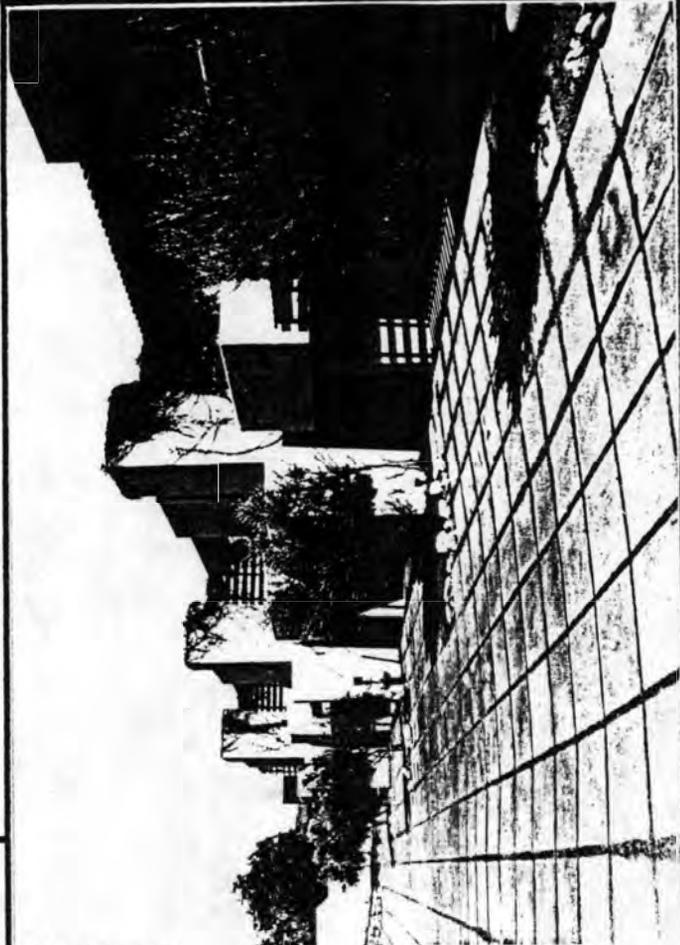
BRIEF DESCRIPTIVE STATEMENT: Three, 2 story Modern Style Townhomes of frame construction with stucco sheathing, flat roofed with rolled asphalt sheathing, each has a courtyard and a second story balcony with wood lattice cover, front entries are of wood frame with glass lights and side lights. There are interior chimneys, and connecting concrete walkways. Vines extend along all roofs and some young trees exist in rock lined planters.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETScape xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 185
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates

DATE: Sept, 1987 VIEW: E, 3/4

NEGATIVE NUMBER: EEEN 6/20

SKETCH MAP: See Final Map

SURVEY AREA NAME: El Encanto Estates
 HISTORIC NAME: None
 ADDRESS/LOCATION: 5 E. Calle Corta
 CITY/TOWN: Tucson
 TAX PARCEL NUMBER: 125-15-161 (0.586) acres
 OWNER: Kilroy, Alice Wilson
 OWNER ADDRESS: 5 E. Calle Corta
 HISTORIC USE: Residence
 PRESENT USE: Residence
 BUILDING TYPE: House
 STYLE: Ranch
 CONSTRUCTION DATE: 1964

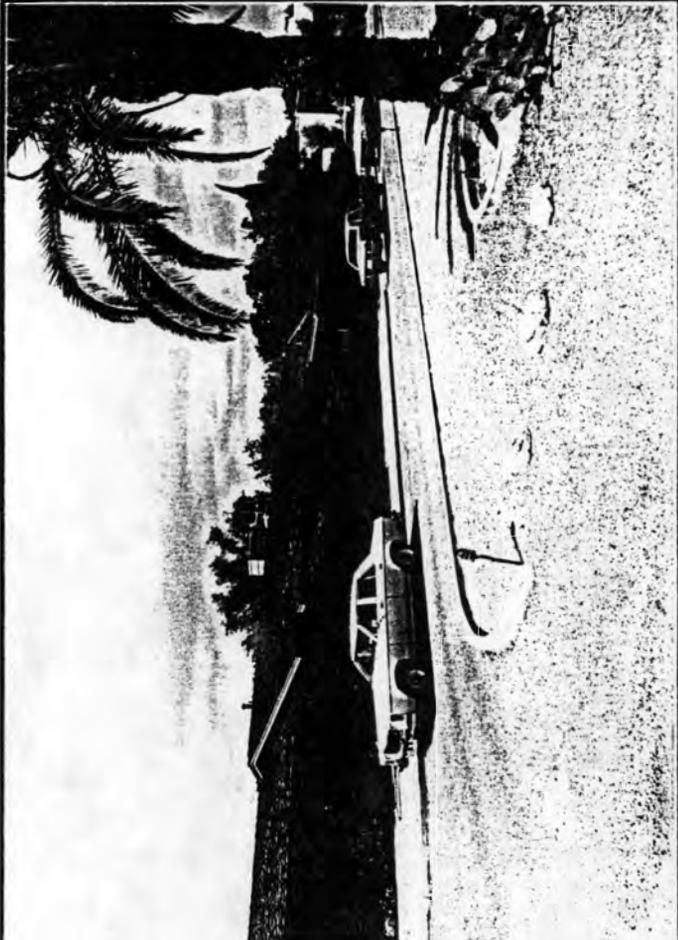
BRIEF DESCRIPTIVE STATEMENT: One story brick Ranch Style residence with low L-shaped gable roof with wood shingles, two interior chimneys brick work at gable ends, off-center entry with shed roof porch with wood post supports and closed brick rail, another porch is located along the north side under the main roof line, with wood columns, tapered with T-shaped round capital, and stretcher bond brick work. There is an attached garage with vertical wood siding at gable end and a square metal vent. There is a pool at the rear.

ALTERATIONS: None

CONTEXT: RESIDENTIAL STREETSCAPE xxx
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: updated by LL&A
 DATE: Sept, 1987

COUNTY: Pima SURVEY SITE: 189
 USGS QUAD: Tucson, Az
 T 14s R 14e S 09 / NW ¼ OF THE SW ¼
 UTM _____



PHOTOGRAPHER: Linda Laird & Associates
 DATE: Sept, 1987 VIEW: N, 3/4
 NEGATIVE NUMBER: EEEN 6/17

SKETCH MAP: See Final Map

El Encanto Estates: Significance of Its Streetscape
and Landscape Architecture

Prepared for the National Historic District Nomination

Walt Rogers, asla
August, 1979



The significance of the landscape architecture of the proposed El Encanto Estates National Historic District is embodied in its unique subdivision layout plan and its mature street tree plantings as well as the individual residential landscaping which has been maintained with a high degree of integrity since initial development of the neighborhood.

The subdivision layout plan, prepared by Paul E. Fernald of Engineering Services Corporation, Los Angeles, in July 1928, is based on a formal geometric pattern, representing a significant departure from the grid pattern used in Tucson's earliest subdivision growth to the west and north of El Encanto Estates. At the time when El Encanto Estates was initially developed, it was at the outer fringe of the growing city and its geometric plan represented a definite contrast to the standard city blocks used up to that time and in later urban development to the east of the district. The formal, geometric pattern of the subdivision has roots in the prevailing subdivision planning standards developed out of the "city beautiful movement" in the United States during the first quarter of the twentieth century.

The fact that a California firm was used to lay out the subdivision

to 1930. These include the California pepper tree, citrus trees, sour orange, eucalyptus, glossy privet, California fan palm, Mexican fan palm, olive, and Bermuda grass. The informal mixing of these plants, typical of the early "California School of Landscape Architecture," is very evident in the El Encanto Estates district and contrasts with the eastern and mid-western school of landscape design thought which used plants in a more formal and architectural way. Both California and Eastern design themes are illustrated throughout El Encanto Estates today. The roots of the more formal Eastern and Midwestern design theme in general can be traced to the so-called "country place era" of landscape architecture which dominated the profession from about 1890-1930.

Impeccable garden maintenance through the years is another prominent historical influence on the visual character of the neighborhood and should not be underestimated. The maintenance, often carried out by Mexican laborers, is referred to in local vernacular as the "Mexican gardener" approach. In addition to their intensive maintenance, these Mexican gardeners frequently added familiar design details such as fountains or masses of bedding plants which over the years has resulted in an accumulation of their influence in the gardens of El Encanto Estates. The El Encanto Estates Improvements Association (Homeowners Association), in its 1951 brochure, even sponsored their own gardeners in order to achieve continuity in garden maintenance:

GARDENING

Under the supervision of the Superintendent, the Association has experienced gardeners who may be hired for a minimum of four hours. These men mow grass, trim, plant and trim trees, fertilize, plant bedding plants, spray roses, shrubs, plants and trees, keep pea gravel driveways raked, do odd jobs such as sweeping porches, cleaning garages, roofs and basements.

set the initial precedent for the California influence as a thematic approach for the site development of many of the individual residences. The California influence in the landscape architecture is particularly evident in the use of Mexican fan palms (*Washingtonia filifera*) and date palms (*Phoenix dactylifera*) which were planted as street trees throughout the neighborhood during its initial layout. Today, these mature palms play a vital role in establishing the important sense of visual continuity in the neighborhood. These palms planted at 30' intervals on each of the district's streets are unique in Tucson and of important historic merit since no other residential district in the city from this era has recognizable street tree plantings.

The formal layout of the subdivision featuring three concentric semi-circular roads and a number of cul-de-sacs results in a pleasing visual sequence of short vistas encompassing a view of only a few houses at a time. Moving through the neighborhood, one is presented with a continually unfolding series of views and a heightened sense of anticipation and mystery.

Roadside edging and curbs are a landscape architectural feature of the El Encanto Estates district. Almost all of the residences, particularly those with a formal design theme, have been developed with a brick or concrete curb at the property line -- a design device that enhances the edge quality between lots and streets. These curbs are historically significant since they are found predominantly in neighborhoods dating from this era.

In addition to the California influence on the subdivision layout and street tree plantings, many of the plant materials used in the individual yards and gardens typify the plants commonly used in Southern California and extensively introduced to Tucson from 1890

With few exceptions, residences include a portion or all of the site in a walled enclosure -- a common design theme since the earliest 19th century building development in Tucson. Today, the walled gardens evoke a sense of mystery and privacy. The high incidence of these garden walls adds immeasurably to the continuity of the neighborhood. Design features inside these enclosures include brick and Spanish tile pavements, colorful tile wall features, fountains, and iron work with Mexican heritage as well as roots in the American Victorian design themes found in Tucson from about 1890 to 1920. In some cases, hedges and clipped hedges are used to define these enclosed yard areas. Fine examples of oleander, Japanese privet, and xylosma hedges can be found throughout the neighborhood.

The most significant aspect of the landscape architecture in El Encanto Estates is the continuity and harmony of visual image realized by the repetitive use of a number of common theme plants. These plants are definitely characteristic of the 1920's era and later; and many of the plants were used in Tucson as early as 1880. Most of these plants have matured into fine specimens today. A survey of the earliest thirty to forty homes built from 1929 to 1935 revealed the following commonly used plants:

Winter lawns are also put in by the Association.

Garden and lawn soil, tested and approved by the University of Arizona may be bought through the Association, as well as fertilizer for lawns, plants and shrubs. Other materials may also be purchased.

This service eliminates the chore of hiring and instructing gardeners by the individual residents.

Two general landscape design themes are most commonly observed in El Encanto Estates. The most prominent design theme (about 75% of the residences) is a formal garden design with origins in the east, mid-west and California. Bermuda grass lawns, well-trimmed ornamental shrubs, bedding plants, and mature shade trees are the principle characteristics of these formal gardens -- the most well-preserved formal gardens found in Tucson. An informal theme is also evident, featuring native plants which have been retained from the original landscape vegetation or native desert plants used in ornamental layouts.

Bermuda grass lawns overseeded with winter rye are a dominant landscape design feature of important historic significance. The Bermuda grass lawn began appearing with regularity in Tucson by 1910. Recently, there has been a trend in Tucson, mostly in older subdivisions to the west and north of El Encanto Estates, to replace the grass lawns with drought resistant plants, rocks and gravel, or to just let the lawns die for lack of water. The Bermuda grass lawn is rapidly becoming an endangered species, and nomination of El Encanto Estates as a historic district provides an opportunity to preserve some of the best remaining examples of this design genre in Tucson.

Walled yards and courtyards are another significant feature of historic merit in the landscape architecture of El Encanto Estates.

TREES

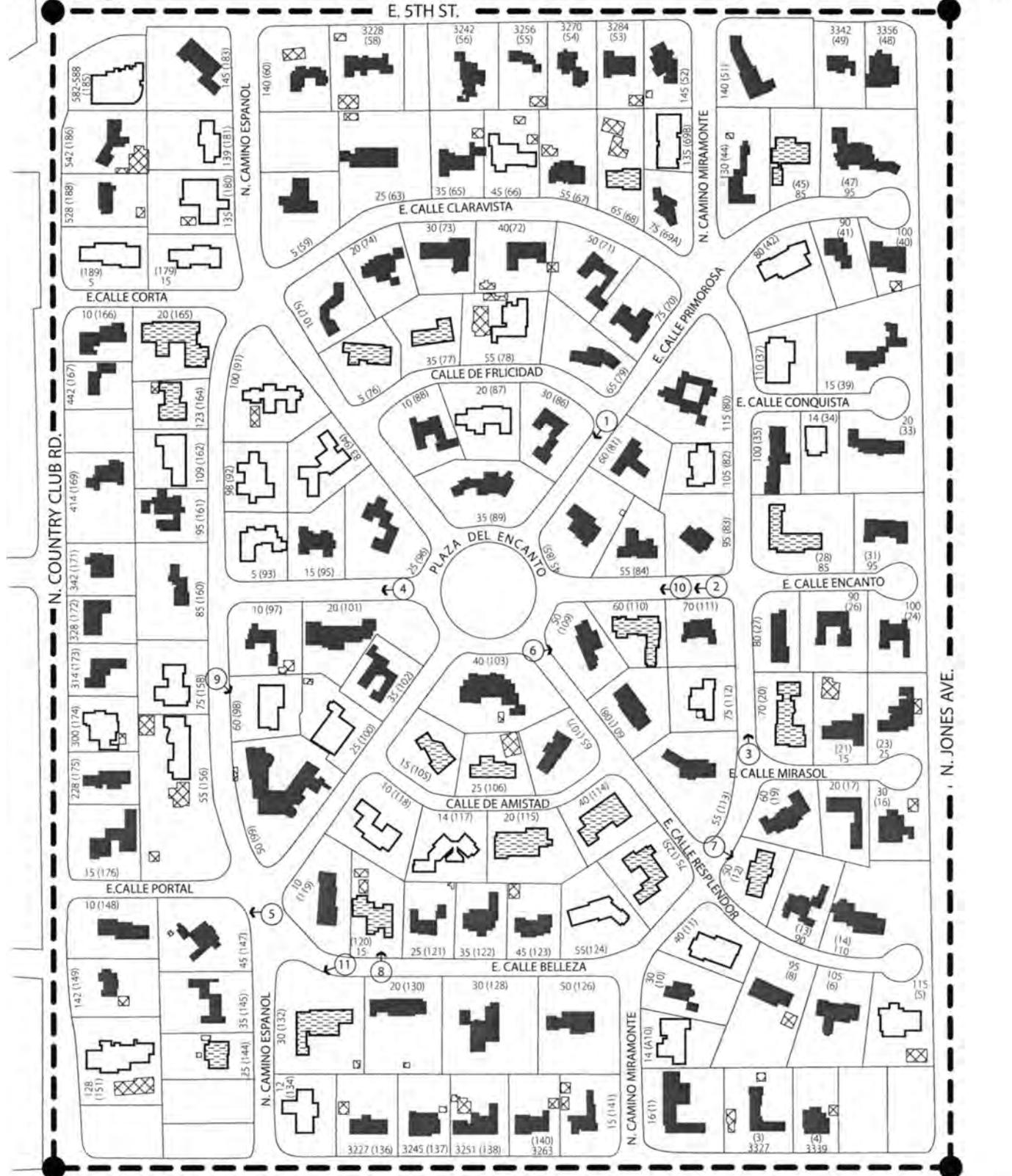
Prunus armeniaca (Apricot)
Pinus halepensis (Aleppo Pine)
Citrus cvs. (Orange, grapefruit, lime)
Citrus aurantium (Sour Orange)
Ligustrum lucidum (Glossy Privet)
Phoenix dactylifera (Date Palm)
Phoenix canariensis (Canary Island Date Palm)
Rhus lancea (African sumac)
Cupressus sempervirens (Italian cypress)
Vitex agnus-castus (Chaste Tree)
Eucalyptus camaldulensis (Red Gum)
Washingtonia filifera (California Fan Palm)
Ficus carica (Edible Fig)
Tamarix aphylla (Tamarisk)
Washingtonia robusta (Mexican Fan Palm)
Cupressus Arizona (Rough Barked Arizona Cypress)
Olea europaea (Olive)
Schinus molle (California Pepper Tree)
Melia Azadarach (Chinaberry)
Parkinsonia aculeata (Mexican Palo Verde)
Prosopis glandulosa (Common Arizona Mesquite)
Punica granatum (Pomegranate)

SHRUBS AND SUB-SHRUBS

Ligustrum japonicum (Japanese Privet)
Nerium oleander (Oleander)
Xylosma congestum (Xylosma)
Agave americana (Agave)
Buxus microphylla japonica (Japanese Boxwood)
Thuja orientalis (Arborevitae)
Gelsemium semperivirens (Carolina Jessamine)
Jasminum mesnyi (Primrose Jasmine)
Pyracantha crenulata (Pyracantha)
Pittosporum tobira (Pittosporum)
Juniperus c. pfitzeriaria (Pfitzer Juniper)
Juniperus c. horizontalis (Spreading Juniper)
Hedera canariensis (Algerian Ivy)
Yucca aloifolia (Spanish Bayonet)
Aloe vera (Aloe)
Ficus pumila (Creeping Fig)
Vinca minor (Dwarf Periwinkle)
Nandina domestica (Heavenly Bamboo)

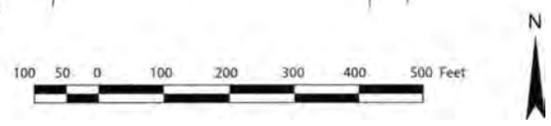
-  : Existing Contributor
-  : Proposed Contributor
-  : Non-Contributor
-  : Out Building (unevaluated)
-  : District Boundary
- 1513 (10) : Street Number (Lot #)
-  : Photo Key
- UTM Reference : UTM NAD27 ZONE12
- A: (Easting, Northing)

A : (506917, 3565784) D : (507515, 3565791)



B : (506920, 3565014) E. Broadway Bl. C : (507518, 3565017)

EL ENCANTO ESTATES Historic District
TUCSON, AZ 2007 Amendment



Addl. Doc. #2

El Encanto Improvement Co.

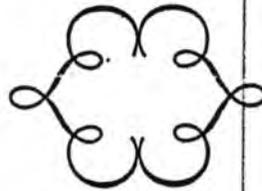
AN ARIZONA NON-PROFIT CORPORATION

BY THE PROPERTY OWNERS

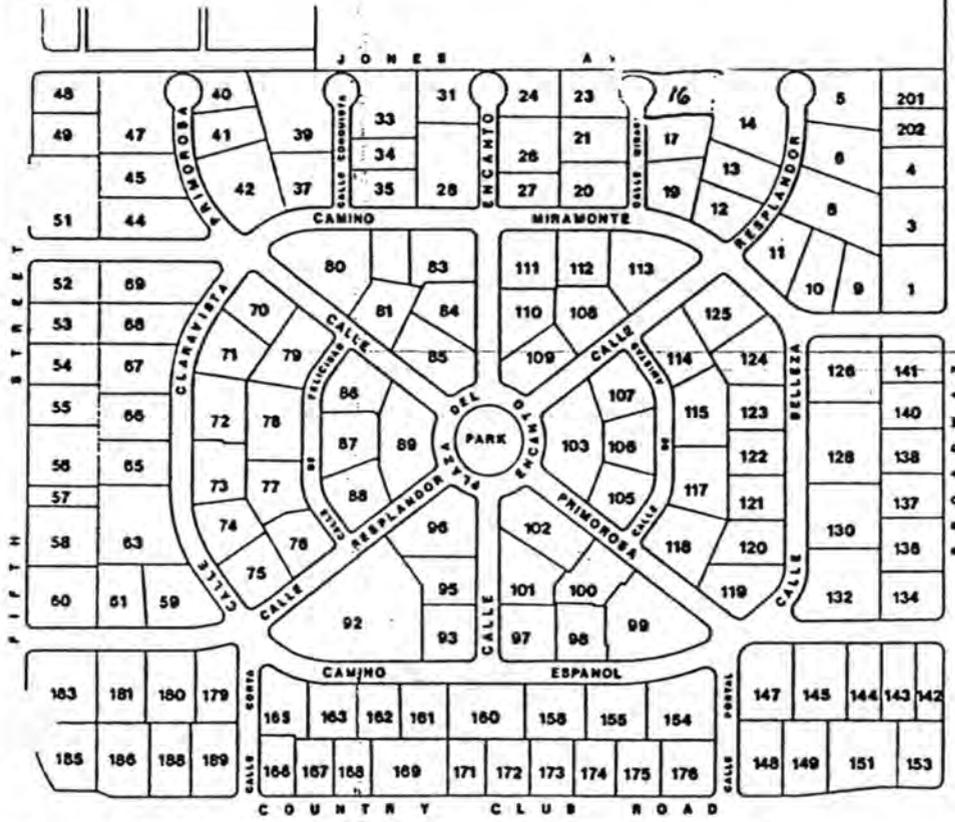


OF

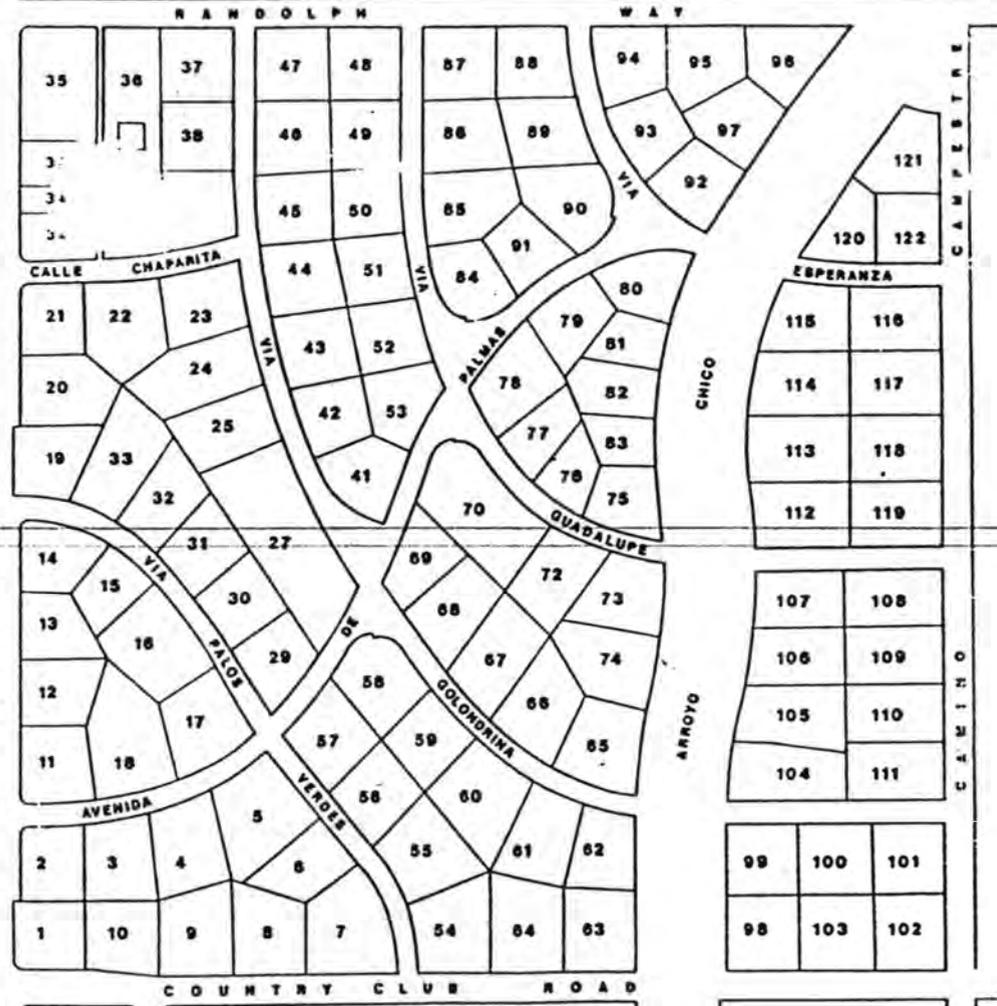
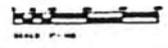
EL ENCANTO ESTATES



This is Your Company



EL ENCANTO ESTATES, INC.



COLONIA SOLANA ESTATES

Map by [unreadable]

El Encanto Estates

Three miles east of the Tucson Post Office, on unimproved roads, with its lands the highest of any in the locality, is where Mr. W. E. Guerin and his associates formed a company in May, 1928, to be known as El Encanto Estates. The location lay immediately adjoining and westerly from the El Conquistador Hotel property, was bounded on the south by Broadway, on the west by Country Club Road, and on the north by the continuation of 5th St.

All this was a long, long time before the advent of paved roads, busses and automobile transportation as we know it today.

The Company early learned that people desiring to buy its lots required large rather than small ones. So lots as they exist today are a combination of the original lot and all or part of lots adjoining it. At the present time there are about 150 lots, all of which have been sold. The lots were staked out and marked on the land in accordance with the record plot thereof.

The names of streets were furnished by the public. The Company advertised that it would pay a certain sum of money to the person who first furnished it with a Spanish name, which it used in naming one of the streets in the development. More than six hundred names were received; and each street was named by someone who suggested its name to the Company.

Great care was taken that the value of anyone's investment in the property, should in every foreseeable way be protected; so that the residents of the property could live in a quiet and peaceful environment. The restrictive provisions have proven, through the years, that the foresightedness of these gentlemen has born fruit; by the development of El Encanto Estates as one of the show places of the West.

The first lot was sold in the Spring of 1929. The construction of the first house in El Encanto Estates was by Mr. Nail, who subsequently moved to California. The second house commenced was by Mr. and Mrs. Ralph E. Ellenwood. The construction of houses by Mr. and Mrs. Guerin, Dr. and Mrs. Charles W. Mills, and others followed in rapid succession.

Space does not permit tracing the growth and development of El Encanto Estates over the years; but the final result is vindication of the faith and generosity the founders had in the merit of their undertaking.

The lot owners have formed a Corporation of their own, known as El Encanto Improvement Company, to impartially and justly enforce the same restrictions; and generally on behalf of the residents of El Encanto Estates to do such things and perform such services as will maintain the value of investments of lot owners, and keep El Encanto Estates an outstanding place to live.

It is the earnest hope of the Officers, Directors and Stockholders of El Encanto Estates, Inc., that those who live in El Encanto Estates will for all time appreciate and enjoy the fruits of this venture.

W. E. GUERIN, 1951
President El Encanto Estates, Inc.

El Encanto Estates - Improvement Association

Our community organization was founded in 1947 to afford opportunity and means of co-operation and concerted action in matters of local interest which affect the community of El Encanto Estates, Tucson, Arizona, and vicinity.

Today's residents, assuredly, appreciate the beauty of this suburban community, and must recognize the farsightedness of its founders who planned so thoroughly and whose incorporation of restrictions has made this community an outstanding reality in Arizona.

The objects of the Association, which has a present membership of one hundred eight, are to maintain superior civic conditions in El Encanto Estates and to consider and act upon all questions pertaining to the welfare of the community.

The activities of the Association are carried on through its Officers and Board of Directors, who contribute their services in the interest of the community. These nine men meet monthly, at no expense to the Association, to discuss matters pertaining to police and fire protection, health, highway maintenance and improvement, planning, City Government, pest elimination, zoning, planting, maintenance of street and boundary signs. They welcome letters from the residents on problems, and stand ready to assist with any and all matters of importance to the preservation and improvement of El Encanto Estates as a fine residential community.

The Association renders its service for all residents within its boundaries, but the work of the Association is made possible only by the payment of annual dues by those civic-minded residents who are members of the organization.

The carrying on of this work is only possible through the interest and help of all these inhabitants so that El Encanto Estates will remain "a center of beauty and gracious living."

SERVICES OFFERED

The Superintendent may be called in without charge for consultation on gardening matters.

During the absence of members from the City, mail may be left at the office for forwarding or for retention until the owner's return.

GARDENING

Under the supervision of the Superintendent, the Association has experienced gardeners who may be hired for a minimum of four hours. These men mow grass, trim, plant and trim trees, fertilize, plant bedding plants, spray roses, shrubs, plants and trees, keep pea gravel driveways raked, do odd jobs such as sweeping porches, cleaning garages, roofs and basements.

Winter lawns are also put in by the Association.

Garden and lawn soil, tested and approved by the University of Arizona may be bought through the Association, as well as fertilizer for lawns, plants

and shrubs. Other materials may also be purchased.

This service eliminates the chore of hiring and instructing gardeners by the individual residents.

GARBAGE AND RUBBISH DISPOSAL

Since the early days of El Encanto Estates, there has been splendid co-operation among the residents in trying to keep the streets free from unsightly receptacles of trash and bundles of rubbish. Most of the householders employ the Association's Collection System which removes the rubbish from the rear of the residence. This can be done for a few cents a week, and the Association will be glad to assist any of the residents in arranging for such collection. It is hoped that more residents will adopt this private collection plan.

VACANT PROPERTIES

The Association has always been active in having vacant properties kept in good condition, and has received the co-operation of the real-estate agents in keeping the grass and shrubbery of these properties in order. At the request of the lot owner, the Association cleans the basins of the palm trees, fertilizes and trims, and cleans up the lot.

PARKS AND ROAD-BANKS

The Association has used its good offices to have the circles cleaned and palms and cacti watered. Your Association has just purchased a power scythe with which it will keep the unsightly weed growth along the road banks trimmed.

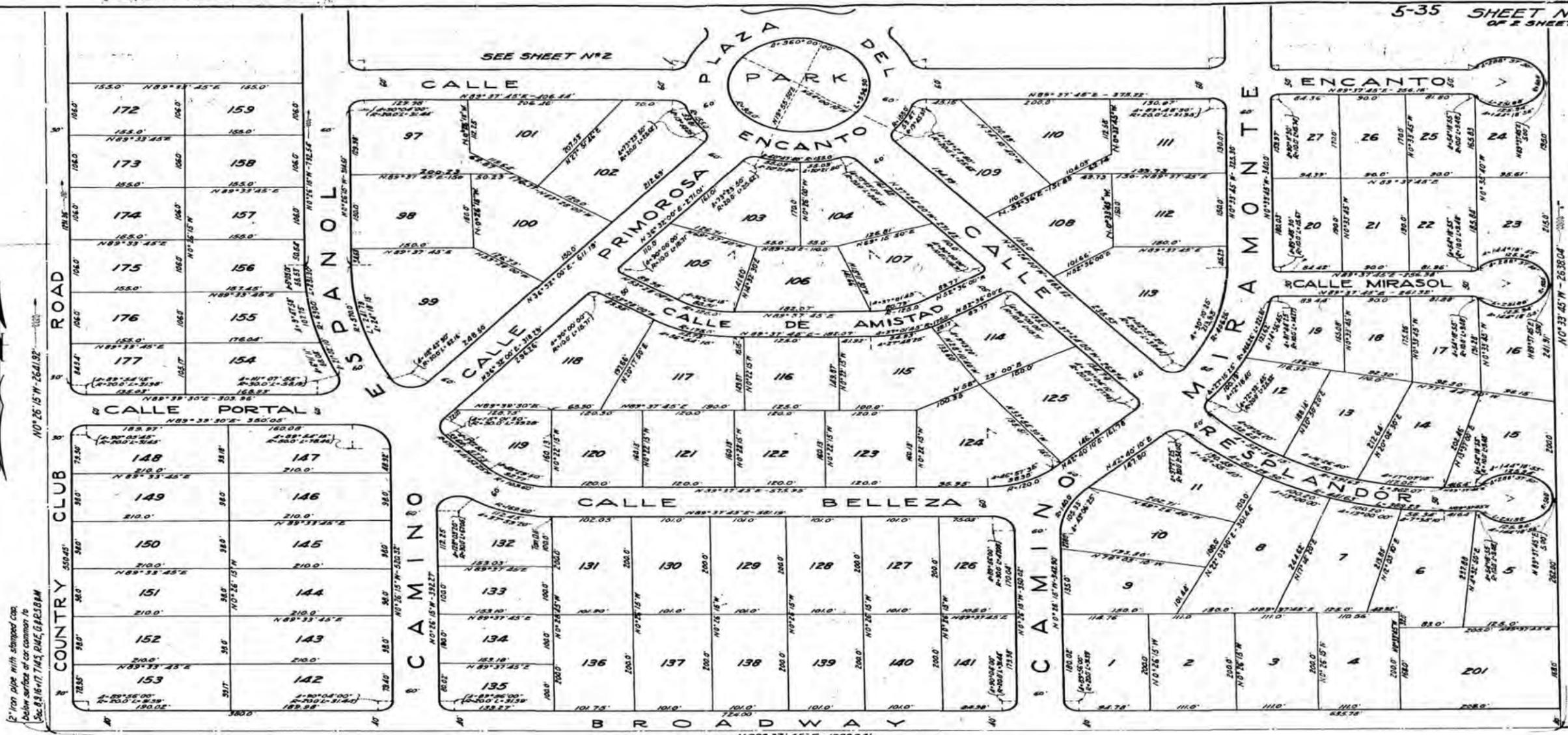
NUISANCES ABATED

From time to time problems have been referred to the Association by residents whose peace has been disturbed. The Association has been instrumental in having dogs kept within their own yards, having stray cats removed from the property, having the burning of rubbish within the tract stopped, having laundry hung in less conspicuous places, referring to the police department the misdemeanors of juveniles in running over lawns, trimming or burning palms, etc. In many cases the offenders have been identified. At the request of the Association special Friday and Saturday night police patrol was initiated.

NIGHT WATCHMAN SERVICE

In an effort to protect the subdivision night watchman service in both regular and special service is obtainable, the latter being used when the home owner is on vacation or absent over night. Regular service includes keeping out prowlers, checking cars and noisy scooters and general watchman service. The special service includes, in addition, the checking of doors and windows, checking patio and gates, and the inside of the house if desired. This is a dark to dawn service.

5
35
(1)



1" Iron pipe with stamped cap
below surface of car common to
Sec. 9, T.14S, R.14E, G.P.S.B.M.

1" Iron pipe of 3/4" dia. of the
E. 1/2 of the E. 1/4 of Sec. 9,
T.14S, R.14E, G.P.S.B.M.

EL ENCANTO ESTATES, INC.

RESUBDIVISION OF THE SW 1/4, SEC. 9, T.14S, R.14E, G. & S.R.B.M. SAVE & EXCEPT THEREOF THE E 1/2 OF SAID SW 1/4 IN THE COUNTY OF PINA, STATE OF ARIZONA.

SCALE: 1 INCH = 100 FEET
CALCULATIONS & LAYOUT BY: ENGINEERING SERVICE CORP. 1127 N. Washington St. Los Angeles Calif.
SURVEYED BY: D.E. FERNALD TUCSON, ARIZONA

We, the undersigned, hereby certify that we are the sole owners of the SW 1/4 of Sec. 9, T.14S, R.14E, G. & S.R.B.M. Save and except the E 1/2 of the E 1/4 of said SW 1/4 Pina County, Arizona, and that we have caused said SW 1/4 of Sec. 9, T.14S, R.14E, G. & S.R.B.M. Save and except the E 1/2 of the E 1/4 of said SW 1/4, Pina County, Arizona, to be subdivided in the manner shown on this map, and that we have and do hereby dedicate the streets, roads and public ways shown on said map for public use and benefit forever, provided however that the Dedicator, El Encanto Estates, Inc., being the owner in fee simple, of all that tract of land shown on the above and foregoing map, except the SW 1/4 of the SW 1/4 thereof, and, excepting also the tract of land 208 feet square, a portion of which is designated hereon as Lot 201, located in the SE corner of said tract, together with the Dedicator's L.C. James and Annette May James, being the owners in fee simple of the SW 1/4 of the SW 1/4 of the SW 1/4 of Sec. 9, T.14S, R.14E, G. & S.R.B.M., in dedicating the streets, roads and public ways, on that part of land aforementioned and shown on the above map that is owned by the said L.C. James and Annette May James, do hereby intend and reserve from such said streets, roads and public ways, as are located on the property so owned by them, an easement and right of way, in perpetuity, over, under, along, across and through such portion of the same, as may, in the opinion of the said owners, their successors, assigns and heirs, be necessary for the erection, construction, maintenance, and operation of pole lines with necessary crossarms and wires for the transmission of electrical energy, and for telephone and telegraph lines, and/or for water, gas, sewers and/or other purposes, together with the right of entry for the purpose of erecting, constructing, repairing, maintaining, reconstructing and operating the same, together with the further right to convey or lease the whole or any portion of such easement and the right to entry to any firm, corporation, municipal body, person or persons. Signed,

EL ENCANTO ESTATES, INC.
by *L.C. James*
L.C. James
Attorney in fact

W.B. Boshart
by *W.B. Boshart*
W.B. Boshart
Attorney in fact

by *Annette May James*
Annette May James
Attorney in fact

State of Arizona } ss
County of Pima }
The foregoing instrument was acknowledged before me this 5th day of July, 1928, by L.C. James, as president and W.B. Boshart, as East Secretary of the El Encanto Estates, Inc., a corporation.
Frankie Horne
Notary Public
My commission expires January 6-1931

State of Arizona } ss
County of Pima }
The foregoing instrument was acknowledged before me this 5th day of July, 1928, by L.C. James as attorney in fact of and for W.B. Boshart and Ethel C. Pawharten.
Frankie Horne
Notary Public
My commission expires January 6-1931

State of Arizona } ss
County of Pima }
The foregoing instrument was acknowledged before me this 5th day of July, 1928, by L.C. James and by L.C. James, attorney in fact of and for Annette May James.
Frankie Horne
Notary Public
My commission expires January 6-1931

L.L.O. Cowan, City Recorder and Ex-Officio Clerk of the City of Tucson, Arizona hereby certify that this map was approved by the Board of Public Works of the City of Tucson, at a meeting held on the 5th day of August, 1928, and that a quorum was present thereat.
Signed: *L.L.O. Cowan*
City Recorder and Ex-Officio Clerk

Hereby certify that this map was approved by the Board of Public Works of Pina County, Arizona, on the 5th day of August, 1928.
Signed: *L.L.O. Cowan*
City Recorder and Ex-Officio Clerk

National Register of Historic Places

Note to the record

Additional Documentation: 1993

United States Department of the Interior
National Park Service

RECEIVED

AUG 23 1993

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

NATIONAL
REGISTER

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

=====

1. Name of Property

=====

historic name El Encanto Estates Residential Historic District Amendment

other names/site number _____

=====

2. Location

=====

street & number Roughly bounded by Country Club Rd., Broadway Blvd., 5th St., & Jones St. not for publication
city or town Tucson vicinity _____
state Arizona code AZ county Pima code 019 zip code 85016

=====

3. State/Federal Agency Certification

=====

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this X nomination _____ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property X meets _____ does not meet the National Register Criteria. I recommend that this property be considered significant _____ nationally _____ statewide X locally. (_____ See continuation sheet for additional comments.)

James W. Garrison 8/5/93

Signature of certifying official Date

ARIZONA STATE PARKS

State or Federal agency and bureau

In my opinion, the property _____ meets _____ does not meet the National Register criteria. (_____ See continuation sheet for additional comments.)

Signature of commenting or other official Date

State or Federal agency and bureau

4. National Park Service Certification

I, hereby certify that this property is:

- entered in the National Register Antoinette Albee 9/16/93
 ___ See continuation sheet.
- ___ determined eligible for the National Register
 ___ See continuation sheet.
- ___ determined not eligible for the National Register
- ___ removed from the National Register
- ___ other (explain): _____

in Signature of Keeper

Date of Action

5. Classification

Ownership of Property (Check as many boxes as apply)

- private
- public-local
- ___ public-State
- ___ public-Federal

Category of Property (Check only one box)

- ___ building(s)
- district
- ___ site
- ___ structure
- ___ object

Number of Resources within Property

Contributing	Noncontributing
<u>61</u>	<u>84</u> buildings
___	___ sites
___	___ structures
<u>1</u>	___ objects
<u>62</u>	<u>84</u> Total

Number of contributing resources previously listed in the National Register 54

Name of related multiple property listing (Enter "N/A" if property is not part of a multiple property listing.)

El Encanto Estates Residential Historic District

6. Function or Use

Historic Functions (Enter categories from instructions)

Cat: <u>Single Dwelling</u>	Sub: <u>Residence</u>
<u>Outdoor recreation</u>	<u>Park</u>
_____	_____
_____	_____
_____	_____

Current Functions (Enter categories from instructions)

Cat: <u>Single Dwelling</u>	Sub: <u>Residence</u>
<u>Outdoor recreation</u>	<u>Park</u>
_____	_____
_____	_____
_____	_____
_____	_____

=====
7. Description
 =====

Architectural Classification (Enter categories from instructions)

Moorish; Spanish Colonial Revival;
California Ranch; Early Ranch
Pueblo Revival

Materials (Enter categories from instructions)

foundation _____
 roof _____
 walls _____
 other _____

Narrative Description (Describe the historic and current condition of the property on one or more continuation sheets.)

=====
8. Statement of Significance
 =====

Applicable National Register Criteria (Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations (Mark "X" in all the boxes that apply.)

- A. owned by a religious institution or used for religious purposes.
- B. removed from its original location.
- C. a birthplace or a grave.
- D. a cemetery.
- E. a reconstructed building, object, or structure.
- F. a commemorative property.
- G. less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

Community Planning and Development
Architecture

Period of Significance 1929-1943

Significant Dates 1929

Significant Person (Complete only if Criterion B is marked above)

Cultural Affiliation

Architect/Builder Starkweather, M.H.; Figge, H.E.A.; Smith, J.W.; Joesler, J.T.
Anderson, O.T. / Bailey & McCoy

Narrative Statement of Significance (Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS)

- preliminary determination of individual listing (36 CFR 67) has been requested.
[X] previously listed in the National Register
previously determined eligible by the National Register
designated a National Historic Landmark
recorded by Historic American Buildings Survey #
recorded by Historic American Engineering Record #

Primary Location of Additional Data:

- [X] State Historic Preservation Office
Other State agency
Federal agency
Local government
University
Other
Name of repository:

=====
10. Geographical Data
=====

Acreage of Property 123

UTM References (Place additional UTM references on a continuation sheet)

	Zone	Easting	Northing	Zone	Easting	Northing
A	<u>12</u>	<u>507580</u>	<u>3565595</u>	C	<u>12</u>	<u>506980</u>
B	<u>12</u>	<u>507580</u>	<u>3564810</u>	D	<u>12</u>	<u>506980</u>

_____ See continuation sheet.

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet.)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet.)

=====
11. Form Prepared By
=====

name/title William S. Collins / Historic Preservation Intern

organization Arizona State Historic Preservation Office date July 20, 1993

street & number 1300 W. Washington St. telephone (602) 542-4009

city or town Phoenix state AZ zip code 85007

=====
Additional Documentation
=====

Submit the following items with the completed form:

Continuation Sheets

Maps

- A **USGS map** (7.5 or 15 minute series) indicating the property's location.
- A **sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items (Check with the SHPO or FPO for any additional items)

=====
Property Owner
=====

(Complete this item at the request of the SHPO or FPO.)

name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

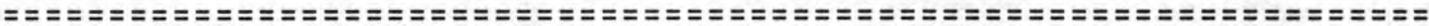
United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section Amendment Page 1

name of property
Pima, AZ

county and State
El Encanto Estates Residential Historic District
name of multiple property listing



Amendment to the El Encanto Estates Residential Historic District, listed on the National Register of Historic Places on January 29, 1988.

Pursuant to 36 CFR 800.4 (c)(1) which states, "The passage of time or changing perceptions of significance may justify reevaluation of properties that were previously determined to be eligible or ineligible," the Arizona State Historic Preservation Office (SHPO), in cooperation with neighborhood volunteers, has undertaken a reexamination of properties within the El Encanto Estates Residential Historic District.

In May 1992, the SHPO developed a new policy statement regarding recommendations of eligibility for the National Register. These eligibility guidelines were approved by the Arizona Historic Sites Review Committee and have been applied consistently for all new properties nominated to the Register. Under the current policy, either the historic wall materials and details must be intact and visible, or the historic massing and openings (doors and windows) must be intact and visible. If both are missing or are hidden behind non-historic materials, the building will not be eligible for lack of integrity. If a single design element--materials, detailing, massing, or openings--is lacking in integrity then the building is examined within a historical context and is compared with other similar properties. In general, the older or rarer the property, the less integrity will be required for eligibility. In light of the increased age of the buildings in the district, the SHPO believes it appropriate to reevaluate the district using current eligibility guidelines.

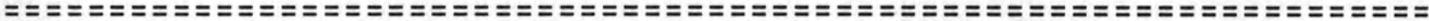
In the original nomination, fifty-four of the one hundred forty-six properties within the district's boundaries were classified as contributors. As a result of this reevaluation, the SHPO has determined that eight properties should be reclassified from noncontributors to contributors. This reevaluation follows the recommendation of the Tucson-Pima County Historical Commission which reviewed the amendment pursuant to its Certified Local Government Agreement. The Arizona Historic Sites Review Committee at its 10 June 1993 meeting voted to approve the reclassification of these properties.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section Amendment Page 2

name of property
Pima, AZ
county and State
El Encanto Estates Residential Historic District
name of multiple property listing



NEW CONTRIBUTORS TO THE PHOENIX HOMESTEAD HISTORIC DISTRICT

PROPERTY NAME: Guerin, W. E., House
ADDRESS: 30 Calle De Felicidad
SURVEY SITE: 86
PHOTOGRAPHS: 1, 2
REASON FOR REEVALUATION: Restoration work in 1992 removed intrusive features such as metal windows and windows in the dome and restored original-type wood windows and the original state of the dome. This work was done in consultation with the SHPO's historical architect in accordance with the Secretary of the Interior's Standards.

PROPERTY NAME: Atkinson, Dr. Jred W., House
ADDRESS: 115 N. Camino Miramonte
SURVEY SITE: 80
PHOTOGRAPHS: 3, 4
REASON FOR REEVALUATION: Restoration work in 1989 removed many intrusive features added in the 1950s or 1960s. The windows were restored to the original number, but are larger than the originals. Additions to the building include a kitchen on the east and a bedroom on the southwest. These do not significantly affect the visual integrity of the main facade.

PROPERTY NAME: Smith, John W., House
ADDRESS: 30 Calle Clara Vista
SURVEY SITE: 73
PHOTOGRAPHS: 5, 6
REASON FOR REEVALUATION: This house now meets the revised integrity guidelines.

PROPERTY NAME: McKinney, Benjamin J., House
ADDRESS: 45 N. Camino Espanol
SURVEY SITE: 147
PHOTOGRAPHS: 7, 8
REASON FOR REEVALUATION: This house now meets the revised integrity guidelines.

PROPERTY NAME: N/A
ADDRESS: 15 E. Calle Encanto
SURVEY SITE: 95
PHOTOGRAPHS: 9
REASON FOR REEVALUATION: This 1938 Early Ranch house now meets the age criterion and

AUG 23 1993

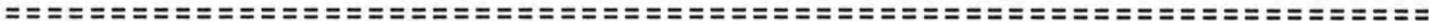
United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section Amendment Page 3

name of property
Pima, AZ

county and State
El Encanto Estates Residential Historic District
name of multiple property listing



PROPERTY NAME: O'Reilly House
ADDRESS: 25 Plaza del Encanto
SURVEY SITE: 96
PHOTOGRAPHS: 10, 11
REASON FOR REEVALUATION: This 1939 Early Ranch house with Monterey features now meets the age criterion and retains a high degree of its original integrity.

PROPERTY NAME: N/A
ADDRESS: 328 N. Country Club
SURVEY SITE: 172
PHOTOGRAPHS: 12, 13
REASON FOR REEVALUATION: This 1941 Ranch house now meets the age criterion and retains a high degree of its original integrity.

PROPERTY NAME: Bellinger House
ADDRESS: 130 N. Camino Miramonte
SURVEY SITE: 44
PHOTOGRAPHS: 14, 15
REASON FOR REEVALUATION: This 1942 Pueblo Revial house now meets the age criterion and retains a high degree of its original integrity. This property was recommended for future inclusion to the district in the original nomination.

National Register of Historic Places

Note to the record

Additional Documentation: 1994



United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name CORRECTION TO THE EL ENCANTO ESTATE RESIDENTIAL HISTORIC DISTRICT

other names/site number The Humberto S. Lopez House

2. Location

street & number 50 North Camino Español not for publication
city or town Tucson vicinity _____
state Arizona code AZ county Pima code 019 zip code 85716

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this x nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property x meets does not meet the National Register Criteria. I recommend that this property be considered significant nationally statewide x locally. (See continuation sheet for additional comments.)

JAMES GARRISON AZEVEDO 11/21/94
Signature of certifying official Date

ARIZONA STATE PARKS
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting or other official Date

State or Federal agency and bureau

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section Correction Page 1 50 North Camino Español
 name of property
Pima, AZ
 county and State
El Encanto Estates Residential Historic District
 name of historic district

=====
 Correction to the El Encanto Estate Residential Historic District listed on the National Register of Historic Places in 1987 and amended on September 16, 1993.

CONTRIBUTING PROPERTY

ADDRESS	SURVEY SITE NO.
50 North Camino Español	99

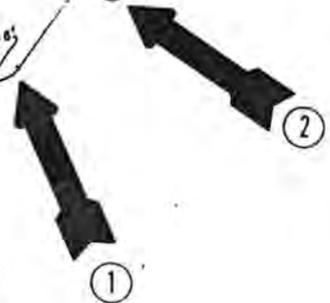
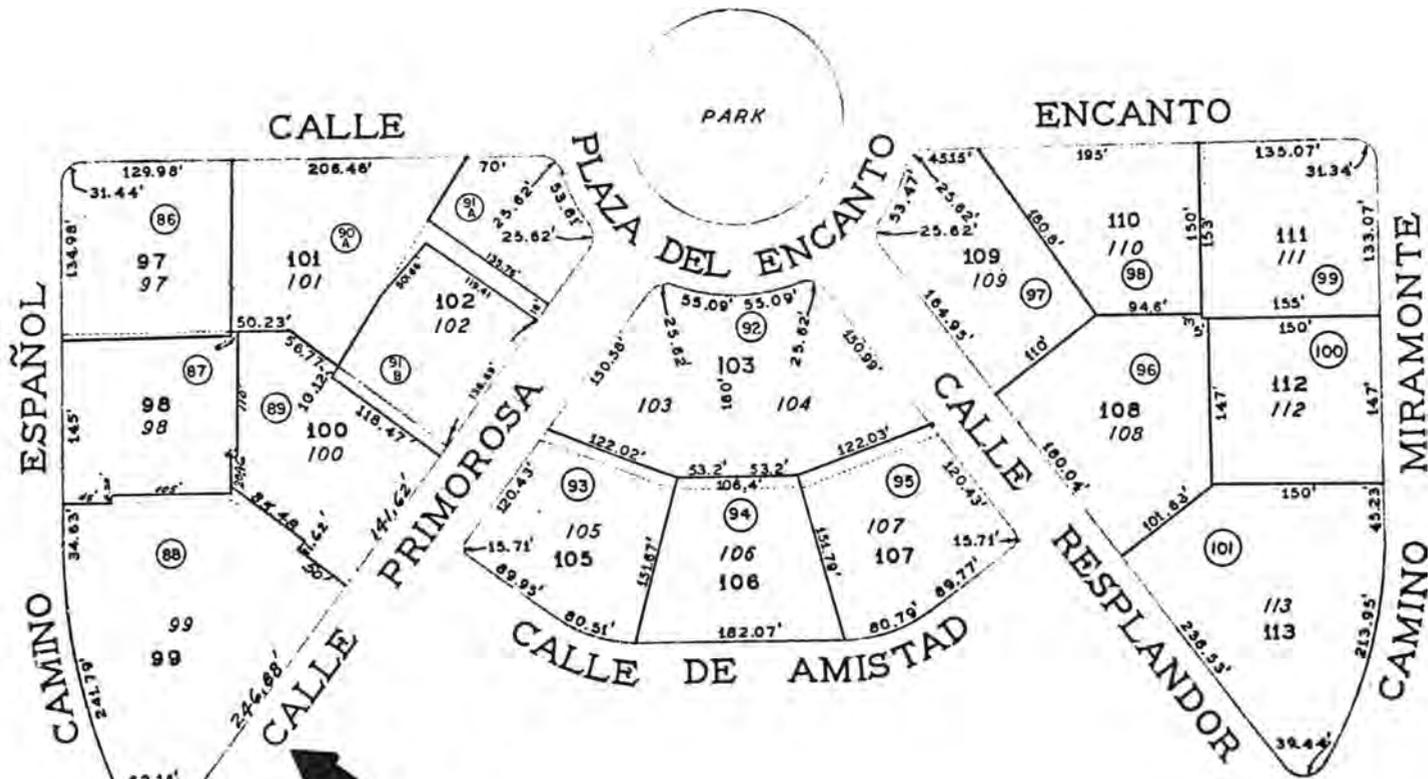
This is a large one-story modified Spanish Colonial Revival style residence with medium hipped roof and circular tower with mission tile roofing, exposed rafters, and stuccoed interior chimney. It was designed by M. H. Starkweather in 1933. The property meets the age and integrity criteria.

A number of buildings in the El Encanto Estate district were originally considered non-contributors due to age or lack of integrity. In 1993, a reevaluation of the district was thoroughly reviewed by the Arizona State Historic Preservation Office, the owners of the properties, the Tucson-Pima County Historical Commission, and the Arizona Historic Sites Review Committee. All concurred in adding more properties to the historic district. The above listed property was inadvertently left off the list of contributors that was submitted and subsequently listed on September 16, 1993.

ASSESSOR'S RECORD MAP

8/13 125 -15

LOTS 97 THRU 113, EL ENCANTO ESTATES, INC.



PHOTOGRAPH ANGLES

SCALE - 1" = 100'

SEE BOOK 5, PAGE 35, M. & P.

1987-1

C.O.T.
PROJECT

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number _____ Page _____

El Encanto Estates Residential Historic District
Pima County ARIZONA 87002284

ADDITIONAL DOCUMENTATION APPROVED

Guy M. Lapley 12/6/94

National Register of Historic Places

Note to the record

Additional Documentation: 2002

United States Department of the Interior
National Park Service

National Register of Historic Places
Registration Form



This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name El Encanto Estates Residential Historic District (Amendment)

other names/site number same

2. Location

street & number bounded by Country Club Rd., Fifth St., Jones St. & Broadway Blvd. not for publication N/A

city or town Tucson vicinity

state Arizona code 04 county Pima code 019 zip code 85716

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

James W. Garrison ASSTPO 12/3/01
Signature of certifying official/Title Date

ARIZONA STATE PARKS
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

- entered in the National Register. See continuation sheet.
- determined eligible for the National Register See continuation sheet.
- determined not eligible for the National Register.
- removed from the National Register.
- other, (explain): _____

Signature of the Keeper (42)

Date of Action

Sarah D. Pope

2/22/02

Additional Documentation Accepted

5. Classification

Ownership of Property

(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property

(Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
32	49	buildings
		sites
		structures
		objects
32	49	Total

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

Number of contributing resources previously listed in the National Register

63

N/A

6. Function or Use

Historic Functions

(Enter categories from instructions)

Domestic

Current Functions

(Enter categories from instructions)

Domestic

7. Description

Architectural Classification

(Enter categories from instructions)

Ranch Style

Neoelectic Style

Pueblo Revival

Spanish Colonial Revival

Materials

(Enter categories from instructions)

foundation concrete

walls masonry bearing, some wood frame

roof gable, some flat

other

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

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National Register of Historic Places Continuation Sheet

Section number 7 Page 1

El Encanto Estates Residential Historic District
name of property
Pima, Arizona
county and state

The purpose of this amendment to the El Encanto Estates Residential Historic District is to submit 32 additional houses for nomination as contributing buildings. These houses are now at least 50 years old (except for 5 houses which will be 50 years old in 2002) and have become eligible since El Encanto Estates became a residential historic district in 1988.

El Encanto Estates was proposed for nomination to the National Register because it is a very special historic neighborhood. Located in the central portion of Tucson, Arizona, El Encanto is comprised now of 144 high quality single family residences displaying excellent examples of Period Revival and mid-twentieth century styles within a distinctly unique neighborhood plan.

The El Encanto subdivision plan is the major element which provides cohesion to the neighborhood. Based on a typical Baroque city plan with a central circular park and radiating streets, the roads are lined with palms and the lots are generously landscaped. Within the neighborhood, there is a strong sense of place and a feeling of unity. El Encanto is a unique local example of the national suburban movement which began during the 1920s. Thus, the community plan, the landscape forms, and the architecturally significant residences combine to create a distinct, cohesive historic district with a viable sense of time and place.

El Encanto has changed only slightly during the past 13 years. The special features of the original neighborhood street pattern, the park, the network of palm trees, and the generous private landscaping essentially are unchanged (see photos 5 and 6). Most of the houses have remained unaltered and almost all have been well-maintained. The few alterations which occurred do not detract from the overall integrity of the district. Only a few of these have compromised the property's historic status. For example, #233 was noncontributing because the front façade was changed. #93 also was noncontributing because high walls at the street and a dense thicket of trees effectively screen the house from view. One house on site #224 has been torn down, and #211 and #212 were razed to be replaced by one large house. A few houses have been extensively remodeled (see Photo 4), and a few have been enclosed by privacy walls (see Photo 3).

More serious changes have occurred at the edges of the neighborhood. The peripheral streets – Broadway, Country Club and Fifth Street, have become busier through the years. El Encanto houses facing these streets have been impacted by increasing traffic noise. (See Photo 1.) El Con Shopping Center to the east has undergone extensive renovation, and a new movie theater complex and a Home Depot Store have been built recently. In response to neighborhood pressure, the shopping center owners built a high masonry screen wall along Jones Boulevard at the eastern edge of El Encanto to help protect the neighborhood. (See Photo 2.)

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Section number 7 Page 2

El Encanto Estates Residential Historic District
name of property
Pima, Arizona
county and state

El Encanto residents have cherished the special character of their neighborhood through the years and have worked together to protect it. No doubt their efforts have helped preserve El Encanto as it is today.

In 1988 when El Encanto was placed on the National Register, of the 146 houses (now 144) in the district, 54 were contributors, 21 were non-contributors suggested to be future contributors when they came of age, and 71 were non-contributors. This year (2001) when preparing this nomination, we have reevaluated some of the properties that were previously determined to be non-contributors and have reclassified them as contributors. In 1993, 8 houses were reevaluated and added to the National Register as contributors. Also, one contributing house, excluded from the 1988 original nomination, was added in 1994. Since that time, 41 houses have come of age. The current status of the 144 residences is now as follows:

63 contributing (built before 1941)
32 new contributing being proposed
49 non-contributing
144 total current houses

Many of the 49 non-contributing houses will become potential nominees when they come of age.

In June 2001, Ralph Comey Architects visually inspected the eligible non-contributing houses to determine their status. All houses were photographed, as well.

Based on National Register guidelines, contributing structures must be: (1) constructed within the period of significance (built before 1952); (2) sufficiently intact with only minor alterations or additions which do not compromise the architectural integrity of the structure; (3) of significant architectural value, including stylistic merit, and exhibiting unique or unusual design and/or craftsmanship quality; or being of a representative style of a period and contributing to an understanding of the architectural development within a district.

The 32 houses nominated as contributors conform with the guidelines and are of the required age, are sufficiently intact, and are representative stylistically. Several are of superior architectural quality and/or had historically important residents or architects. Of the 32 houses,

26 are of the Ranch Style and 6 are of the Eclectic Style. These style terms are described in *A Field Guide to American Houses* by Virginia and Lee McAlester. The following is a brief description of the styles:

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El Encanto Estates Residential Historic District
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Ranch Style

The Ranch Style originated in California in the 1930s and gained popularity in the 1940s to become the dominant style throughout the country during the 1950s and '60s. Likewise, it was popular in Tucson. The popularity of the spreading Ranch Style houses on large suburban lots was made possible by increased use of the automobile. An attached built-in garage further increased façade width. The style is based loosely on early Spanish Colonial precedents and modified by certain Craftsman and Prairie School early 20th century influences. It is also based partly on the forms of early indigenous west coast ranch and homestead architecture.

The style is expressed by one-story buildings with low-pitched roofs in hipped or gable forms. Eave overhangs usually are generous, often with rafters exposed. Recessed front entrance porches shaded by the overhanging eaves are common. Wood and brick wall surfaces with ribbon and picture windows, sometimes with shutters, are typical, and sometimes touches of traditional Spanish or English Colonial inspired detailing are used. Decorative iron or wooden porch supports are typical, and private courtyards or rear patios are a common feature. In the southwest, the Sonoran style influence is recognizable. Fired adobe brick walls, sometimes stucco walls, with grouped windows under overhangs and blank walls facing the east or west solar exposure are frequently seen.

There are 26 Ranch Style houses in this current nomination. 13 of these houses are straightforward examples of the style, while 13 houses show an additional stylistic flavor. One of them exhibits a Spanish Colonial influence, 8 of them show a Spanish Colonial Revival influence, one of them expresses both a Spanish Colonial Revival and Prairie influence, and 3 houses suggest a Modern influence. For example, #79 is a handsome pure Ranch Style house with its broad overhangs, low scale, and recessed entrance porch. #2 is a fine Ranch Style house with Spanish Colonial Revival elements. It has an overhanging gable roof and a cross gable typical of the Ranch Style, but it has a number of details, such as the burnt adobe brick and the decorative chimney tops, which recall the Spanish Colonial Revival Style.

Neoelectic Style

Although a few pre-1940 Eclectic traditional styles in Tucson, and elsewhere, continued to be built into the 1950s, the period between the mid-1940s and 1970 was dominated by Ranch and to a lesser extent, Modern styles. By 1950, however, styles based on traditional precedent became increasingly popular and this trend has continued to the present day. Unlike earlier styles, this one was first introduced by homebuilders, rather than architects, who wished to exploit the public's resurgent interest in traditional

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Section number 7 **Page** 4

design. The Neoelectic, or Neoclassical Revival Style borrows forms and details from the preceding Revival Style, but freely applies them to a variety of building forms with little concern for historically accurate detailing. Quite often, more than one revival style is present.

In this group of nominations, there are 6 Neoelectic Style houses. Two of these show a Pueblo Revival influence, one exhibits Spanish Colonial Revival, Pueblo Revival and Neoclassical influences, 2 show Spanish Colonial Revival and Neoclassical influences, and one shows a Prairie Style and Spanish Colonial Revival Style influence. For example, #206 is a handsome, imposing house with a high flat facade of burnt adobe brick and carefully placed wall openings with iron grillwork suggestive of the Spanish Colonial Revival and possibly the Spanish Colonial Styles. The moulded stone trim at the main entrance, windows, and parapet cap reflect the Neoclassical Style. #236 is another large attractive house -- low-scaled, rambling, with an interesting variety of forms. The articulation of the floor plan and parapet heights suggests the Pueblo Revival Style. The painted brick and stucco façade, the window openings, and parapeted walls reflect the Spanish Colonial Revival Style. The detailing of the stone trim including the parapet balustrades and the classical entrance porches are reminiscent of the Neoclassical Style.

Spanish Colonial Revival Style

The Spanish Colonial Revival Style developed after 1915 using Spanish Colonial prototypes. The style is characterized by a low pitched roof, usually with little or no eave overhang; a red tile roof surface; one or more arches placed above door or main window, or along a porch; wall surfaces usually of stucco; and a main façade normally asymmetrical. There are many variations using gable or hipped roofs, as well as flat roofs with parapeted walls, sometimes with shed roofs above porches or projecting windows. The style uses decorative details borrowed from the entire history of Spanish architecture, and these may be of Moorish, Byzantine, Gothic, or Renaissance inspiration.

Two types of roof tile are used: Mission tile, which are shaped like half-cylinders, and Spanish tile, which are "S" curved in shape. Highly carved or many-paneled doors are typical and sometimes adjacent spiral columns, carved stonework, or patterned tiles are used. Secondary doors often are glazed. Decorative window grilles and balustrades, decorated chimney tops, brick or tile vents, fountains, arcaded walkways and round or square towers also are characteristic. Other design variations include arches above doors and principal windows, balconies, elaborated door surrounds and ornamental light fixtures.

Another variation of the Spanish Colonial Revival is the "Sonoran Revival" or the Tucson version of the Spanish Colonial or Mexican Colonial architecture of the Arizona frontier. The early houses are one

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El Encanto Estates Residential Historic District
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story rectangular, or cubic in form, presenting high flat facades of exposed adobe on stone bases with parapet walls pierced by decorative drainpipes, or canales. Doorways are recessed and window openings often are placed at random. Later, because of adobe deterioration, the walls were stuccoed and capped with a brick course. The early Sonoran style was transformed gradually through Anglo influence. During the 1880s, sloping or pyramidal roofs were added to provide better roof protection. Later still, the parapets and canales were eliminated, making the walls lower with changed proportions. Other Anglo aspects were introduced as the Territorial Style developed.

In the current group of nominations, #86 is a Spanish Colonial Revival Style house which shows a Pueblo Revival Style influence. #1, #2, #53, #75, #107, #113, #136, #137, and #232 are Ranch Style houses which reflect a Spanish Colonial Revival Style influence. #89-90, #161, #206, and #236 are Neoelectic Style houses which likewise show a Spanish Colonial Revival Style influence.

Pueblo Revival Style

The Pueblo Revival Style drew on local historical precedents and was inspired by flat roofed Sonoran Spanish Colonial and Native American pueblo prototypes. The earliest examples were built in California around the turn of the century. This style became popular in Arizona and New Mexico around 1910 where the original prototypes survive. It is especially common in Albuquerque and Santa Fe where it continues to be built in historic districts with special design controls and elsewhere since 1970 largely because of its appropriateness for use in passive solar energy applications. Examples occur throughout the southwestern states starting in the 1920s. Within the past decade throughout the southwest, Neoelectic houses with a Pueblo Revival Style influence have become quite popular with homebuilders.

The style is typified by flat roofs with parapeted walls. The floor plans are articulated and step back to reflect the room arrangement and the roof parapets change height, as well. The walls and roof parapet have rounded, irregular edges. The wall surfaces are usually earth-colored stucco and have projecting wooden roof beams (vigas) extending through them.

In the present group of nominations, #4, #54 and #89-90 are Neoelectic houses which show a Pueblo Revival influence.

The Prairie Style

The Prairie Style was originated by Frank Lloyd Wright in Chicago in the early 20th century. Wright had a vision of houses designed to human scale with horizontal flowing spaces articulated by open floor plans

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El Encanto Estates Residential Historic District
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and carefully arranged building forms. Wright believed in organic architecture, that is buildings with a completely unified concept, like a work of nature. Wright also believed in the use of natural materials and was influenced by traditional Japanese architecture. Wright's Prairie Style houses typically had articulated floor plans and low-pitched hipped roofs with overhangs. The wall areas often were expressed by planes of stucco framed with dark stained wood and bands of windows with broad edges of dark wood trim. The houses often recalled ancient Japanese pavilions. Wright designs often included carefully developed details of window boxes, tasteful ornamentation, leaded glass windows, specially designed light fixtures, built-in furniture and custom designed furnishings. The Prairie Style developed as Wright influenced the work of many architects in the Midwest during the period.

In El Encanto, the Prairie Style influence on two houses is subtle. #75 has an unusual wood-sheathed rectangular form topped by an overhanging hipped roof which seems to float above the front entrance. This form has Prairie Style proportions. #161 likewise shows a Prairie Style influence in its arrangement of forms.

Neoclassical Style

The Neoclassical Style dates from the world's Columbian Exposition of 1893 in Chicago. Here, the entire exhibition was planned on a classical theme, with the large main buildings being of monumental scale, and the smaller buildings being of a more domestic scale. The Early Classical Revival and Greek Revival as well as the Georgian and Adam Styles were used as precedents. The exhibition was widely publicized and admired and the early classical styles of the smaller buildings became the basis for the Neoclassical Style which flourished throughout the country during the first half of the 20th century.

Full height porches of classical design, porches being supported by Ionic or Corinthian columns, with classical entablatures, and symmetrically arranged facades, are typical features of the style. Various porch configurations and detailed surrounds of windows, doors, and cornices are characteristic elements. In this group of nominations there are 4 Neoelectic houses with a Neoclassical influence.

For instance, #206 has a stately parapeted façade with burnt adobe brickwork and with carefully spaced grilled window openings suggestive of the Spanish Colonial Revival or possibly the Spanish Colonial Styles. However, the centered formal entry with stone classical columns and entablature and moulded window frames reflect the Neoclassical Style. #236 is a low rambling house with painted brick and stucco walls, ornamented brick wall vents, a variety of window forms, and flat roofs with parapets which suggest the Spanish Colonial Revival Style. However, the moulded stone cornice, the roof

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El Encanto Estates Residential Historic District
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parapets with balustrades, and the moulded stone window frames and porches with classical columns and entablature reflect the Neoclassical Style.

Modern Style

The Modern Style developed during the late 1940s in the work of innovative architects and was most favored for custom designed houses built between 1950 and 1970. This style evolved from the International Style and the Craftsman and Prairie Styles as well as from the traditional Japanese villa, rural Alpine and Scandinavian forms, and from the early indigenous western ranch architecture which also inspired the Ranch Style. Like the International Style, it is based on certain intellectual premises relating to design, construction, and the use of materials.

Modern houses with flat roofs resemble the International Style except that natural materials – particularly wood, brick and stone, frequently are used. Gable forms feature overhanging eaves and often exposed roof framing. Usually, there is a horizontal emphasis with floating roofs and solid-void wall relationships arranged to create an indoor-outdoor spatial connection. Also, there is an attempt to integrate the house into the landscape rather than contrast with it, as in the International Style. Frank Lloyd Wright's later work had a strong influence on the Modern Style.

In this group of nominations, there are 3 Ranch houses with a Modern Style influence. For example, #245 has a low sloping, overhanging roof with a cross hip and recessed entrance typical of the Ranch Style, but its clustered casement windows directly beneath the overhanging roof help to create a floating, indoor-outdoor spatial connection more typical of the Modern Style and the later work of Frank Lloyd Wright. Likewise, the handsome stone veneer is more suggestive of the Modern Style. #17 has a similar overhang and window relationship.

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El Encanto Estates Residential Historic District
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Actual photos separate
from text.

View from across Broadway
looking northeast towards the
neighborhood.
El Encanto houses which face
busy urban streets at the periphery
are impacted by the noise and
congestion.

Photo 1



View looking northwest.
In response to neighborhood
pressure, the owners of El Con
Shopping Center built a 15 ft.
high screen wall along Jones
Blvd. at the eastern edge of El
Encanto.

Photo 2



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El Encanto Estates Residential Historic District
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View looking southeast towards
50 Camino Espanol.
Some houses in El Encanto have
been enclosed by elaborate walls
and security gates.

Photo 3.



View looking north towards 55
Calle Belleza.
Example of the occasional
extensive remodeling. A few
other houses have been razed and
replaced.

Photo 4.



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El Encanto Estates Residential Historic District
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View looking west along Calle Encanto. Few changes have occurred within El Encanto. Attractive, well-maintained landscaping helps create a feeling of tranquil elegance.
Photo 5.



View of central park looking southwest along Calle Primorosa. The circular park, with its tall palms and desert planting, has changed little through the years.
Photo 6.



8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

Architecture

Community Planning & Development

Period of Significance

1929-1952

Significant Dates

N/A

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

N/A

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

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El Encanto Estates Residential Historic District
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STATEMENT OF SIGNIFICANCE

The El Encanto Estates Residential Historic District (1929-1941) was nominated to the National Register of Historic Places because of its importance under criteria of significance A and C.

Under criterion A, El Encanto was nominated for its role in the historic development of Tucson. El Encanto was one of the first and one of the finest suburban communities in Tucson. It was also a part of the national suburban movement of the 1920s. It deviated in its physical layout from the usual residential development in Tucson which followed the conventional rectilinear grid. Although its Baroque Style radiating plan was unique, its establishment influenced the development of other Tucson subdivisions.

Criteria C relates to architecture and planning. El Encanto is important because it is one of the early subdivisions in Arizona and the first in Tucson to use a formal radiating Baroque Style district plan. It is important, too, because of the skilful and harmonious landscaping of both its public areas and individual lots. El Encanto is also significant because of the fine quality and historic value of many of the Revival Style houses which were built during its historic period. While many of the individual houses are distinguished, the strength of the total body of housing is the most significant factor which reinforces the strong neighborhood character. Thus, El Encanto as a whole is considered historically significant.

The new houses which are being nominated were constructed during and after World War II (1942-1952). After the war, tastes changed and the Ranch Style became the predominant style. The movement from revival styles to the Ranch Style after World War II occurred nationally as well as in Tucson.

However, in Tucson, and in El Encanto, the influences of southwestern styles persisted, especially the Spanish Colonial Revival Style, and can be seen in a few of the El Encanto Ranch Style houses as well as in those of the Neoelectic Style. There are other influences seen, as well – Spanish Colonial, Pueblo Revival, Prairie, Neoclassical, and Modern Styles. After the war, a trend developed in which elements of a style were freely selected, to provide a certain atmosphere or image, without imposing the discipline that a true recreation of that style would require. This eclecticism was seen nationally, as well as in Tucson and in El Encanto.

El Encanto is important in the historical development of architecture in Tucson. Because it is a development of fine homes designed by architects and governed by deed restrictions, it contains excellent examples of Tucson residential architecture over a period of several decades. The houses are well-maintained and little altered, and their neighborhood has not changed. Both the houses and their setting look much the same as they did when they were built. (There have been some exceptions, but these have

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El Encanto Estates Residential Historic District
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not changed the appearance of the neighborhood.) (Unfortunately, elsewhere in Tucson, many fine historic houses and other buildings have been torn down, altered, or have been located in neighborhoods which have changed.)

The following houses are being nominated to be included as contributing structures in El Encanto because they contribute to an understanding of the architectural development within the historic district, as well as in Tucson. Also, they are architecturally significant as being representative examples of their styles or in some cases, having unusual design quality or features.

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El Encanto Estates Residential Historic District
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Site:	No. 1	Ranch Style with
Location:	16 N. Camino Miramonte	Spanish Colonial Revival
Historic Name:	none	Style influence
Date:	1950	

This house is a representative example of the Ranch Style with a Spanish Colonial Revival, or southwestern, influence. The low pitched gable roof with overhanging eaves and exposed rafters, the simple rectangular massing, the spaced steel casement windows and picture window, the attractive brickwork, and the generous entrance porch are typical Ranch Style elements, whereas the Mexican tile window surrounds reflect the Spanish Colonial Style.



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El Encanto Estates Residential Historic District
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Site:	No. 2	Ranch Style with
Location:	3327 E. Broadway	Spanish Colonial Revival
Historic Name:	Williams Home No. 2	Style influence
Date:	1950	

This house is an especially fine example of the Ranch Style with a Spanish Colonial Revival influence. The low pitched gable roof with open-framed, exposed rafters, the cross gable, the attractive recessed entrance, the grouped steel casement windows and picture window, and the low eave line providing an intimate residential scale are Ranch Style features. The wood window lintels, the sliding glass windows with decorative wood mullions, the casement window with a broad stucco frame, the Mexican burnt adobe face brick and the decorative chimney tops with the brick grilles are imaginatively selected southwestern, or Spanish Colonial Revival elements.



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El Encanto Estates Residential Historic District
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Site:	No. 4	Neoclectic Style with
Location:	3339 E. Broadway Blvd.	Pueblo Revival Style
Historic Name:	Tweed Home	influence
Date:	1933	

This small house is early for the Neoclectic Style, but the modest reflection of the Pueblo Revival Style and the use of the mission tile roof above the entrance porch, which suggests the Spanish Colonial Revival Style, is an eclectic design approach. The cubic expression of the rooms and the variation in parapet height and the stepped parapet are Pueblo Revival features.



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El Encanto Estates Residential Historic District
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Site: No. 17
Location: 20 N. Calle Mirasol
Historic Name: none
Date: 1945

Ranch Style with Modern
Style, Frank Lloyd Wright,
influence

This house is a typical Ranch Style dwelling with its low horizontal scale, long brick façade with one setback, and its recessed entry porch. There is a deep overhang along the front façade with a flat soffit, and the grouped windows along the façade are thrust against the soffit, typical of many Frank Lloyd Wright designs, where there is an outward thrust of space from the inside of the house because the ceiling extends out to become the soffit. The open framed panel at the right edge of the house is another Wrightian touch.



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El Encanto Estates Residential Historic District
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Site: No. 19
Location: 60 N. Camino Miramonte
Historic Name: Simons House
Date: 1941

Ranch Style with Modern
Style, Frank Lloyd Wright,
influence

This house has typical Ranch Style characteristics of a low eave line, a recessed entry porch with double support columns, and an articulated floor plan beneath an overhanging roof with flat soffits. Other Ranch Style elements are the grouped casement windows, but the use of corner windows is a Frank Lloyd Wright feature.



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El Encanto Estates Residential Historic District

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Site:	No. 40	Ranch Style
Location:	100 E. Calle Primorosa	
Historic Name:	Bailey Home	
Date:	1950	

This house is characteristic of the Ranch Style. The low horizontal massing with a generous front porch, the gable roof with a cross gable, the open framed eaves and porch framing exposed rafter ends, and the steel casement windows and the picture window are typical features of this style.



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El Encanto Estates Residential Historic District
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Site:	No. 51	Ranch Style
Location:	140 N. Camino Miramonte	
Historic Name:	Boice Home	
Date:	1952	

This house is a typical Ranch Style dwelling with its long brick façade with one setback and a raised gable. There are roof overhangs and a low eave line, a recessed entry and spaced steel casement windows. The house has an intimate, residential scale.



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El Encanto Estates Residential Historic District
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Site:	No. 52	Ranch Style, with
Location:	145 N. Camino Miramonte	Modern Style influence
Historic Name:	none	
Date:	1950	

This bold, unusual house is in the Ranch Style with a Modern influence. The low horizontal scale, the roof overhangs, and the grouped window openings are Ranch Style features. However, the projecting bays, the wall breaks, and the heavy continuous cornice band express a restless flow of energy more characteristic of the Modern Style. The house has an almost brutal quality, but the design is controlled, consistent, and very creative.



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El Encanto Estates Residential Historic District
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Site: No. 53
Location: 3284 E. Fifth St.
Historic Name: Rollings Home
Date: 1948

Ranch Style with
Spanish Colonial Revival
Style influence

This house is in the Ranch Style with a Spanish Colonial Revival influence. Modest in size, the house has a horizontal roof line with exposed overhanging rafters. The main gable ends in a cross gable at the recessed entry. There are steel casement windows and a large picture window. The stucco walls, the Mission tile roof, and the ornamental brick chimney cornice reflect the Spanish Colonial Revival Style.



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El Encanto Estates Residential Historic District
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Site:	No. 54	Neoelectic Style with
Location:	3270 E. Fifth St.	Pueblo Revival Style
Historic Name:	none	influence
Date:	1950	

This house is in the Neoelectic Style with a Pueblo Revival influence. The typical Neoelectic building contains freely chosen elements of a previous style without being truly authentic. Here, the strongly articulated brick walls, the minimal window openings and the stepped roof parapet reflect in a free manner the Pueblo Revival Style. The use of face brick, however, is not characteristic.



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Site:	No. 59	Ranch Style
Location:	5 E. Calle Claravista	
Historic Name:	none	
Date:	1948	

This handsome house is a skillfully designed example of the Ranch Style. The low horizontal scale, the articulated massing, the recessed entry, the grouped windows, and the overhanging roof with exposed beam ends are typical Ranch Style elements. However, the compact grouping of forms – the cross gable and stepped down carport, the building walls that extend beyond the house, and the attractive building materials—the wood shake roof, the mortar washed brick, and the board and batten wall panels, are unusual and effective design elements.



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El Encanto Estates Residential Historic District
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Site:	No. 75	Ranch Style with Spanish
Location:	10 Calle Resplendor	Colonial Revival Style
Historic Name:	Williams Home No. 1	and Prairie Style influence
Date:	1947	

This house is a sophisticated and unusual example of the Ranch Style with a Spanish Colonial Revival and Prairie Style influence, designed by Tucson's most distinguished architect, Josias Joesler. The interesting L-shaped floor plan with an angled entry element requires some unique roof intersections. The side gables terminate at the wood-clad raised spandrel form above the entry. With its overhanging hipped roof and horizontal emphasis, the entry form suggests the Prairie Style. The open framed gable roofs, the brick walls, and the spaced casement windows reflect the Ranch Style. The wood window lintels, heavy roof framing, and textured quality of the brickwork suggest the Spanish Colonial Revival Style.



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El Encanto Estates Residential Historic District
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Site: No. 79
Location: 65 Calle Primorosa
Historic Name: Speakman Home
Date: 1947

Ranch Style

This house is a handsome example of the Ranch Style. The angled plan with the stepped gable create an informal appearance, and the low overhanging eaves with exposed rafters, the spaced steel casement windows with wood lintels and the generously shaded entry help create an intimate residential scale characteristic of this style.



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El Encanto Estates Residential Historic District
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Site:	No. 81	Ranch Style with Spanish
Location:	60 Calle Primorosa	Colonial Revival Style
Historic Name:	Jacome Home	influence
Date:	1947	

This house is a good example of a Ranch Style house with a Spanish Colonial Revival influence. The simple rectangular building form with a low overhanging gable roof with exposed rafters and large evenly spaced casement windows are representative of the Ranch Style. The Spanish Colonial Revival Style is reflected in the stucco walls and the Mission tile roof.



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El Encanto Estates Residential Historic District
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Site: No. 89 & 90
Location: 35 Plaza del Encanto
Historic Name: none
Date: 1952

Neoelectic Style with
Spanish Colonial Revival
Style, Pueblo Revival Style
and Neoclassical Style
influences

This house is an unusual example of the Neoelectic Style with Spanish Colonial Revival, Pueblo Revival, and Neoclassical Style influences. This is a large house with imposing massing. The articulated floor plan has stepped parapets suggesting the Pueblo Revival Style, while the stuccoed walls, window grilles, and ornamental tile wall and chimney vents suggest the Spanish Colonial Revival Style. The stately entrance porch with its classical Ionic columns, capitals and entablature suggest the Neoclassical Style.



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El Encanto Estates Residential Historic District

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Site:	No. 101	Ranch Style
Location:	20 E. Calle Encanto	
Historic Name:	none	
Date:	1949	

This is an attractive example of the Ranch Style with its low horizontal scale, articulated plan forms, recessed entrance, stepped down gable roof elements, and its long overhanging eaves. The wood shake roof above the painted brick walls and the grouped windows with wood shutters add charm and intimacy.



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El Encanto Estates Residential Historic District
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Site:	No. 107	Ranch with Spanish
Location:	65 Calle Resplendor	Colonial Revival Style
Historic Name:	none	influence
Date:	1950	

This attractive Ranch Style house has a southwestern and Spanish Colonial Revival Style flavor. The low horizontal scale, the low eave line with exposed beam ends, the long stepped down roof with a cross gable, the recessed entrance, and the grouped windows are typical Ranch Style features. The materials suggest the southwest and the Spanish Colonial Revival Style—the mission tile roof, and the walls and planters of painted burnt adobe brick.



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El Encanto Estates Residential Historic District
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Site:	No. 108	Ranch Style
Location:	60 E. Calle Resplendor	
Historic Name:	none	
Date:	1952	

This house is a representative example of the Ranch Style. The low horizontal massing conveys an intimate residential scale. The low pitched gable roof and cross gable, the overhangs with open-framed rafters, the generous front porch, the spaced steel casement windows with shutters, and the painted brick cladding are typical characteristics of this style.



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El Encanto Estates Residential Historic District
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Site:	No. 109	Ranch Style
Location:	50 Calle Encanto	
Historic Name:	Buehman Home	
Date:	1948	

This is an attractive example of the Ranch Style. The long low pitched gable roof, with open framed overhanging eaves, the breaks at the ridge and eave line, the generous sized front porch with the unusual double columns, the tan Flemish bond brickwork, and the spaced steel casement windows are representative but skillfully combined elements of the Style.



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El Encanto Estates Residential Historic District
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Site:	No. 113	Ranch Style with Spanish
Location:	55 N. Camino Miramonte	Colonial Revival Style
Historic Name:	Bloch Home	influence
Date:	1950	

This is an unusual Ranch Style house with a Spanish Colonial Revival influence. The low pitched gable roof with the open-framed overhangs and exposed rafters, the cross gable roof beside the entry, the regularly spaced casement windows with shutters, the picture window, and the intimate residential scale are Ranch Style features. The Mission tile roof and the lime washed Mexican burnt adobe brickwork suggest the Spanish Colonial Revival Style.



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El Encanto Estates Residential Historic District
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Site:	No. 119	Ranch Style
Location:	10 E. Calle Primorosa	
Historic Name:	none	
Date:	1952	

This pleasant house is typical of the Ranch Style. The low horizontal scale, the recessed entry, the spaced windows, and the low overhanging roof are typical Ranch Style features. The painted wood trim at the entrance, the bay windows flanking the entrance, and the casement windows with wood shutters add a touch of gentility.



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El Encanto Estates Residential Historic District
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Site: No. 136
Location: 3227 E. Broadway Blvd.
Historic Name: none
Date: 1950

Ranch Style with Spanish
Colonial Revival Style
influence

This Ranch Style house exhibits a Spanish Colonial Revival influence. The low horizontal scale, the recessed entry porch, the grouped windows, and the simple gable roof with exposed beam ends, are typical Ranch Style motifs seen many times in El Encanto. The mission tile roof with its generous overhang, shading the house and entry porch, is reflective of the Spanish Colonial Revival Style.



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El Encanto Estates Residential Historic District
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Site: No. 137
Location: 3245 E. Broadway
Historic Name: none
Date: 1949

Ranch Style with Spanish
Colonial Revival Style
influence

This house is a good example of the Ranch Style with a Spanish Colonial Revival influence. The low pitched asymmetrical gable roofs, the generous long front porch, the open framed eaves, and the brick cladding are Ranch Style elements. The Mission tile roof, the brick chimney ornamentation, and the tile gable vents reflect the Spanish Colonial Revival.



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El Encanto Estates Residential Historic District
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Site:	No. 161	Neoelectic with Prairie
Location:	95 N. Camino Espanol	and Spanish Colonial
Historic Name:	Elsing Home	Revival Style influences
Date:	1952	

This interesting Neoelectic Style house exhibits both Spanish Colonial Revival Style and Prairie Style influences. At first glance, with its mission tile roofs and stuccoed walls, it suggests the Spanish Colonial Revival Style. However, its formal composition, with its central two story element and wrapped and extended one story wings and projecting double-roofed entry porch, is reminiscent of the early Prairie Style work of Frank Lloyd Wright, such as the Waller House project of 1899. The floating, overhanging hipped roofs, the stepped down roofs at the entry, and the strong, stuccoed entry columns likewise suggest the Prairie Style.



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El Encanto Estates Residential Historic District
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Site: No. 176
Location: 228 N. Country Club
Historic Name: Usher Home
Date: 1942

Ranch Style

This house is in the Ranch Style with typical features. The low pitched gable roof, the stepped roof, the overhanging eaves with exposed rafters, the spaced windows, the brick facing, and the intimate residential scale are characteristic of the style.



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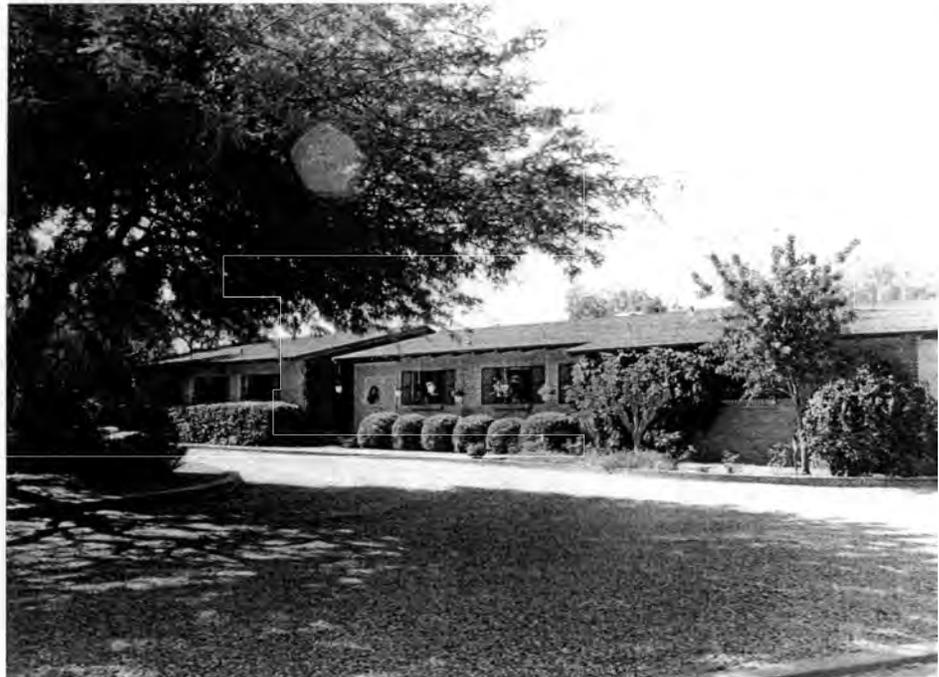
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El Encanto Estates Residential Historic District
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Site:	No. 204	Ranch Style
Location:	105 Calle Resplendor	
Historic Name:	Garrett Home	
Date:	1951	

This is an attractive Ranch Style residence. It exhibits the typical features of the style – low horizontal massing, low pitched, overhanging gable roofs with exposed roof beams, low eave line, and evenly spaced windows with wood shutters in handsome brick walls.



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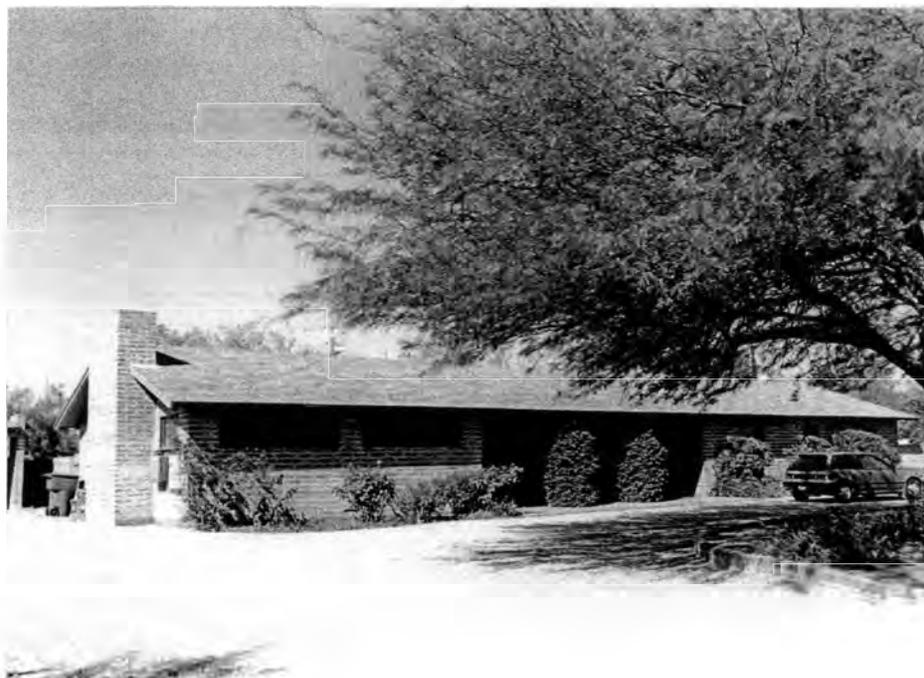
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El Encanto Estates Residential Historic District
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Site:	No. 205	Ranch Style
Location:	95 E. Calle Resplendor	
Historic Name:	none	
Date:	1952	

This attractive house is in the Ranch Style. The low horizontal massing, the low pitched gable roof with eave overhangs and exposed roof beams, the generously shaded recessed entry, and the regularly spaced steel casement windows and picture window, are typical stylistic elements. The handsome Mexican burnt adobe brickwork, a variation from the typical brick facing, provides a southwestern touch.



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El Encanto Estates Residential Historic District

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Site: No. 206
Location: 50 Calle Belleza
Historic Name: Ivancovich Home
Date: 1951

Neoeclectic Style

This handsome, imposing house is in the Neoeclectic Style with Spanish Colonial Revival, Neoclassical, and perhaps other influences. The high flat façade with a few carefully placed wall openings with iron grille work suggest the Spanish Colonial Revival and the Spanish Colonial Styles. The brickwork is Mexican burnt adobe, used locally in the Spanish Colonial Revival Style. The contrasting stone classical trim at windows, parapet cap, and main entrance suggests the Neoclassical, as well as the Territorial Styles. One sees many influences in this house, but the total effect is very southwestern.



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El Encanto Estates Residential Historic District
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Site: No. 229 Ranch Style
Location: 75 Calle Clara Vista
Historic Name: none
Date: 1946

This informal, intimately scaled house is in the Ranch Style. The angular, articulated plan, the low pitched gable roof with the unusual lapped roof boards and white composition roofing, the low eave line and generously shaded porch with exposed rafters, the white brickwork, and the spaced steel casement windows with wood shutters, are Ranch Style elements.



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El Encanto Estates Residential Historic District
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Site:	No. 232	Ranch Style with Spanish
Location:	95 Calle Primorosa	Colonial Revival Style
Historic Name:	none	influence
Date:	1942	

This large house is in the Ranch Style with a Spanish Colonial Revival Style influence. The low pitched gable roofs, stepped as required to follow the plan configuration below, the low overhanging, open-framed eaves with exposed rafters, the generously shaded recessed porch and the spaced steel casement windows, are Ranch Style elements. The Mission tile roofs, the stucco walls, and the stuccoed front columns, suggest the Spanish Colonial Revival Style.



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El Encanto Estates Residential Historic District
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Site:	No. 236	Neoelectic Style with
Location:	100 N. Camino Miramonte	Spanish Colonial Revival
Historic Name:	none	Style and Neoclassical
Date:	1950	Style influences

This interesting sprawling house is in the Neoelectic Style, with Spanish Colonial Revival and Neoclassical influences. Its low horizontal scale, articulated plan and façade massing with a lively variation of forms, including modestly scaled porches, help create an intimate residential character. The painted brick and stucco facing, the brick vents, the variation in window forms, and the flat roofs with parapets suggest the Spanish Colonial Revival Style. The moulded stone cornice, the balustrade sections of the roof parapets, the stone window surrounds, and the classical columns and entablature of the porches suggest the Neoclassical Style.



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Site: No. 245

Location: 15 Calle Mirasol

Historic Name: none

Date: 1947

Ranch Style with Modern
Style, Frank Lloyd Wright,
influence

This house is in the Ranch Style, with a Modern Style influence. The low pitched gable roof with the cross gable, the low eave line with overhangs, the generously shaded front porch, and the regularly spaced casement windows are Ranch Style features. However, the flat soffits of the overhangs extending out directly from the heads of the windows creating a "floating roof" effect are more typical of the later work of Frank Lloyd Wright, and thus should be considered a Modern Style influence. Likewise, the handsome stone wall facing is more typical of the Modern than the Ranch Style.



10. Geographical Data

Acreage of Property 123

UTM References

(Place additional UTM references on a continuation sheet.)

1	1 2	5 0 6 9 1 0	3 5 6 5 7 7 0
	Zone	Easting	Northing
2	1 2	5 0 7 5 2 0	3 5 6 5 7 9 0

3	1 2	5 0 7 5 2 0	3 5 6 5 0 0 0
	Zone	Easting	Northing
4	1 2	5 0 6 9 1 0	3 5 6 5 0 0 0

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.) N/A

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.) N/A

11. Form Prepared By

name/title Ralph Comey, Project Manager

organization Ralph Comey Architects date July 5, 2001

street & number 800 N. Swan, Suite 111 telephone (520) 795-1191

city or town Tucson state Arizona zip code 85711

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner N/A

(Complete this item at the request of SHPO or FPO.)

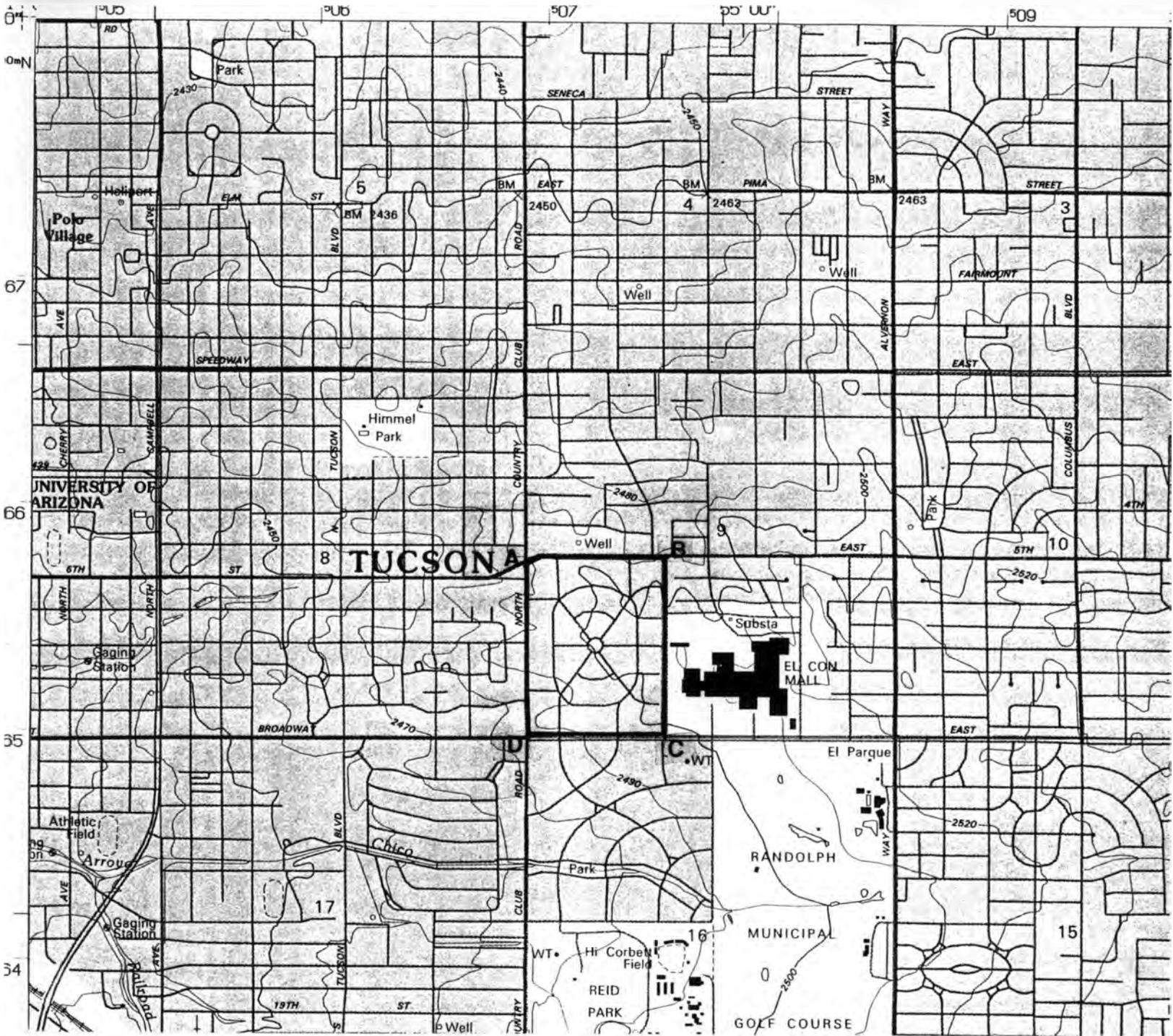
name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.



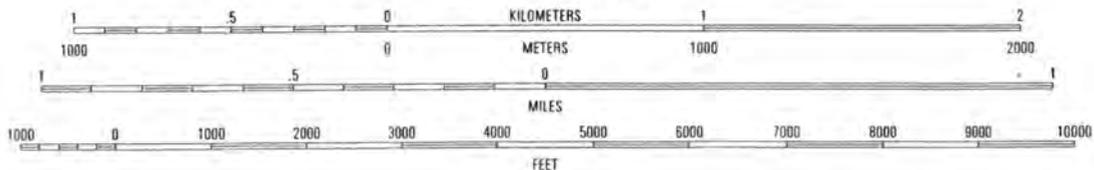
DISTRICT UTM'S

- A 506910E/356577N**
- B 507520E/356579N**
- C 507520E/356500N**
- D 506910E/356500N**

TUCSON, ARIZONA 7.5' MAP

**EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
TUCSON, PIMA COUNTY, ARIZONA**

SCALE 1:24 000

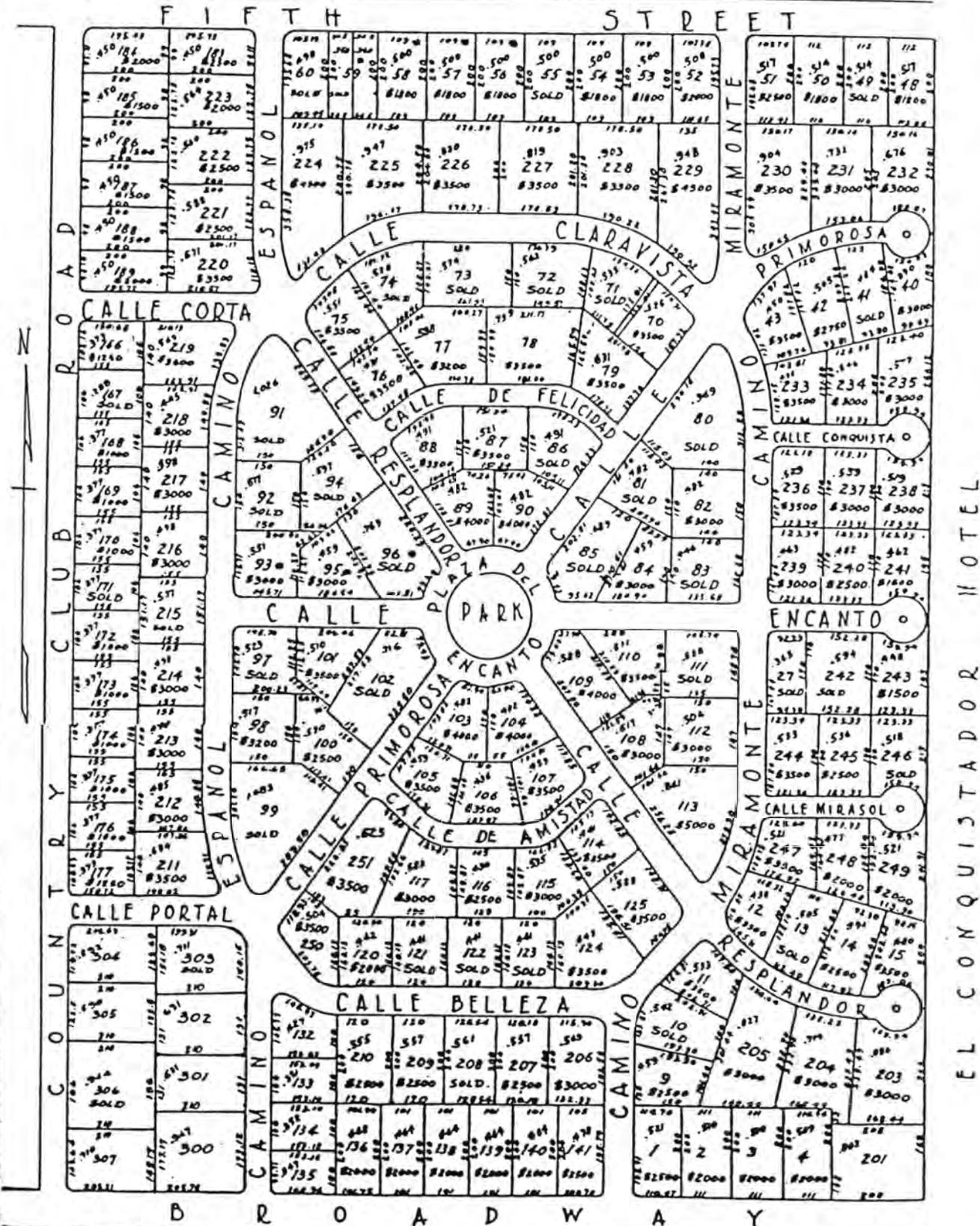


CONTOUR INTERVAL 10 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929
 TO CONVERT FEET TO METERS MULTIPLY BY 0.3048
 TO CONVERT METERS TO FEET MULTIPLY BY 3.2808

EL ENCANTO ESTATES

SALES LIST NO. 12, DEC. 29, 1932.

(All previous lists void)



lots marked * can be enlarged. * Subject to additional charge for electric & phone service.

Cost and Value of Residence, \$8,000.00 as lots numbered 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300.

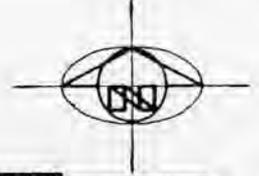
Cost of any separate or detached garage building, on each lot shall be at least: \$10,000.00 as lots numbered 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300.

\$12,000.00 as lots numbered 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300.

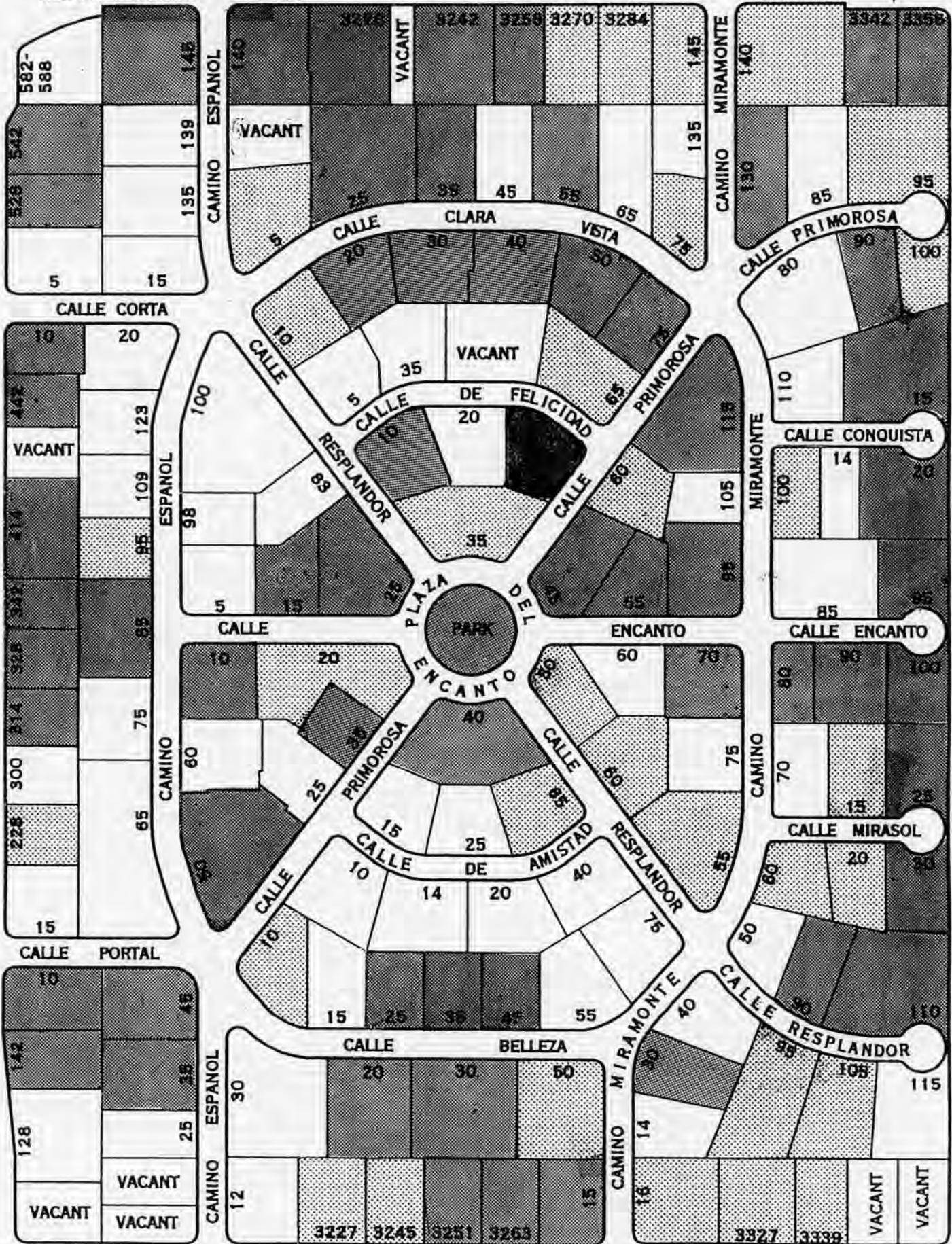
LEGEND

CONTRIBUTING (PROPOSED) 
 CONTRIBUTING (EXISTING) 
 NON-CONTRIBUTING 

EL ENCANTO ESTATES



FIFTH STREET



BROADWAY BOULEVARD

National Register of Historic Places

Note to the record

Additional Documentation: 2008

87002284

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name El Encanto Estates Residential Historic District (2007 Amendment)

other names/site number _____

2. Location

street & number Bounded by Countryclub Rd., Fifth St; Jones St. and Broadway Blvd not for publication

city or town Tucson vicinity

state Arizona code AZ county Pima code 019 zip code 85716

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register Criteria. I recommend that this property be considered significant nationally statewide locally.
(See continuation sheet for additional comments.)
James W. Gramani AZSHPA 26 NOVEMBER 2007
Signature of certifying official Date
ARIZONA STATE PARKS
State of Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting or other official Date

State of Federal agency and bureau

4. National Park Service Certification

- I hereby certify that this property is:
- entered in the National Register
 See continuation sheet.
 - determined eligible for the National Register
 See continuation sheet.
 - determined not eligible for the National Register
 - removed from the National Register
 - other (explain): _____

Signature of Keeper Jana McClelland Date of Action 1/10/08

5. Classification

Ownership of Property (check as many as apply)	Category of Property (check as many as apply)
<input checked="" type="checkbox"/> private	<input type="checkbox"/> building(s)
<input type="checkbox"/> public-local	<input checked="" type="checkbox"/> district
<input type="checkbox"/> public-State	<input type="checkbox"/> site
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure
	<input type="checkbox"/> object

Number of Resources within Property
(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
19	4	building(s)
		site
		structure
		object
19	4	Total

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the
National Register 96**6. Function or Use****Historic Functions**
(Enter categories from instructions)

DOMESTIC/ single dwelling, multiple dwelling

Current Functions
(Enter categories from instructions)

DOMESTIC/ single dwelling, multiple dwelling

7. Description**Architectural Classification**
(Enter categories from instructions)

LATE 19TH AND 20TH CENTURY REVIVALS/ Sonoran
Revival

MODERN MOVEMENT/ Ranch, Modernistic, Other (Split-
Level)

OTHER/ NeoClassical Ecclectic

Materials
(Enter categories from instructions)

foundation concrete

walls Brick, burned adobe, stone, stucco,
weatherboard

Roof Asphalt, terra cotta

other Wrought iron

Narrative Description (Describe the historic and current condition of the property on one or more continuation sheets.)

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section 7 Page 1

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

SUMMARY/ METHODOLOGY OF AMENDMENT

This amendment is the "Year 2007" proposed update of the El Encanto Estates Historic District, located in Tucson, Arizona. Established in 1929, El Encanto was nominated and listed in the National Register in 1988. Since the time of its initial listing, the nomination has been amended twice, to expand the period of significance to document and list properties that had achieved fifty years of age.

The current amendment establishes an effective buildout date of 1961 for the neighborhood and adds an additional 19 contributors and 4 noncontributors to the resource count. To prepare this amendment, select portions of the prior nominations texts have been summarized, updated, and expanded upon, as needed.

Since its founding, El Encanto has remained a very unique, highly desirable community of upscale, attractive, well-designed residences and consistent landscaping in an unusual, formal, geometric subdivision. Built during several periods of development, residences in the neighborhood vary in style but the district maintains cohesion through its unique and consistent setting that contrasts with other nearby historic neighborhoods and standard grid developments. The neighborhood substance and character have changed little since the beginning.

The original nomination period of significance spanned the years 1929-1941. Most of the fifty-four contributors to that era were Southwestern Revivals. In 1993 and 1994, nine more contributors were re-evaluated and added. The 2002 amendment update addressed the years 1942-1952 and added an additional 32 houses. Exhibiting a shift in style, most of the thirty-two additional contributors were Ranch style with just a few Southwestern revivals. These styles marked the start of a period of rapid growth in Tucson that peaked in the decade between 1950 and 1961.

In both the original nomination and in the 2002 amendment, only buildings that had reached fifty years of age were evaluated for National Register eligibility. The 2002 amendment recognized that other buildings currently identified as non-contributors due to insufficient age might actually be contributors at a later date. The current nomination seeks to correct the problem of a constantly shifting period of significance, by establishing 1961 as the firm date of effective neighborhood buildout. As such, properties constructed between 1953 and 1961 that possess sufficient integrity to qualify for National Register listing are added as contributors to the district. Properties that were

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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

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El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

constructed between 1953 and 1961, but have not maintained the requisite integrity are classified as non-contributors. All other properties constructed after 1961 and identified as non-contributors in the original 1988 nomination remain as non-contributors.

The new resource count is as follows: 2007 Amendment: 23 resources (19 contributors and 4 non contributors). Complete District: 146 resources (115 contributors, 31 noncontributors.)

DESCRIPTION

In 1928, when the subdivision plat of El Encanto Estates was approved by the City of Tucson and Pima County, the subdivision was located in the desert east of the Tucson city limits and just west of where the El Conquistador Hotel was in the final stages of construction. El Encanto Estates was a modest-sized, 123-acre subdivision consisting of one hundred fifty-two lots ranging in size from .420 to 1.05 acres. The city began to grow up around El Encanto, and in the late 1960s, the El Conquistador was replaced by the El Con Shopping Center.

On three sides, Broadway Boulevard, County Club Road, and Fifth Street, once low traffic streets became thoroughfares of much higher density. El Encanto houses facing these streets have been impacted by increased traffic noise and, in response, a few masonry screen walls were built in the late 1990s. Within the neighborhood, however, this peripheral traffic is not a major annoyance. El Con Shopping Center was enlarged to include a sizable movie theater, a Home Depot and a Target store. Recently, in response to neighborhood pressure, the shopping center owners built a high, masonry screen wall to replace a lower one along Jones Boulevard at the eastern edge of El Encanto, to help protect the neighborhood. On the El Encanto side, a row of trees and shrubs helped screen the wall. The new development, however, was not close to El Encanto and the annoyance factor has been less than feared.

Thus, El Encanto remains a distinctive and cohesive neighborhood within its original boundaries. As discussed in the original National Register nomination for the district (Laird 1987) El Encanto's unusual Baroque Revival subdivision plan, prepared by the Engineering Service Corporation of Los Angeles and surveyed by Tucson engineer Paul E. Fernald, is the major element that defines its special character. This plan is anchored by a 200-foot diameter central park and circular street with six radiating streets extending out

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 3

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

to connect with an oval shaped ring road. At four of these intersections, short streets extend further out to connect with the major boundary streets, two per major street. The four north-south diagonal streets are connected at mid point by short, curving streets. On the east side of the neighborhood, five short streets extend east from the ring road to end in cul-de-sacs. The plan is not quite symmetrical, since variations in lot sizes and configurations have caused a few minor inflections in the street layout.

El Encanto's unique geometry has created a surprising variation in feeling. The radiating streets which end at the park have grand vistas, while the short curving streets seem informal and intimate. The streets ending at cul-de-sacs seem very private, and the oval-shaped ring road has an endless quality. Compared with nearby, more conventional neighborhoods, El Encanto has considerable variety but still maintains a strong sense of place and feeling of unity.

The El Encanto street layout has not changed since the neighborhood was established. Roadside edging and curbing are used throughout the neighborhood. Most of the residences, particularly those with a "Traditional" landscaping theme (see Section 8), have been developed with a brick or concrete curb at the property line. Where street palms are located close to brick edging, attractive brick tree wells encircle the trunks and connect to the edging.

Three houses in this group of contributors and non-contributors - #20, #110, and #118, have used brick in front walks, low planters and other hardscape elements. A few of the older houses have stone rubble curbing and a few houses have no curbs at all. El Encanto's pattern of curbing helps reinforce the feeling of neighborhood cohesion.

Likewise nearly all the lots, most of which are irregularly shaped, have not changed. Originally, there were more lots than exist now (189) and the 171 lots shown on the 1932 sales map have been reduced to 154 through lot consolidations. Most of these increases in lot size occurred along Broadway and Country Club Roads during the period of significance and only one or two have occurred since. These changes helped equalize the lot sizes throughout the neighborhood and, if anything, enhance the feeling of continuity which still exists today. There are now 146 occupied lots and 8 vacant lots in El Encanto.

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CONTINUATION SHEET**

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El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

Landscaping

The central park and street landscaping, early character-defining features, are even more pronounced now that the vegetation has matured. Planted at thirty-foot intervals, lofty Mexican fan palms (*Washingtonia filifera*) line the central park and its surrounding circular drive, Plaza del Encanto, plus Calle Encanto, the east-west anchor street. Lower but graceful date palms (*Phoenix dactylifera*) border the ring road, the entry streets and the cul-de-sac streets. Thus, the lower date palms visually draw one into the neighborhood and towards the central park where the tall Mexican fan palms emphasize the park's importance. A California landscape architectural influence, the planting scheme in this subdivision is unique to Tucson. It visually enhances neighborhood continuity and provides a strong, defined sense of place. At considerable expense to the neighbors, a water tank truck patrols the neighborhood weekly and irrigates all the trees.

The circular park, the neighborhood focal point, contains, in addition to a ring of fan palms, a collection of tall, mature saguaro cacti (*Carnegiea gigantea*) and other native vegetation. Among these plants are Mexican palo verde (*Parkinsonia aculeate*), acacia (*Acacia greggii*), creosote bush (*Larrea divaricata*), cholla (*Opuntia*), yucca (*Agavaceae*) and desert broom (*Baccharis sarothroides*). The smaller saguaros, prickly pears (*Opuntia engelmannii*) and creosote plants (*Larrea tridentata*) may have been transplants from early house sites. These plantings create a rich, deliberately-planted, "ideal" desert environment that does not truly represent the native Sonoran desert. The plantings in the central park have thrived and matured since the historic period, conveying strong integrity of feeling.

At first, most individual lots were landscaped with traditional schemes primarily of Eastern, Midwestern and California origin. [The California influence was less formal (see Section 8).] Bermuda grass lawns, well-trimmed, ornamental shrubs, bedding plants and mature shade trees were the principal features of these gardens. On very few lots only were native plants preserved and retained in their natural state. Later, imported desert vegetation was combined with existing native plants to create an idealistic representation of desert landscaping. These plantings were ornamental and uncharacteristic of natural desert growth patterns. In some yards, ornamental desert plantings have been mixed with tropical or Mediterranean zone plants to create a colorful, but not natural, eclectic landscape.

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CONTINUATION SHEET

Section 7 Page 5

El Encanto Estates Residential Historic District
Amendment
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In recent decades, the use of grass as turf has declined. While the original yard layout, shrubs and trees often remain, bare earth and decomposed granite replace grass and various combinations of desert, arid and tropical plantings have been introduced. Among the twenty-three houses added in this amendment, there are only four that have grass or partial grass front yards. Two have bare earth instead of grass and the remaining houses have one of the combinations noted above.

Additional Plants

In the current group of twenty-three houses, the following additional trees and shrubs are observed. There are a few non-native species with a characteristic California appearance, typical of planting in early Encanto yards, but other tropical, Mediterranean and desert plants are more common. [See Laird (1987) for the original list, prepared by landscape architect Walt Rogers in 1979.]

Trees

Magnolia (*Magnolia grandiflora*)
Chinese Pistache (*Pistacia chinensis*)
Japanese Yew (*Podocarpus macrophyllus*)
Desert Willow (*Chilopsis linearis*)
Acacia (*Acacia minuta*)
Banana Tree (*Michelia fuscata*)
Fan Palm (Sago palm)

Non-Native Plants

Lantana (*Lantana camara*, *Lantana montevidensis*)
Viburnum (*Viburnum tinus*)
Bougainvillea (*Bougainvillea brasiliensis*)

Desert Shrubs/Cactii

Ocotillo (*Fouquieria splendens*)
Desert Spoon (*Dasyliiron wheeleri*)
Texas Ranger (*Leucophyllum frutescens*)
Creosote (*Larrea tridentate*)
Yucca (*Yucca aloifolia*, *Yucca elata*)

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NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 7 Page 6

El Encanto Estates Residential Historic District
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Pima County, Arizona

Prickly Pear (*Opuntia engelmannii*, *Opuntia ficus-indica*, *Opuntia phaeacantha*, *Opuntia Santa-Rita*)
Century Plant (*Agave Americana*)

Most El Encanto houses have rear yards enclosed by patio walls which screen private, outdoor areas. These walls do not visually impact the streetscape. There are seven houses out of the total 146 houses (not among those proposed in the current amendment), however, which have front yards enclosed by walls. These houses, fortunately scattered throughout the neighborhood and not close to the central park, do not contribute to the prevailing feeling of openness. Eleven other houses at the edges of El Encanto and facing the arterial streets also have front yards enclosed by walls, but these properties do not relate visually to the interior neighborhood.

Most front yards in El Encanto continue to have an openness and relationship to the general streetscape. There is still integrity of feeling which conveys a sense of past time and place.

Deed Restrictions and Styles

The El Encanto Estates deed restrictions filed in 1929 remained in effect during the 1950s and early 1960s. They stipulated the architectural review of all plans by M. H. Starkweather, the overseeing architect. (In fact, Starkweather continued to review El Encanto's architectural plans until the 1970s.) Initially, the deed restrictions required all buildings to be upscale versions of the Southwestern Revival styles prevalent during the subdivision's founding. As the earlier styles become less fashionable, Starkweather reviewed and obviously accepted post-war Ranch and Modern styles. Like El Encanto's previous upscale residences, the new-style residences were designed for the elite by well-known, local architects.

Architectural Styles

The residences proposed at this time are Ranch, Split-level, Modern, Sonoran Revival and Neoclassical Eclectic. To identify dwellings, the authors employ generally or regionally accepted stylistic designations. This update includes style terms found in Virginia and Lee McAlester's *A Field Guide to American Houses* (1984). The McAlesters group Contemporary and Ranch under a common style "Modern," but

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NATIONAL REGISTER OF HISTORIC PLACES
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El Encanto Estates Residential Historic District
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Modern and Ranch are used independently in this amendment. Modern is the term also used in *A Guide to Tucson Architecture* (2002) by Anne M. Nequette and R. Brooks Jeffery. The term Sonoran Revival refers to a regionally-derived, Hispanic-influenced style that continued into the post World War II era. (See Section 8 for significance and descriptions of the styles.)

Ranch Style (1935-1970s)

Among the houses included in this amendment are thirteen Ranch style houses. Of these, the following ten are contributors.

5 E. Calle de Felicidad (#76): This house is a good representation of the Ranch style. The low-pitched, overhanging, hipped roofs, the residential-scaled, extended form, with its stepped back façade and projecting roof above the entrance porch, are features of the style. The grouped, steel casement and picture windows, the smaller ones with shutters, are also typical. The tan color palate, the tan asphalt shingles, with complimenting color highlights, the yellow ochre brick and the pinkish-tan trim color, are harmonious and attractive.

35 E. Calle de Felicidad (#77): This very gracious residence has the low, extended scale, low-pitched gable roof and exposed eave rafters typical of the Ranch style. In 1977 the house was elongated to the east in a scarcely noticeable, non-compromising fashion, leaving the major portion of the front façade in its original state. Also, at that time, the original, single carport was replaced by a double, side-facing garage on the southeast end of the residence. Not easily seen from the street, such discrete, side-facing garages are almost universal in El Encanto. This house exemplifies the correct way to modify an elegant, historic residence in this neighborhood.

75 E. Calle Resplendor (#125): This attractive, spreading, Ranch style house has a reverse "U-plan" with side wings that embrace a rear porch and terrace. The structural material is brick. Above the foundation wall is an ornamental, brick, soldier-course base. The gabled roof is clad in heavy, flat tiles of a slightly reddish-tan color with a ridge cap. The rafters are exposed and painted reddish-tan, close to the color of the roofing. The front façade has a long, side-gabled wing with a projecting, front-gabled wing at the west end. The gable has painted, horizontal wood siding to match wood trim elsewhere. East of the entry is a projecting, heavy, rectangular chimney.

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CONTINUATION SHEET

Section 7 Page 8

El Encanto Estates Residential Historic District
Amendment
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The main entry has an eight-panel, wood door painted red with flanking side lights of white-painted, wood frame with four lights each. There are black shutters for these side lights. There is a substantial wood lintel over this door, painted black. There are no exposed lintels over other openings. There is an array of steel casement windows of different sizes, the frames of which are painted black. The windows have either single-lights or two lights with a small upper light and a larger lower one, obviously an aesthetic choice of the architect.

The east or side façade, visible from Camino Miramonte, combines gabled ends with a side-gabled center. The original, projecting, gabled carport at the south end was converted to a family room with a fireplace in 1973-4 at which time a new, flat-roofed, double carport was added to its south. Later doors were added to convert this carport to a garage. The garage is built of brick to match the house. Likewise, wood trim is painted a matching reddish-tan. In 1995, an addition was built on the rear southwest end of the house. The alterations, which are either not visible from the street or on a side façade, do not compromise the integrity of this residence. Its front façade is original.

85 E. Calle Encanto (#28): Originally built for the Arizona Board of Regents to house the University of Arizona's president, this Ranch style residence exhibits a strong Spanish Colonial Revival influence. Extended in form, it is built on a corner lot facing two streets. The overhanging hipped roofs with open soffits and exposed rafter ends are covered with red mission tile. There is a slightly projecting, broad central wing containing the main entrance with a projecting hipped roof extension above. The house is faced with a light mortar-washed, soft, red-faced brick. Spaced, white steel, double-hung windows with black wrought iron grillwork punctuate the façade. A projecting brick chimney with inward corbelled sides and a corbelled brick cap is located beside the main entrance. A chimney with a similar cap penetrates the roof.

The broad, main entrance is slightly recessed and faced with screened, wrought iron grillwork. The entrance opening is framed with classically detailed, pre-cast concrete. A handsome brick wall with spaced, double corbels screens a front patio. This unaltered house retains its original appearance and conveys a strong sense of past time and place.

30 N. Camino Español (#132): This Ranch style house has a long, L-shaped plan, a low, residential scale and a low-sloping, gable roof with generous overhangs. The white rafters and tongue-and-groove wood siding are exposed in the eaves. The wood roof fascias and paneled garage doors are painted blue. The west, gable end is sheathed in

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white, diagonal siding while the east gable end, above the two-car garage, is faced with white, lapped siding.

A white, cornice board above the brick facing extends around the house. The north, entry-porch, wood columns are white with ornamented, bracketed capitals although the final, west column is brick. The small, west porch has similar bracketed capitals in a different design. White, steel casement windows with large, central, fixed lights are spaced along the façade. Within the front porch, the broad, blue, wood-paneled door with fixed-glass sidelights is centrally placed within an additional recess accented by a broad, white, concrete frame and decorative, wrought iron screen. To the right of the entrance porch is a large, bay window with fixed glass in white, steel frames. This house has traditional Ranch style features highlighted by cheerful, decorative details.

85 E. Calle Primorosa (#45): This inviting, Ranch style house is elongated in form, as is typical of the style. There is a recessed, central entry with a rectilinear bay window to the east. The residence is built of mortar washed brick. The roof is hipped and clad in asphalt shingles that are thicker than average. The eaves are boxed (without exposed rafters) and painted white, as are the fascia boards. White-painted, steel casement windows have white, fixed (ornamental) shutters. On the west side in front is a double, two-car garage separated from the house by a masonry wall. It was constructed at the same time as the house.

40 E. Calle de Amistad (#114): This large, Ranch style house has a low, residential scale with an extended, L-shaped plan facing two streets. It has a broad, overhanging, hipped roof with white-painted, wood fascias and a white plaster soffit. A feeling of horizontality is further emphasized by a broad, white, stucco cornice extending around the house. Continuous, brick, sill walls below windows and stone panels likewise reinforce a sense of lateral extension along the Calle de Amistad façade. Facing Calle Resplendor, a low, brick planter, adjacent to a central wall panel of stucco, creates a different, design focus.

Materials in this house are used decoratively. Contrasting with the structural brick are stone panels at each side of the recessed, main entrance, a stone panel between the windows facing Calle de Amistad, and the stucco wall panel facing Calle Resplendor. The primary windows have broad, fixed lights in white, steel frames with flanking, four-light sash. These windows are decorative elements as well.

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Apparently unaltered since its construction, the residence expresses excellent integrity and conveys a strong feeling of its early days in El Encanto.

25 N. Camino Español (#144): This small, Ranch style house expresses a Spanish Colonial Revival or Sonoran (Territorial) Revival influence. The gable roof has exposed rafters with carved ends and tongue-and-groove, wood, roof sheathing. The façade steps back to form a small, front porch and again to form a single-car carport. The porch and carport are supported by a continuous beam and posts with carved brackets, secured by ornamental steel straps. The soft-pink, mortar-washed brick has a random pattern of slightly projecting bricks. Regularly-spaced, steel casement windows (three lights each) have fixed-glass picture windows, sloping brick sills and wood lintels above.

The color scheme is tan/gray asphalt roof shingles, pale tan painted wood surfaces, soft pink steel casement windows, one steel casement window within the recessed porch where the wood shutters have pink stiles and rails and light green panels. The main entrance has a stained wood panel door with a pink frame. This unaltered house has good integrity and expresses the feeling of its original time and place.

25 E. Calle de Amistad (#106). This generous-sized, Ranch style house of natural brick has a low-sloping, overhanging, side-gabled roof with exposed rafters. Giving a rustic look to the house is the wood shake shingle roofing, the material used originally. There are two interior chimneys on the roof. The front façade has one small setback and a modest, recessed entry. The tan-painted, steel casement windows have aqua-colored, wood shutters. Matching aqua paint is used on the eaves. There is an attached, side-oriented garage on the east end of the house. A compatible, masonry carport and guest house have been constructed recently on the east and to the rear of the property.

20 E. Calle de Amistad (#115). This Ranch style house with a Southwestern influence has low-pitched, gabled roofs with two front-facing cross-gables, one of which occurs above a bay window with a shed roof cap. The roofs are surfaced with clay Spanish roof tile, a Southwestern influence. There are generous overhangs with exposed, timber rafters and tongue-and-grooved, wood sheathing. The house is generally a long rectangle in plan with a low, human scale. Along the front façade are spaced, paired, double-hung windows with wood shutters and one bay window with full glazing.

The recessed entry contains paired, wood-paneled doors with ornamental, wrought-iron, screened doors. To one side of the entry is a large, decorative panel of tan flagstone.

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Supporting the main cross beam of the porch is a slender, brick pier. The wood fascias, soffits and metal windows are painted a warm tan/gray that harmonizes with the red face brick and clay roof tile.

This unaltered Ranch style house expresses characteristic Ranch features and conveys its original integrity.

123 N. Camino Español (#164). This is an attractive, Southwest-influenced, Ranch style house of mortar-washed burnt adobe and white trim. Its Southwest traits include the masonry plus a mission-tile-clad, hipped roof. Eaves have exposed rafters. One slightly-projecting, front wing gives the house a cross-wing, L-shaped look. On the roof are two chimneys with corbelled masonry caps and painted metal spark arresters. Windows are painted steel casements. Typical of El Encanto Estates, the garage is located on the side and does not face the street. Here, the attached garage is on the northwest end.

Split Level Style (1955-1975)

Among the houses being included now are two Split Level style residences.

60 E. Calle Encanto (#110). This large, Split Level style house reveals its Ranch style ancestry. Its low-sloping, wood shake covered roof has generous overhangs and exposed rafters and tongue-and-groove board soffits. The second story roof above the west wing extends at the same height eastward to form a two-story high living room. Farther east, a one-story roof extends across the main entrance and secondary living areas and then intersects at the east end, a lower roof running south above a narrow wing and garage. Most of the house is faced with pink brick with complimentary tan-colored wood fascias and trim.

The house has well-executed design details. At the living room, large panes of fixed glass in steel frames flanked by board and batten panels extend two stories high. The wood cornice here has an arched overlay design. The same design appears on the cornice above the bay windows to the right of the main entrance farther east, within the east gable end and is repeated in the second floor wrought iron balcony railing and in the main entrance gates. The wrought iron gates to the west of the house contain a similar design. At the center of the front façade, rusticated brickwork frames the main entrance. The

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front façade is unaltered and thus expresses its original integrity. This house is an especially fine example of the Split Level style.

65 E. Calle Claravista (#68). This Split Level style house is a large, although simple, example of the style with little ornamentation. It has a slight L-plan in front with the front-gabled, upper-level, projecting wing on the east end of the side-gabled flanking wing. It is built primarily of brick, lightly mortar washed. The upper story portion is

frame clad in vertical board and batten. Wood siding, fascia and eaves are painted green. In this case the garage does not occupy the lowest level but is detached and located towards the rear of the property. Typical of this style, its gable roofs have deep, overhanging eaves with exposed rafters and board sheathing. Roofing is red, metal, faux Mission tile, recently installed.

The front entry is slightly recessed where the eave extends to shelter a small entry porch. The entry has a three panel wood door with narrow, flanking side lights and board siding.

In the northwest corner of the lot is a detached, partitioned, shed-roofed garage with small residential quarters at its east end. The garage faces south. At its west end is a higher unit, probably for a recreational vehicle. In the middle are two units for automobiles. The building is walled with brick to a height of 5'-6" and above with board-and-batten sheathing.

Modern Style (1940-1980)

Included in this amendment are three Modern style residences, among which are two excellent examples of the gabled and flat-roofed subtypes designed by well-known, local architects.

20 E. Calle Corta (#165). This distinctive Modern style house has a low sloping, modest overhanging hipped roof with a slightly battered wood fascia and plastered soffits. Its low, spreading profile has a human scale. The house expresses a Wrightian as well as a Ranch style influence. The beautiful cut ashlar/sandstone walls are organized in panels divided by large, fixed glass openings with occasional, rectangular metal grillwork. The concrete end panels have fine scale, vertical striations which complement the narrow coursing of the stone ashlar. The materials are harmonious so the beige tones are

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accented by the black-framed openings. This very attractive house and setting complement the neighborhood.

60 N. Camino Español (#98). This house is an unusual and creative Modern style example with a Neo-Territorial influence. The main features include painted, concrete masonry bearing walls with copings of molded, pre-cast concrete units. Spaced, concrete piers support concrete masonry parapets which create a gracious porch structure across the front façade, shielding the house from the west sun and creating interesting shadows.

The composition has a consistent, rhythmic appearance with interesting variations. Looking from the street from south to north, the concrete piers first form part of the garage wall, then become free-standing parapet supports as they step back a bay, then move north across the entry, two bays deep, then step back a bay, then move north again across the remainder of the façade, creating a porch one bay deep. The deeper porch area to the right of the entry is penetrated by a light well open to the sky with a fountain and a pleasant planting area below. Across the façade and centered on the bays are projecting windows, picture windows and the main, all-glass entrance. Looking through the house from the outside, one can see large, glass walls opening to the east and overlooking the garden area and swimming pool.

15 E. Calle de Amistad (#105). This Modern style house shows a Ranch style influence. Low-scaled and rectangular in form, the front façade has a recessed mid-section and the low-pitched, gable roof has generous overhangs with a battered, wood fascia and exposed framing within the eaves. At the recessed mid-section, there is a lower, flat roof which slides under the adjacent gable roofs and is partially supported by two angled metal braces attached to the fascia and anchored to the house. This flat roof has a textured, plywood soffit. The burnt adobe brick walls contain regularly-spaced, single-light, steel casement windows with operable and fixed sash. Window trim is painted light green.

Within the recessed mid-section, there is a recessed entry protected by a wrought iron gate framed in random rectangles, a Frank Lloyd Wright influenced pattern. The flush-surfaced, main entrance door is flanked by plastic-glazed sidelights divided by randomly spaced wood mullions. The obscure, white plastic panes here have a textured surface and contain a random pattern of encased autumn leaves. At the rear of the house, there are flat roofed sections protecting large areas of glass which face a swimming pool and garden terrace.

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This interesting house with its subtle design touches is unaltered and projects a strong feeling of its original time and place.

Sonoran Revival Style (1920s-1960s) (popularly called "Territorial Style")

There are two excellent examples of this style among the contributors of this update.

70 N. Camino Miramonte (#20). This residence is an elegant, elongated, one-story, Sonoran Revival style house in a tasteful setting. The property faces west. Built by Embassy Homes and the work of a skilled designer, the residence is somewhat unusual in its construction material and interesting, Modern style influences. The residence is built of a fine mortar washed brick rather than the typical, more rustic, burnt adobe commonly used for this style. There are exterior chimneys and an elaborated parapet of masonry with a cap and belt course of brick headers. The parapet steps up over the living room where there is a large, Modern-influenced wood window with vertical panes divided by 7 muntins. The front doorway is recessed and includes a pair of French doors.

Like most El Encanto residences, the garage zone is oriented to the side (south). The original double carport was located on the southwest corner of the residence. Its opening faced east and, when it was converted to a guest suite in 1972, the original, street-facing walls were not altered. The current 2-car garage plus a walled, connector patio were added at the southwest corner in 1972. Also, in the same year, a guest wing, separated by a small, walled patio, was added at the northwest end of the residence. Well over 51% of the original front (west) façade remains and the additions are very compatible. Thus, the residence retains sufficient integrity to convey its significance as an attractive, up-scale contributor to El Encanto Neighborhood.

15 E. Calle Belleza (#120). This appealing Sonoran Revival style house has an "H-plan" with central insets in the front and back to create inviting entrances. The structural material is burnt adobe (natural and not mortar-washed) and the parapets are capped with a pre-cast concrete cornice. In front, two flanking, projecting wings of unequal size frame the central, inset entry with its terrace and pergola supported on burnt adobe piers and pilasters. The pergola has a heavy timber, open-frame above. A small, rectangular, flat roof above the framing shelters the entry door zone. The front door is installed in a modest projection. Painted warm grey, this feature is multi-paneled with geometric-shaped sections, including a circle. House trim is also painted warm grey.

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Window sills are burnt adobe. Adjacent to the door on the south façade is a large, multi-light (8 per sash), steel casement picture window with a fixed central panel. Other windows have a tall profile and low sill height. They now contain double-hung windows of anodized aluminum; replacements of the original steel casements. Also, on the east and west sides of the house are single, unobtrusive bay windows, recently added. There are ornamental wrought iron grills, painted grey to match the trim, over the aluminum windows.

Neoclassical Eclectic Style (1950s +)

There is one example of the Neoclassical Eclectic style in this group of proposed contributors.

50 N. Camino Miramonte (#12). This Neoclassical Eclectic style house is a one-story, side gabled variant with an elevated, slightly-extending, central porch supported by slender, white, decorated, ironwork columns. The steep gable roofs above are sheathed with white asbestos tile. (The central portion to the rear is one-and-one-half stories high.) The house is faced with a reddish tan brick and trimmed with white wood millwork. Within the porch is a large, slightly-bowed, 48 light, picture window and a Georgian-detailed entrance door with a transom and sidelights. On each side of the façade are two white, wood, double-hung windows with shutters.

2007 Assessment of Integrity for El Encanto Estates Residential Historic District

[The following is based on guidelines from Ames & McClelland (2002) and National Register Bulletin No. 15).

Location: Following the National Register's seven qualities of integrity, El Encanto continues to exhibit very good historic integrity. Its original location has, of course, endured. The historic boundaries and interior street locations remain intact. In nearly all cases, there has been continuity in the size and shape of house lots. While the hotel grounds to the east have become a shopping center, the other boundary streets exist as

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major thoroughfares. Thus the same, easily accessible connections to nearby shopping areas, schools, the university and central business district have endured.

Design: The design of the El Encanto neighborhood with respect to its form, plan and spatial organization has remained constant since the period of significance. Its unique Baroque Revival plan, street layout and lot arrangement have remained constant. The essential neighborhood streetscape and planting features – the Central Park, the palms lining the streets, and the curbcuts- have been maintained and remain as originally designed.

While the early trees and shrubs have grown to maturity, the original grass lawns in most front yards have by now been replaced by a mix of low water use plants. However, the overall, original open character of the front yards, an attribute of the El Encanto streetscape to showcase the house, has not been lost.

The houses, too, have a quality of design which, today, seems unique. Created by some of Tucson's most talented architects, they are noteworthy examples of the architectural styles of their period. Several are outstanding examples and are individually eligible for National Register listing. Collectively, they are consistent in character and represent the personal tastes of home owners to shape their domestic environment. Importantly, they are the result of conformance to the guiding standards of deed restrictions and the watchful eye of the reviewing architect, as design review was mandated for the neighborhood until 1979. Since that time, there have been a few objectionable front walls added, extensive alterations done and obtrusive houses built. However, of the 120 properties within El Encanto (not facing the peripheral streets), approximately 87% retain their historic integrity.

Among the nineteen proposed, eligible nominees of the twenty-three houses currently inventoried for the 2007 amendment, seven houses have had alterations. Among the properties currently under consideration, façade alterations have been minor and involve the slight lengthening of one façade. Eight houses have had garage doors added to side-facing carports. (Due to the large size of El Encanto's lots, most historic property owners were able to enjoy the luxury of a discrete, side facing garage or carport. One has had garage doors added to a front-facing, historic carport. Three have had free-standing, front-facing garages added towards the rear of the site. These small-scale alterations conform to the SHPO Carport Integrity Policy and do not detract significantly from the historic character of the individual homes or the neighborhood.

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Setting: El Encanto maintains a good integrity of setting within its boundaries. The Baroque Revival plan itself, with its angled streets and extended vistas, continues to contribute strongly to the setting. The street palms, central park, curbing and the historic residences dating from the period of significance create a strong presence. Roughly a third of the yards retain either the Traditional or Desert themes dating from the period of significance. Most other yards retain at least some of their historic trees and shrubs. In the majority of the yards, however, while the driveway layout and curbing remains the same, the former grass turf has been replaced by bare earth, ornamental desert, Mediterranean or tropical zone landscaping. [This is due to the environmental need for water conservation (see Section 8)]. Grass turf formerly allowed for open viewing of the residence from the street and, in general, this open quality has been maintained. While the newer plantings detract from the integrity, El Encanto still conveys a strong sense of historic setting as a high-quality residential district with a unique plan, gracious, generous lots and fine, well-landscaped homes.

Materials: El Encanto exhibits a high degree of integrity of materials. The roadways and curbing are original as are the street palms and central park plants. Many of the yards retain plant materials dating from the period of significance, although changes have occurred, as noted above.

The introduction of post-World War II residences into the neighborhood has added a new vocabulary of materials. The earlier Southwestern Revival style residences had stucco walls, some of which had parapets and flat roofs. When not flat, roofs were pitched and clad in Mission tile. The construction materials used for the current set of contributing houses are appropriate to their styles. Wall surfaces are mostly brick or burnt adobe, with some stucco accents and ornamental stone facing. Roofing for flat roofs is composition built-up. Roofing for pitched roofs includes Mission tile, wood and asphalt shingles.

Non contributors have had changes, such as stucco sheathing over original brick. About 80% of El Encanto's construction materials date from the period of significance. However, only about 40% of the yards retain historic plants.

Workmanship: Integrity of workmanship is evident throughout El Encanto. Roadways and curbing have excellent workmanship. The plant materials in the park, along roadways and in the owners' yards have been planted and maintained in a competent and knowledgeable fashion. [For many years, El Encanto Estates Improvement Association

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provided garden services to owners. Unique in Arizona, this service afforded an unusual continuity of garden maintenance. (See Section 8.)] This tradition of quality gardening has continued.

The houses in El Encanto exhibit a consistently high level of craftsmanship in their construction. Throughout the neighborhood, houses are well-built, with well-designed and constructed details. With one or two exceptions, all houses are well-maintained.

Feeling: El Encanto expresses a strong feeling of past time and place. The cumulative effect of design, setting, materials and workmanship here is strong. The neighborhood reflects patterns of up-scale suburban life reminiscent of the 1930s, 1940s and 1950s, but in a unique way. El Encanto is a special place.

Association: Continued residential use and many community traditions help maintain the neighborhood's integrity of association. Of concern, however, is the fact that design covenants and deed restrictions have not been in force since 1979 and some alterations and new construction have detracted from neighborhood integrity. Another threat comes from liberalization of zoning regulations in the 1990s, allowing Tucson property owners to build improvements on a greater percentage of the lot. Like other neighborhoods, El Encanto now has its first over-sized house, a residence that is out of scale with the rest, built much closer to its property lines.

However, El Encanto is effectively built-out, and the deviations from historic design principles are few. Moreover, El Encanto has a strong and active neighborhood association and many concerned and dedicated home owners who care deeply about supporting and maintaining the neighborhood's integrity.

Non Contributors

Although they meet the age criterion, four among the current set of inventoried properties are non-contributors. The following have compromised integrity due to recent alterations and/or additions.

115 E. Calle Resplendor (#5): This attractive house is a Neo-Mediterranean style based on Spanish Colonial Revival precedents. Its façade has three elements – the western portion, most like the original house, has a pink stucco, parapet-walled façade with a

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stucco molded coping. There are two large, dark blue, steel casement windows (18 lights) with operable and fixed elements and with blue shutters.

The central portion has a visually-imposing, entrance feature in front of the original entry room projection. This feature is a sculpted, free-standing, Mission Revival influenced wall with an open porch behind its wrought iron gates.

The eastern portion of the façade appears beneath a broad, mission-tile-roofed porch extension. The windows here are the same.

The front façade of this house has been altered and no longer reflects its original appearance. Portions of the walls on each side of the central entry element are original, as is one adjacent wall portion within the east porch, but the other elements are not historic. Thus this house, while very attractive, does not have historic integrity.

Alterations include 1) double garage replaced original double carport on east side of house – 1975; 2) room added to northwest corner of house (1984); 3) double car garage converted to suite of rooms (1990); 4) carport added to east side of house, porches added to west, south and north sides of house; family room created in patio on south side of house; new entry with decorative front wall added in front of existing entry (1991); 5) north porch extended across northwest façade between 1991-1998; 6) carport removed, four-car garage built south of house; 7) bathrooms added within northeast and southeast roof lines (1998).

105 N. Camino Miramonte (#82): This residence is a basic, side-gabled, Ranch style building with a substantial, recessed entry porch (23' long). Its brick walls have been recently stuccoed in a heavy contemporary texture and painted white. The asphalt-shingled roof has exposed rafters. Protruding from the roof is a chimney with an elaborated, burnt adobe cap; an indication that the sheathed material of construction is burnt adobe. There is an incorporated, one-car garage on the south end of the house. Unusual for El Encanto Estates, this garage faces the street instead of the side. Along with other recent alterations to the house that compromise its integrity (front wall, stucco sheathing, replacement windows), the garage has a new door.

10 E. Calle de Amistad (#118): This Modern style residence has grown - Southwest-fashion - around its delightful entry courtyard. Its cross-gabled wings are capped by asphalt-shingle-clad roofs. The bricks are softened in appearance by a light mortar wash.

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The house has overhanging eaves with exposed rafters, painted brown. Otherwise, the house trim is an aqua blue. Within the courtyard, a vine-covered, open-frame trellis leads to the main entry. The door is custom made with three sheet copper panels between the wood stiles and rails. This assembly has black through-bolts and a wrought iron handle. The windows of the original portion of the house are steel casement while those of the additions are wood frame, strip and picture. Strip windows occur on the front façade of the east and west wings, giving the house its Modern appearance.

In 1972, the house was enlarged by a north and east addition to the original east wing. Also, the first and second carports on the west wing were converted to interior rooms while a third carport was added to the northwest end. The second carport had a "grill" of open brickwork on the north wall. This brickwork remains although it was plastered on its inner face to create the room within. A wood frame strip window was added as well as painted composition siding to its north-facing gable. The third carport has north and south walls of open brickwork to match the earlier technique. These changes, while very compatible, are extensive. Thus, it is recommended that the residence be considered non-contributing.

12 N. Camino Español (#134): This spread-out, Ranch-style house has a simple, nearly rectangular plan with a slightly recessed entry. The roof is clad in asphalt shingles with a clay tile ridge. There are ornamental security grills, painted rust brown, over the recessed, main entry and aluminum sliding windows. Apparently there was once a garage on the south end (a side end). Its opening was later bricked in around a French door.

In 2004, an obtrusive, attached, front-gabled portico supported by four, cast concrete columns, was added to the front of the house. Its gabled end is clad in grooved plywood (T-1-11), painted brown to match the trim on the house. It has a white painted, textured drywall ceiling. A detached, gabled brick guest house with a shed extension is located near the southeast end of the house. It, too, appears to be a recent construction that replaces an earlier building in the same location. The garden walls are also recent.

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Resource Classification

Current Amendment

Inventory #	street #	street name	date	National Register Status			reason
				1987	2002	2007	
5	115	E. Calle Resplandor	1955	nc	nc	nc	integrity
12	50	N. Camino Miramonte	1955	nc	nc	c	
20	70	N. Camino Miramonte	1958	nc	nc	c	
28	85	E. Calle Encanto	1953	nc	nc	c	
45	85	E. Calle Primorosa	1954	nc	nc	c	
68	65	E. Calle Clara Vista	1958	nc	nc	c	
76	5	Calle De Felicidad	1953	nc	nc	c	
77	35	Calle De Felicidad	1953	nc	nc	c	
82	105	N. Camino Miramonte	1957	nc	nc	nc	integrity
98	60	N. Camino Espanol	1961	nc	nc	c	
105	15	Calle De Amistad	1957	nc	nc	c	
106	25	Calle De Amistad	1955	nc	nc	c	
110	60	E. Calle Encanto	1955	nc	nc	c	
114	40	Calle De Amistad	1954	nc	nc	c	
115	20	Calle De Amistad	1956	nc	nc	c	
118	10	Calle De Amistad	1956	nc	nc	nc	integrity
120	15	E. Calle Belleza	1955	nc	nc	c	
125	75	E. Calle Resplandor	1953	nc	nc	c	
132	30	N. Camino Espanol	1954	nc	nc	c	
134	12	N. Camino Espanol	1955	nc	nc	nc	integrity
144	25	N. Camino Espanol	1954	nc	nc	c	
164	123	N. Camino Espanol	1959	nc	nc	c	
165	20	E. Calle Corta	1953	nc	nc	c	

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All Properties

Inventory#	street #	street name	1987	2002	2007
1	16	E. Camino Miramonte	nc	c	c
3	3327	E. Broadway Blvd.	nc	c	c
4	3339	E. Broadway Blvd.	nc	c	c
5	115	E. Calle Resplandor	nc	nc	nc
6	105	E. Calle Resplandor	nc	c	c
8	95	E. Calle Resplandor	nc	c	c
10	30	N. Camino Miramonte	c	c	c
10A	14	N. Camino Miramonte	vacant	nc	nc
11	40	N. Camino Miramonte	nc	nc	nc
12	50	N. Camino Miramonte	nc	nc	c
13	90	E. Calle Resplandor	c	c	c
14	110	E. Calle Resplandor	c	c	c
16	30	E. Calle Mirasol	c	c	c
17	20	E. Calle Mirasol	nc	c	c
19	60	N. Camino Miramonte	nc	c	c
20	70	N. Camino Miramonte	nc	nc	c
21	15	E. Calle Mirasol	nc	c	c
23	25	E. Calle Mirasol	c	c	c
24	100	E. Calle Encanto	c	c	c
26	90	E. Calle Encanto	c	c	c
27	80	N. Camino Miramonte	c	c	c
28	85	E. Calle Encanto	nc	nc	c
31	95	E. Calle Encanto	c	c	c
33	20	E. Calle Conquista	c	c	c
34	14	E. Calle Conquista	nc	nc	nc
35	100	N. Camino Miramonte	c	c	c
37	110	N. Camino Miramonte	nc	nc	nc
39	15	E. Calle Conquista	c	c	c
40	100	E. Calle Primorosa	nc	c	c
41	90	E. Calle Primorosa	c	c	c
42	80	E. Calle Primorosa	nc	nc	nc
43	55	E. Calle de Felicidad			nc
44	130	N. Camino Miramonte	c	c	c

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Inventory#	street #	street name	1987	2002	2007
45	85	E. Calle Primorosa	nc	nc	c
47	95	E. Calle Primorosa	nc	c	c
48	3356	E. 5th St.	c	c	c
49	3342	E. 5th St.	c	c	c
51	140	N. Camino Miramonte	c	c	c
52	145	N. Camino Miramonte	nc	c	c
53	3284	E. 5th St.	nc	c	c
54	3270	E. 5th St.	nc	c	c
55	3256	E. 5th St.	c	c	c
56	3242	E. 5th St.	c	c	c
58	3228	E. 5th St.	c	c	c
59	5	E. Calle Clara Vista	nc	c	c
60	140	N. Camino Espanol	c	c	c
63	25	E. Calle Clara Vista	c	c	c
65	35	E. Calle Clara Vista	c	c	c
66	45	E. Calle Clara Vista	nc	nc	nc
67	55	E. Calle Clara Vista	c	c	c
68	65	E. Calle Clara Vista	nc	nc	c
69A	75	E. Calle Clara Vista	nc	c	c
69B	135	N. Camino Miramonte	nc	nc	nc
70	75	E. Calle Primorosa	c	c	c
71	50	E. Calle Clara Vista	c	c	c
72	40	E. Calle Clara Vista	c	c	c
73	30	E. Calle Clara Vista	nc	c	c
74	20	E. Calle Clara Vista	c	c	c
75	10	N. Camino Espanol	nc	c	c
76	5	Calle De Felicidad	nc	nc	c
77	35	Calle De Felicidad	nc	nc	c
78	55	Calle De Felicidad	vacant	vacant	nc
79	65	E. Calle Primorosa	nc	c	c
80	115	N. Camino Miramonte	nc	c	c
81	60	E. Calle Primorosa	nc	c	c
82	105	N. Camino Miramonte	nc	nc	nc
83	95	N. Camino Miramonte	c	c	c
84	55	E. Calle Encanto	c	c	c
85	45	Plaza Del Encanto	c	c	c

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Inventory#	street #	street name	1987	2002	2007
86	30	Calle De Felicidad	nc	c	c
87	20	Calle De Felicidad	nc	nc	nc
88	10	Calle De Felicidad	c	c	c
89	35	Plaza Del Encanto	nc	c	c
91	100	N. Camino Espanol	nc	nc	nc
92	98	N. Camino Espanol	nc	nc	nc
93	5	E. Calle Encanto	nc	nc	nc
94	83	E. Calle Resplandor	nc	nc	nc
95	15	E. Calle Encanto	nc	c	c
96	25	Plaza Del Encanto	nc	c	c
97	10	E. Calle Encanto	c	c	c
98	60	N. Camino Espanol	nc	nc	c
99	50	N. Camino Espanol	nc	c	c
100	25	E. Calle Primorosa	nc	nc	nc
101	20	E. Calle Encanto	nc	c	c
102	35	E. Calle Primorosa	c	c	c
103	40	Plaza Del Encanto	c	c	c
105	15	Calle De Amistad	nc	nc	c
106	25	Calle De Amistad	nc	nc	c
107	65	E. Calle Resplandor	nc	c	c
108	60	E. Calle Resplandor	nc	c	c
109	50	Plaza Del Encanto	nc	c	c
110	60	E. Calle Encanto	nc	nc	c
111	70	E. Calle Encanto	c	c	c
112	75	N. Camino Miramonte	nc	nc	nc
113	55	N. Camino Miramonte	nc	c	c
114	40	Calle De Amistad	nc	nc	c
115	20	Calle De Amistad	nc	nc	c
117	14	Calle De Amistad	nc	nc	nc
118	10	Calle De Amistad	nc	nc	nc
119	10	E. Calle Primorosa	nc	c	c
120	15	E. Calle Belleza	nc	nc	c
121	25	E. Calle Belleza	c	c	c
122	35	E. Calle Belleza	c	c	c
123	45	E. Calle Belleza	c	c	c
124	55	E. Calle Belleza	nc	nc	nc

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Inventory#	street #	street name	1987	2002	2007
125	75	E. Calle Resplandor	nc	nc	c
126	50	E. Calle Belleza	nc	c	c
128	30	E. Calle Belleza	c	c	c
130	20	E. Calle Belleza	c	c	c
132	30	N. Camino Espanol	nc	nc	c
134	12	N. Camino Espanol	nc	nc	nc
136	3227	E. Broadway Blvd.	nc	c	c
137	3245	E. Broadway Blvd.	nc	c	c
138	3251	E. Broadway Blvd.	c	c	c
140	3263	E. Broadway Blvd.	c	c	c
141	15	N. Camino Miramonte	c	c	c
144	25	N. Camino Espanol	nc	nc	c
145	35	N. Camino Espanol	c	c	c
147	45	N. Camino Espanol	nc	c	c
148	10	E. Calle Portal	c	c	c
149	142	N. Country Club Rd.	c	c	c
151	128	N. Country Club Rd.	nc	nc	nc
156	55	N. Camino Espanol	nc	nc	nc
158	75	N. Camino Espanol	nc	nc	nc
160	85	N. Camino Espanol	c	c	c
161	95	N. Camino Espanol	nc	c	c
162	109	N. Camino Espanol	nc	nc	nc
164	123	N. Camino Espanol	nc	nc	c
165	20	E. Calle Corta	nc	nc	c
166	10	E. Calle Corta	c	c	c
167	442	N. Country Club Rd.	c	c	c
169	414	N. Country Club Rd.	c	c	c
171	342	N. Country Club Rd.	c	c	c
172	328	N. Country Club Rd.	nc	c	c
173	314	N. Country Club Rd.	c	c	c
174	300	N. Country Club Rd.	nc	nc	nc
175	228	N. Country Club Rd.	c	c	c
176	15	E. Calle Portal	nc	nc	c
179	15	E. Calle Corta	nc	nc	nc
180	135	N. Camino Espanol	nc	nc	nc
181	139	N. Camino Espanol	nc	nc	nc

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Inventory#	street #	street name	1987	2002	2007
183	145	N. Camino Espanol	c	c	c
185	582-588	N. Country Club Rd.	nc	nc	nc
186	542	N. Country Club Rd.	c	c	c
188	528	N. Country Club Rd.	c	c	c
189	5	E. Calle Corta	nc	nc	nc

The bold text indicates properties reassessed for the the 2007 amendment.

8. Statement of Significance

Applicable National Register Criteria

(Mark "X" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations

(Mark "X" in all the boxes that apply.)

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or a grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

Community Planning and Development
Architecture

Period of Significance

1929-1961

Significant Dates

1929

Significant Person

(Complete if Criterion B is marked above)

Cultural Affiliation

Architect/Builder

Various (See Section 8)

Narrative Statement of Significance (Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested.
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

El Encanto Neighborhood Archives, Arizona Historical Society, Tucson AZ

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SUMMARY

This amendment to the El Encanto Estates Residential Historic District covers the post World War II residences built in the neighborhood during a decade of unprecedented growth in Tucson, from 1950 to 1961 and expands the historical context of community planning and development in Tucson during these years (Criterion A). Tucson's phenomenal population growth spawned miles of new development and filled in older neighborhoods like El Encanto that had unimproved lots between the earlier houses. The houses built during this era added significantly to the buildout of this remarkable, show place subdivision.

The residences being added are also significant under Criterion C at the local level. Primarily they are excellent examples of prevalent post-World War II modern styles, the Ranch, Split Level and Modern, with a few, regionally-appropriate, Sonoran Revival residences included. All were designed by prominent Tucson architects. While the deed restrictions, in effect since 1929, required careful architectural review of a stylistic repertoire limited to pre-war Southwestern Revivals, the overseeing architect clearly welcomed the new styles. The result was an eclectic mix of styles unified by exceptionally high quality design work.

Period of Significance

The amended period of significance is 1929 to 1961. The year 1929 marks the year of founding of El Encanto Estates while 1961 marks a hiatus in construction and is construed as a logical buildout date for the neighborhood. Buildings constructed after 1961 postdate the developmental pattern of the neighborhood and represent either infill of vacant lots or redevelopment of a lot that had possessed another building.

Historic Background

As elsewhere in the United States, the end of World War II in 1945 brought about change to virtually every aspect of life in Tucson and southern Arizona. The ensuing decade of the 1950s culminated in a period of unprecedented development and growth in Tucson and Pima County that has not been matched since.

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In 1945, the Pima County Board of Supervisors established the Post War Planning Board to help manage needed infrastructure improvements, such as housing development, that had been postponed during the War. Likewise, civic leaders realized that the lifting of national restrictions on travel, building materials and other war-required products would result in a surge of new development.

Wartime exposure of G.I.s to southern Arizona helped fuel the influx of population. Returning veterans and the resultant baby boom required new housing and a large scale building explosion occurred. Whereas most of the building took place on formerly undisturbed land, considerable infilling in existing neighborhoods, like El Encanto Estates, took place as well.

A broad array of city, county, state and federal initiatives were promulgated in the late 1940s and throughout the decade of the 1950s to address problems created by this post-war population influx. These initiatives helped smooth the transition of Tucson from a relatively small community of nearly 45,500 in 1950 to one a decade later of nearly 213,000.

To control and direct development, in 1949 the Arizona Legislature established zoning authority in the state's two largest counties, Maricopa and Pima. Pima County created a commission to monitor and approve planning within the county, especially for those portions surrounding the City of Tucson. A county zoning plan was approved by voters in 1953.

Another aspect of development control related to annexation which was aggressively pursued by city officials between 1952 and 1960. During this period, 61.4 square miles were added to the City of Tucson. (El Encanto Neighborhood was annexed in 1947.)

Also during the 1950s era of population growth, the University of Arizona began a long term program to expand its facilities. This involved not only expansion into surrounding neighborhoods with considerable demolition of housing, but also the acquisition of a lot in the prestigious El Encanto Neighborhood for the University president's house.

El Encanto Neighborhood During the 1950s Decade

During this era, not long after El Encanto's annexation to the City in 1947, a growth spurt occurred ensuring that many of its remaining vacant lots were improved. Nearby

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attractants to the El Encanto Neighborhood remained the El Conquistador Hotel to the east and Randolph Park to the southeast. Public schools that served El Encanto were located west of the neighborhood near the University. The schools included Sam Hughes Elementary, Mansfeld Junior High and Tucson High School. (Diamos & Jacome 2006.)

The deed restrictions of 1929 (Laird 1987) remained in effect at this time and they fostered a subdivision that developed into one of the showplaces of the West. A very significant prelude to this era was the formation in 1947 of a neighborhood association by the property owners of El Encanto Estates, when El Encanto was annexed to the City. Encanto Improvement Company, an Arizona non-profit corporation, was founded to afford "a means of cooperation and concerted action in matters of local interest which affect the community of El Encanto Estates, Tucson, Arizona, and vicinity". The improvement company had its own office building on the northeast corner of Country Club Road and E. Fifth Street. This building no longer stands. (Diamos & Jacome 2006.)

Governance of the Association was by the Officers and Board of Directors, nine men who volunteered to meet monthly "to discuss matters pertaining to police and fire protection, health, highway maintenance and improvement, planning, City Government, pest elimination, zoning, planting, maintenance of street and boundary signs." The work of the Association was made possible by the payment of annual dues by residents.

The Association offered a generous array of services. Without charge, residents could ask for consultation on gardening matters. Under the Superintendent's supervision, the Association provided experienced gardeners who could be hired for a minimum of four hours to undertake such tasks as mowing lawns, planting winter lawns, etc. Garden and lawn soil, tested by the University of Arizona, could be purchased through the Association.

Property owners were also welcome to employ the Association's collection system for the disposal of garbage and rubbish. The Association assisted with the maintenance of vacant properties, keeping the grass and shrubbery in order. It was responsible for watering and maintenance of the street palms and park cactii. Likewise, the Association saw to nuisance abatement against barking dogs, stray cats, conspicuously hung laundry, juvenile offenders, etc. A dark-to-dawn night watchman service was provided. Regular service included general watchman duties while special service included security of properties during an owner's absence.

Architectural Development from 1950-1961 in El Encanto Estates

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Site Landscaping

According to landscape architect Walt Rogers, whose report (Rogers 1979) formed the basis of the landscape discussion in the 1988 nomination, El Encanto's formal, geometric subdivision plan had roots in the City Beautiful, a nation-wide movement occurring during the first decades of the twentieth century. With respect to El Encanto's street landscaping and individual property site development, however, the influence was strongly Californian or Eastern/Mid-western. The California influence was found in the use of Mexican fan palms and date palms as street trees. Also common to southern California were plants used in individual yards and gardens like the California pepper tree, citrus trees, sour orange, eucalyptus, glossy privet, olive and Bermuda grass. Mixing these plants in an informal fashion was typical of the early "California School of Landscape Architecture." This informality contrasted with the eastern and mid-western use of plants in a more formal and architectural way, a trend also found among some El Encanto properties (Rogers 1979). The use of lawn as turf was typical for nearly all properties.

According Patsy Waterfall, a landscape architect and El Encanto resident from 1941 to 1957, from the time El Encanto was founded (1929) up to the years just beyond 1987, front yard treatment fit into two general categories: "Traditional" and "Desert." Nearly all properties had the Traditional type.

Traditional: The typical, El Encanto front yard had a semi-circular drive, clad either in asphalt pavement or gravel, with grass in the "island" and between the house and drive. Lawns were typically Bermuda grass, often over-seeded with winter rye after the hot season had passed. Masonry or concrete curbing around the drive and island was typical. Each street palm had a well and faucet that was turned on by gardeners hired by the El Encanto Improvement Company (after 1947). Within the well of each palm, annuals like petunias were planted. In addition, near the house would be a typical California-style, informal mix of plants including olive, citrus and California fan palm, or an Eastern/Midwestern-inspired formal mix of trimmed plants. At that time Tucson nurseries imported plants from California. (Waterfall 2006.)

Desert: Far less common was the desert landscaping found (and still existing) on properties like the Ellingwood House (built in 1929) at 40 E. Calle Claravista. While not strictly "natural," it was the closest thing to what was here prior to the subdivision build-

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out. Plants like creosote bush, mesquite, barrel and prickly pear cactus in raked, bare soil without ground cover, were typical. These properties typically lacked curbing. Some El Encanto owners with meticulously groomed lawns disapproved of the desert landscaped properties (Waterfall 2006).

Harlow's Nursery: For many decades, the plant nursery of choice for El Encanto residents was Tucson's upscale Harlow's Nursery (Waterfall 2006). John M. Harlow was a landscape architect who discovered Tucson in the late 1930s while seeking a winter business site for the landscape architecture and contracting business he set up in Duluth, Minnesota.

The following information is from *Tucson: Portrait of a Desert Pueblo* (2001) by John Bret-Harte. In 1939 Harlow operated a landscaping business from an office in the Old Pueblo Patio at 40 W. Broadway Boulevard. The business later relocated to 89 East Alameda. In the 1940s the Harlows purchased some property on E. Pima Street, set up a Quonset hut and grew their own plants. In 1952, Harlow opened a retail location at 3815 E. Broadway Boulevard, just east of El Encanto's neighbor, the El Conquistador Hotel (Bret-Harte 1980). (The Harlow family lived just north of the nursery in the El Montevideo Neighborhood.)

Around 1957 the Pima Street location became the company's sole outlet and remains so today. At that time Harlow's wife, Mary Louise, became actively involved with the business and she managed a flower shop on the premises. The business was then known as Harlow's Nursery & Flowers. Harlow, who wrote a "Weekend Gardener" column for the *Tucson Citizen* for ten years, was a member of the city planning and zoning commission.

Through the years, John M. Harlow and Associates Landscape Architects was the professional arm of the business, specializing in residential and commercial landscape design. The other portion of the business, Harlow's Landscape and Nursery Center, took in retail, landscape contracting and horticultural maintenance operations. Harlow's currently operates under the name Harlow Gardens. Harlow's has won seventy five major local, state and national awards for landscaping excellence.

After a severe drought of 1977, the Harlows saw their Tucson customers develop an interest in desert and indigenous plants. To educate them, the company set up an

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experimental water-saving garden comprised of native plants with a drip irrigation system.

Drought and the Xeriscape Movement

The drought of 1977 across California, the Great Plains, and the Rocky Mountains underscored a need to seriously rethink assumptions about endless supplies of fresh water for landscapes in these parts of the United States. Coined from the Greek word *xeros*, meaning “dry,” and *landscape*, the word “Xeriscape” was created in 1981 by a task force of members of the Denver Water Department, Colorado State University, and the Associated Landscape Contractors of Colorado to focus on a creative new way to look at landscaping through water conservation. The aim was to publicize ways to reduce water use without sacrificing the quality of surroundings. In 1986 the trademark was given to the National Xeriscape Council, Inc. (NXCI), a nonprofit organization founded to promote the integrity of Xeriscape landscaping. (Ellefson et. al. 1992: preface).

Whether practiced by professional landscape architects, landscapers or ordinary home owners, the principles of Xeriscape landscaping inspired a movement throughout affected parts of the United States. Xeriscape was meant to show how dramatic decreases in landscape water usage could be achieved with no sacrifice in beauty. Quite simply, the outdoor environment created around the home needed to echo the natural world of the region. Emphasis was on the use of plants that required only the amount of rainfall available in a region, either by using native plants or plants adapted to an area’s level of natural rainfall. Water-conservation with drought tolerant plants could dramatically reduce from 20% to 80% of a property owner’s landscape water use. (Ellefson et al. 1992: 3-6.)

Current Site Development in El Encanto

The Xeriscape movement is now very evident in El Encanto. Currently, a homeowner watering a lush, Traditional landscape with an expansive lawn and a pool might pay a monthly water bill in excess of \$700. For economic and environmental reasons, most property owners have now switched to water conserving, front yard landscaping. The Traditional landscape, still the norm when the 1987 nomination was written (Laird 1987: 7:23) is now in the distinct minority. With respect to the front yard, this process of conversion has meant retention of the driveways, well-established trees and shrubs,

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including the street palms, but removal of lawns. It has also meant retaining existing desert landscaping where found.

Currently El Encanto's individual sites fit into a "continuum" of landscape treatment. At the extreme ends are the original Traditional (heavy water use, green lawn type) and Desert (minimal water use, native plant type) with several variations in between. We have substituted the word "traditional" for "formal," the term used in the first National Register nomination (Laird 1987). While El Encanto's plan is formal and many of its individual properties have symmetrical, circular driveways, the orderly, regular layout of plants that the term implies has never been typical.

Among the properties currently being assessed for this nomination update, landscape treatments fit into the continuum in the following fashion. The Traditional type with grass can be found in only two properties. Near this end of the spectrum is the Traditional type minus grass (a wise Xeriscape practice since lawn-like turf is the highest user of applied water in a landscape.) The original site layout, mature trees, shrubs and curbing remain, but former turf areas now feature bare earth, decomposed granite or gravel with no additional plants.

Next, and most common, are properties that retain the Traditional site layout minus lawn to which ornamental desert plants in the former turf area have been added. Deliberate plantings may include varieties of cacti and shrubs like barrel, prickly pear, ocotillo and yucca. Another site variant has ornamental desert mixed with tropical or Mediterranean plants (like palms, olives, and rosemary) in the turf zones. Near the "Desert" end of the continuum are those properties with Traditional site layouts, no lawns plus a mix of deliberately planted desert species and native plants like creosote bush and mesquite. Among this set of properties, there is no true Desert layout.

A few of the properties have been re-landscaped recently and no longer retain the original, Traditional layout. These properties tend to have generous zones of hardscape, either of paving brick or large aggregate concrete, an array of colorful, low-water-use plants and decomposed granite ground cover.

Typically, front yard landscape design in El Encanto does not appear to be the work of licensed landscape architects. During the early years, since most properties had the Traditional site layout with Bermuda grass lawn, the owner's task was to select a mix of plants to complement this. Early photographs show simple landscaping, probably

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reflecting the owner's taste with some guidance and plant selection from the Association and/or Harlow's. Recent re-landscaping appears to be the work of landscape contractors. As has been the case throughout history, nearly all gardens are carefully maintained. Now, however, owners hire their own gardeners because there is no longer an improvement corporation to provide them. As mentioned, street trees are watered by tank trucks from an irrigation service.

It must be emphasized that water conservation at the individual property level is absolutely necessary and does not compromise the open, gracious feeling of the El Encanto housescape. At this time, no responsible landscape architect or landscape contractor would specify a high-water use design in Tucson and the typical Tucson client has become water savvy through public education.

The Residences

As discussed in the first nomination (Laird 1987), most properties built in El Encanto from 1929 until the outbreak of World War II were Southwestern Revivals, very much in vogue during the first decades of the 20th Century. The deed restrictions had required that these homes be excellent examples of "Moroccan, Spanish, Italian, Mexican, Indian or Early Californian Architecture." M. H. Starkweather, the hired, overseeing architect had approved all plans. The update of 2000 (Corney 2000) documented the introduction of the post-World War II modern styles as well as the continuity of earlier styles in the neighborhood. The current, proposed additions to the district exemplify an intensification of the trend to introduce modern styles and a diminution of revivalism.

In El Encanto and elsewhere in the nation, most domestic building ceased during the war years. When construction resumed in 1946, there was a strong tendency to favor variations of the modern styles. In Tucson the predominant post-World War II residential styles were, in order of magnitude, the California Ranch (reflecting southern Arizona's historic and economic ties to California) and the Modern. In a less pronounced fashion, revivalist architecture, especially that based upon Hispanic precedents, like Sonoran Revival, continued to be built in Tucson and Pima County subdivisions.

Throughout the West, by far the bulk of post World War II Ranch and Modern style houses were contractor-built in vast grid subdivisions providing decent, middle-class housing for the burgeoning population. Influenced by the FHA, which imposed design standards to ensure building value, housing of this era blended an open interior plan,

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space for new, modern appliances and new storage facilities and provisions for outdoor living. The prototypical California Ranch and Modern style houses incorporated these features and conformed well to the FHA guidelines.

In the continuum of architectural production, however, Ranch and Modern were not just expressions of popular culture but also very much part of the vocabulary of the academically trained architect designing for the elite. During the 1950s, M. H. Starkweather, who remained El Encanto's overseeing architect until 1979, approved and designed houses in the post World War II styles. Nearly all of these El Encanto residences were architect-designed.

Ranch Style

The Ranch style originated in California in the 1930s and gained popularity in the 1940s to become the dominant style throughout the country during the 1950s and 1960s. Likewise, it was popular in Tucson. The style is based loosely on early Spanish Colonial precedents modified by certain early 20th century Craftsman and Prairie School influences. It is also based partly on the forms of early indigenous west coast ranch and homestead architecture.

Frank Lloyd Wright's architectural explorations in his Prairie houses of the early 1900s fostered a residential revolution that enabled the Ranch to be born. His work abandoned historical reference, simplified rooflines and opened interiors to light and view. Other architects followed Wright's lead. The Ranch style first appeared in the work of a few creative southern California architects, particularly a Wright admirer, Cliff May, whose large, one-story, timber-framed houses with massive stone chimneys and broad, overhanging gable roofs were widely published in luxury home magazines.

The style remained a regional phenomenon until the end of World War II. A great demand for housing occurred after the Second World War, when the home-building industry expanded and large tracts of land in suburban areas were developed. The increased use of the automobile and improved highway systems made suburban living possible. The Ranch style, with its simple forms and minimal ornamentation, was practical for large scale construction. Spreading Ranch style houses required wider lots, not so available within cities but possible in the new subdivisions, where attached carports and garages further increased façade widths.

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The Ranch style appealed to a certain pioneering spirit that developed then, as young veterans and their families moved into new homes outside the old cities. The style suggested rural living and the frontier of the old West.

The Ranch style is expressed by broad one-story buildings with low-pitched roofs in hipped, cross-gabled or side-gabled forms. There is a conscious attempt to express the horizontal. Eave overhangs usually are generous, often with rafters exposed. Recessed front entrance porches shaded by the overhanging eaves are common. There is generally an integral garage or carport and inside the house, the floor plan is designed to be more suitable for contemporary living. Wood and brick wall surfaces with spaced ribbon and picture windows, usually the steel casement type, and sometimes with shutters, are typical. Such grouped windows usually occur under overhangs. Although there are generally few decorative exterior details, sometimes touches of traditional Spanish or English Colonial detailing are used, particularly in the later stages of the style. Decorative iron or wooden porch supports are typical, and private courtyards or rear patios are common features.

In the Southwest, the Sonoran style influence is recognizable as well as responses to the desert climate. Frequently seen are burnt adobe brick walls, sometimes with touches of decorative brickwork, as well as stucco-faced walls. Also common are blank walls facing the solar exposure to the east or west. Masonry bearing wall construction is the norm, and the use of exposed wood, easily damaged by the southwestern sun, is minimized.

Split Level Style

This style developed during the 1950s as a multi-story variant of the prolific Ranch style emphasizing the horizontal lines, low pitched roof and deep, overhanging eaves. However, the split-level introduced a two-story unit intercepted at mid-height by a one-story wing to make three floor levels of interior space. Very common is the L-plan with the projecting wing containing the upper level. Typically, there can be a variety of wall cladding, often mixed in a single house. Decorative detailing can be regional in nature. In the Southwest, materials like burnt adobe can be used. Among the houses added as contributors in this amendment are two Split Level style residences.

Modern Style

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Modern architecture developed from a number of roots in the late 19th and early 20th centuries. There was a need for new building types, a growing development of new technologies and materials, and a desire for more practical and beautiful building design.

Changes were seen in the work of Wagner, Berlage, Behrnes and McIntosh in Europe, in the English Arts and Crafts movement and in the buildings of Sullivan and Wright in the United States. Wright's outstanding work became known in Europe through the 1911 edition of a publication called the *Wendungen*.

In the 1920s, a radical new architecture, the International style, developed in Europe. The style attempted to be a universal expression of modern life. Buildings were simplified and, influenced by Cubism, often treated as sculptural artifacts, white and geometric. Le Corbusier and Walter Gropius were early proponents. Mies van der Rohe created a variation using interactive planes of masonry and glass to create buildings of extraordinary beauty. The style spread throughout Europe and the United States.

In the United States, modern architecture at first appeared most prominently in the skyscraper design and other commercial buildings of the 1930s, but in the post-war period, the Modern style developed in residential design through the work of innovative architects and was most favored for custom designed houses built between 1950 and 1970. This style evolved from the International style and the Craftsman and Prairie styles as well as from the traditional Japanese pavilion, rural Alpine and Scandinavian forms and from the early indigenous western ranch architecture which also inspired the Ranch style.

The Modern style is based on certain intellectual premises relating to design, construction and the use of materials. Houses are designed with a strong concern for functional relationships. The style is characterized by two distinctive subtypes based on roof shape, flat or gabled, although shed and hip roofed examples can be found. Flat-roofed modern houses resemble the International style except that natural materials – particularly, wood, brick and stone – frequently are used. Gable forms feature overhanging eaves and roofs and solid-void wall relationships arranged to create an indoor-outdoor spatial connection using glass as an invisible barrier. Often, space is manipulated to create a feeling of dynamic spatial flow. Also, there can be an attempt to integrate the house into the landscape rather than to contrast with it, as in the International style.

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Modern residences often reveal the structure or form of the house in traits like sloped ceilings. They also featured glazed gables. They generally emphasize open planning except for bedrooms. The use of partitions and space dividers that do not go up to the ceiling is another trait.

In Tucson, starting in the post-war period, architects designed custom houses in the Modern style. The desert climate was a strong influence on design. Roof overhangs to create shade and other solar protective features were used. For solar protection, buildings were sited with solid walls facing east and west and with glazed areas facing north and south. Glazing usually occurred in strip windows and in large glassed areas rather than in individual windows. Walls were built using masonry and stucco and the use of wood, which is damaged by the sun, was minimized.

Sonoran Revival (popularly known as “Territorial”)

Very popular in Tucson is this parapet-walled style with Hispanic influences. It draws on regional historic precedents for inspiration. During the post World War II era, although overshadowed by the prolific Ranch and Modern styles, certain architects and builders continued to prefer it. Many Tucsonans popularly call the style “Territorial” and it is often constructed of burnt adobe. The Sonoran Revival features flat roofs, parapets and flat facades. Parapet caps can be simple or more elaborate. It is not uncommon for them to be constructed of burnt adobe, with soldier courses set diagonally.

In the Hispanic tradition, early houses were rectangular, or cubic in form, presenting high, flat facades of exposed adobe on stone foundations with flat roofs. Drainpipes or canales pierced the parapet walls. Doorways were recessed and windows, appearing informally placed from the exterior, reflected the interior room arrangement. Because of adobe deterioration, the houses were eventually stuccoed and brick courses were added to parapets.

Gradually the style was transformed through contact with Anglo-American settlers from the East. (In southern Arizona, during the 1880s, sloping or pyramidal roofs were added above existing flat roofs. With the widespread adoption of pitched roofs, parapets tended to be eliminated, making the walls lower with changed proportions.) However, the flat roof, parapeted version also persisted to influence the Sonoran Revival architecture of the twentieth century.

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Neoclassical Eclectic Style

Neo-Classical Eclecticism alludes back to the Neoclassical Revival (1900-1927) which was an “academic reaction” to provincialism in American architecture, beginning in the mid 1880s, culminating in the spectacular Classical Revival of the 1893 World Columbian Exposition in Chicago. This return to classicism was marked by axial site planning, symmetry in the building plan and in the principal facade and a demonstrated understanding of Greek and Roman architecture. Details followed a classical vocabulary. The building was often on a raised base dominated by a porch or entry feature supported by columns. Neoclassical Revival buildings were commonly monumental, institutional types. (Nequette & Jeffery 2002: 279.)

In the “Eclectic” version of the style, forms and details are borrowed from the preceding revival style but are applied freely to a variety of building forms with little concern for historically accurate detailing. The intention is to express some feeling of the preceding style without submitting to its discipline. For example, typical features of the Neoclassical Revival style are full-height porches of classical design supported by Ionic or Corinthian columns with entablatures. Classical surrounds of windows, doors, and cornices are characteristic elements. Neoclassical Eclectic residential design is reflected in the continuing popularity of the two-story “Georgian” style, especially in the East, spread by the contractor/builder. It has also been adapted to one-story, Ranch type residences, commonly of brick, to which columned porches and other details of white, wood trim are added.

Architects

Because of the strict architectural oversight stipulated in the deed restrictions, nearly all El Encanto houses were architect-designed until the restrictions expired in 1979. As before, architects who designed in El Encanto during the decade from 1950-1960 were among Tucson’s finest. Some of them were responsible for prior work in the subdivision. (Lacking a reviewing architect, most, but not all, infill houses built in the subdivision after 1979 were produced by design-builders. The newer residences tend to be eclectic in style, generally of less solid construction, and not in keeping with the historic character of the subdivision.)

During the 1950s, these practitioners benefited from the flourishing post-World War II construction boom and were responsible not only for fine residences but also for many

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public school and university buildings, museums, churches, and other commercial and institutional projects.

Terrence ("Terry") Atkinson (1915-1983)

65 E. Calle Claravista (#68)

Terry Atkinson was born in Eureka, CA on August 8, 1915. He attended Humbolt State University in Arcata, California, and graduated from the University of California at Berkeley with a BA in fine arts in 1936. He received his post graduate degree from the Arts Center in Los Angeles. Mr. Atkinson arrived in Tucson in 1939 and began his architectural practice in 1946 after serving with the U. S. Army Air Forces during World War II. Atkinson was community conscious, serving on the Board of Directors for Tucson Gas (now known as Tucson Electric Power) from 1966 until his death. He participated in the Tucson Regional Plan and the Tucson Community Goals Committee and served as a Pima County Juvenile Court referee. He was also executive committeeman for the Southern Arizona chapter of the American Institute of Architects. Terrence C. Atkinson died on June 4, 1983 at the age of 67.

Atkinson became one of Tucson's most prominent architects. At different times, this skilled designer worked for established Tucson architects like Roy Place, Art Brown and William Starkweather. Atkinson's institutional projects included some of Tucson's largest and best-known buildings like Tucson Medical Center; the Tucson Electric Power Co. building, the Tucson Newspapers Inc. building; the Pima County Governmental Center; the Tucson International Airport terminal building; the remodeling of St. Augustine Cathedral; and the College of Law, the College of Architecture and the Biological Sciences West Building at the University of Arizona. He also designed several buildings on the Northern Arizona University campus in Flagstaff (Tucson Citizen 1983, Arizona Daily Star 1983.)

William Hanns Carr (1902-1985)

25 E. Calle de Amistad (#106)

[also 100 N. Camino Miramonte (#35), 80 E. Calle Primorosa (#42), 10 E. Calle Primorosa (#119) (Laird 1987)]

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William H. Carr, a noted local naturalist, founded and was the first director of the famed Arizona-Sonora Desert Museum near Tucson, Arizona. Born in the Astoria section of Queens, New York, Carr was associate curator of the American Museum of Natural History in New York, a post he held from 1926 to 1944. He then came to Tucson in 1944 and joined the Pima County Parks and Recreation board, where he first met Arthur N. Pack. The two co-founded the Desert Museum in 1952. Mr. Carr became its first director in 1952, then director emeritus in 1962.

The co-founders' idea for the Desert Museum was to foster "outdoor conservation education, employed as a means of helping man to recognize and assume his responsibilities toward nature, in order to gain some hope of assuring his future." In 1959 Mr. Carr received the American Forestry Association's distinguished service award in the field of public information for helping educate the nation in the use and conservation of the natural environment.

In addition to his museum work this well-known lecturer published four books and was the author of several hundred magazine articles plus several bulletins. Apparently, he was also a skilled architectural designer, as seen in his residential work in El Encanto. The extent of W. H. Carr's design work is an interesting subject for future study (Tucson Citizen 1985, Arizona Daily Star 1985.)

D. Burr DuBois (1901-1979)

15 N. Camino Miramonte (#12)

D. Burr DuBois was born in Mason Michigan. He attended Ferris Institute, Big Rapids, Michigan, then went on to graduate in 1924 from the School of Architecture, University of Michigan at Ann Arbor. Mr. DuBois worked in Lansing and Detroit before moving to Tucson in 1926, for his health.

In Tucson, he worked briefly for Henry O. Jaastad, Roy Place, and later James Macmillan, interrupting his service there when he moved to Pueblo, Colorado, around 1939. He then moved to the Grand Canyon in 1940 where he worked for the Civilian Conservation Corps (CCC). Burr DuBois first CCC job was the remodeling of Tucson House, which is now the Arizona-Sonora Desert Museum near Tucson.

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Returning to Macmillan's office in 1941, Burr DuBois worked there until Macmillan died in 1954, after which he opened his own office. Prior to 1955, DuBois was responsible for several Tucson projects including Christopher Square Inn, the E. T. Nichols residence (1940) and the towers of St. Augustine Cathedral. Other pre-1955 buildings are chapels at Vail and Oracle, the statue of the miners on the Cochise County Court House, Bisbee, and the entrance and porte cochere for El Conquistador Hotel, Tucson (now demolished).

The fourteen years following the establishment of his own office in 1955 yielded several school buildings for Tucson, additional buildings for the University of Arizona and the Arizona State School for the Deaf and Blind, shop buildings, office buildings, a bank, the Tucson Womens' Club, and the First Congregational Church of Tucson. He worked in several styles, from Colonial Revival to Modern, with Art Deco and Pueblo Revival in between. He left behind permanent landmarks when he retired to Oregon in 1969 where he died ten years later (UA Architectural Archives 2006).

Frederick A. Eastman (1895-1978)
5 E. Calle Primorosa (#45)

Frederick A. Eastman was born in Oakland, California, in 1895. He had no formal college education and learned to be an architect on the job. Eastman practiced architecture in Tucson from the early 1930s until his retirement in 1965. In 1936 he restored and renovated the historic Fish-Stevens House in Tucson, now part of the Tucson Museum of Art. He was the architect for the Tucson Mountain Park and the first structures for what is now the Arizona-Sonora Desert Museum. He was the architect for many Catalina Foothills Estates and Arizona Inn neighborhood houses. He designed in the regional Southwest Revival styles. Frederick A. Eastman died in 1978 (Arizona Daily Star, 1978.)

Friedman & Jobusch, Architects & Engineers (1956-1980)
15 E. Calle de Amistad (#105), 60 N. Camino Español (#98)

Bernard J. Friedman, FAIA (dates unknown)
20 E. Calle de Amistad (#115), 55 N. Camino Español (#154), 60 E. Calle Encanto (#110)

Bernard J. Friedman was a principal and design architect with Tucson's prestigious firm, Friedman and Jobusch, Architects & Engineers from 1956 to 1980. Mr. Friedman

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graduated from the University of Illinois with a Bachelor of Science degree in Architecture in 1938. He then served in several branches of the U.S. Navy including the post of Construction Officer with the Seabees from 1942-1946. He was a member of the U.S. Naval Reserve after the War.

From 1938 through 1946, Bernard Friedman practiced as a designer and Senior Draftsman in Texas, New Mexico, Illinois, California and Arizona. In Tucson, AZ, he set up a private architectural practice from 1947 to 1956 until he went into partnership with Fred H. Jobusch, also a graduate of the prestigious University of Illinois. The award-winning firm of Friedman & Jobusch was responsible for many of the finest projects in Arizona. The firm's expansive project list included technical facilities, master planning and urban development projects, commercial and housing facilities, religious facilities, industrial buildings, health and welfare facilities, educational facilities and public buildings.

The following projects are located in Tucson unless otherwise noted. Highlighted among university buildings designed by Friedman & Jobusch are the University of Arizona Health Science Center and Hospital and the Main Library. For these two outstanding projects, in 1977, project and design architect Bernard Friedman was awarded the Arizona Architects Medal by the Arizona Society of Architects (Tucson Citizen, 1977). The firm also designed several striking religious buildings including Anshei Israel Congregation, St. Albans Episcopal Church, St. Mark's Methodist Church and Temple Emanu-El. Among residential, hotel, motel and apartment projects, noteworthy are the Americana Motel (Nogales), the Aztec Inn, the Plaza International Hotel and the Solot Residence (#98), in El Encanto Estates.

Among technical facilities, Friedman & Jobusch designed the Agricultural, Medical, Physical, Clinical and Mathematical Laboratories for the University of Arizona. In addition, the firm designed the Astro-Physics, Environmental, Electronic, Instrumentation, Computer and Optical Laboratory facilities for Kitt Peak National Observatory outside of Tucson. For the Lear Jet Corporation, Friedman & Jobusch designed the Assembly Plant and Laboratory Facilities. The Nogales Border Inspection Station was another project by the firm.

Fred H. Jobusch (1916 - 1987)

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Born in Collinsville, Ill., Jobusch received his bachelor's degree in architectural engineering from the University of Illinois. He moved to Tucson in 1944 and worked for several architectural firms. In 1956, he and Bernard J. Friedman formed Friedman and Jobusch Architects & Engineers. He left the firm twenty four years later and opened his own architectural consulting office. He retired in 1987 for health reasons.

Jobusch was involved in the planning of Sahuaro and Marana high schools and several buildings at the University of Arizona, including the Harvill Building and the Main Library. As a partner of Friedman & Jobusch, he was one of the designers of the University Medical Center and many other institutional and commercial projects in southern Arizona.

In 1975 he became a member of the prestigious College of Fellows of the American Institute of Architects. Jobusch was also a member of the National Society of Professional Engineers, the State Board of Technical Registration for Architects and Engineers and the American Institute of Architects (Arizona Daily Star, 1987).

Russell Hastings (1909-1978)
12 N. Camino Español (#134)

Russell Hastings was born in Atchison, Kansas, on September 9, 1909, and attended high school there. After that his "erratic" education took him to Purdue University, Kansas State University, the University of Arizona and finally the University of Chicago, where he received a degree in anthropology. In the early years of his career, he worked as a supervisor of exhibits and construction for the National Park Service.

Mr. Hastings and his wife, Harriet, moved to California where where he worked from 1936 to 1939 as a building contractor and museum planner. In 1939 they moved to Tucson, where he worked as a building contractor until he became a registered architect, licensed in 1949. A brief working tour in Memphis, Tenn., followed, and in 1953 he returned to Tucson and opened an office.

Hastings was a former member of the Arizona chapter of the American Institute of Architects and the Tucson Engineers Club.

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He designed Magee Junior High, White Elementary and Erickson Elementary schools. He also designed the Arizona Bank building at E. Broadway and Camino Seco and the Tucson Boys Chorus building at 5770 E. Pima St. (Arizona Daily Star, 1978.)

Henrik Olsen Jaastad & F. O. Knipe

15 E. Calle Belleza (#120), [also 50 E. Calle Belleza (#126) (Laird 1987)]

For biography of Henrik Olsen Jaastad, see Laird 1987.

Frederick O. Knipe (1887-1975)

Born in Fairhaven, Massachusetts, on February 18, 1887, Frederick O. Knipe Sr. attended Brown University in Providence, Rhode Island, and the New Bedford Textile School and the Swain School of Design in New Bedford, Mass. After one year in a civil engineer's office, he entered architectural training in Charles Brigham's office in Boston and later worked in architectural offices in New Bedford, Providence, Washington D.C., Chicago and Tucson, Arizona.

In 1911, with a ranching career in mind, Mr. Knipe moved his family from Fairhaven, Mass., to Tucson. After arriving in Tucson, he bought 80 acres in the Rincon Valley and named it the Bar FK Ranch. By 1924, he had expanded his holdings to include two neighboring ranches which today are known as the Rocking K and X-9 Ranches. Also at this time, he bought a house in Tucson so the children could attend high school. During summers, Mr. Knipe worked as a forest ranger at Mormon Lake, Texas Canyon in the Chiricahua Mountains in Nogales, and in the Rincon Mountains.

As a result of the Great Depression, in the early 1930s he was forced to sell his land and move his family permanently to Tucson, effectively ending his ranching career.

Mr. Knipe joined the architectural office of Henry O. Jaastad, then mayor of Tucson, and by 1945, was a registered architect in the State of Arizona (Lic. #1110). In 1947, he and Mr. Jaastad formed a partnership which continued until 1957, when Mr. Jaastad retired from the firm. A short-lived partnership with Edward H. Dunham Jr. lasted only from 1959-1961. In 1964, the firm was moved into rented space in the office of Russell Hastings, Architect, where it remained until 1975 when Frederick O. Knipe Sr. died at the age of 89. Mr. Knipe was residing at 2711 E. Elm Street at the time of his death. (Arizona Architectural Archives 2006; Tucson Citizen, 1975.)

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Knipe was a member of the Pioneer Historical Society, whose current building he designed, as well as the Westerners and the Kiwanis Club.

Anne. J. Rysdale (1921-unknown)

40 E. Calle de Amistad (#40), [also 115 E. Calle Resplendor (#5), 105 E. Calle Resplendor (#6), 95 E. Calle Resplendor (#113), 65 E. Calle Resplendor (#107), 55 N. Camino Miramonte (#113), 3227 E. Broadway Blvd. (#137) and 109 Camino Espanol (#162) (Laird 1987)]

A Tucson native, Rysdale was born in 1921 as Barbara Anne Nicholas. She graduated from the University of Arizona in 1940 with a degree in engineering and fine arts and briefly worked under Tucson architect Henry Jaastad. Rysdale became an officer in the Navy during World War II then obtained her architecture degree at the University of Washington. Upon her return to Tucson in 1945, she trained under architect Arthur Brown before setting up her own practice.

During her early career, from 1929 to the early 1960s, Rysdale was the only practicing, registered female architect in Arizona. In order to compete effectively in a male-dominated field, Rysdale felt she had to produce more and better work. Rysdale initially worked on residential designs, most actively from the early 1950s until the mid 1960s in such subdivisions as Winterhaven, Colonia Solana, El Encanto, Country Club Estates, Highland Manor and Palo Alto Village. Her specialty was the Ranch style house.

Facing increasing competition from design/builders, Rysdale later focused on the design of commercial structures like the Flamingo Hotel and Myerson's department store (demolished). In 1958, she began teaching as an adjunct lecturer for the nascent architecture program then under the College of Fine Arts. In 1976, she completed the Gila County Courthouse in Globe. (Arizona Architectural Archives 2006, Laird 1987).

Emerson C. Scholer (1897 - 1979)

35 E. Calle de Felicidad (#77) & 75 E. Calle Resplendor (#125)

Emerson C. Scholer came to Tucson for health reasons in 1942 after graduating from the University of Illinois. He started the firm of Scholer and Fuller with Santry C. Fuller in 1951. He lived in Tucson from 1942 to 1967.

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Scholer, who designed St. Joseph's Hospital, the Wilmot Medical Center, Catalina High School, Woods Memorial Library and the Tucson Clinic, died in Minneapolis, Minnesota on October 28th, 1979.

He was active in the Tucson Elks Lodge and Grace Episcopal Church. A past president of the Tucson Chapter of the AIA, he was a member of the Arizona Board of Technical Registration. He represented Arizona at the Western States National Regulating Board for Architects and established the Phi Kappa Psi fraternity at the University of Arizona. In 1967, Scholer moved to Minneapolis to take a job as a hospital consultant. (Tucson Citizen, 1979; Arizona Daily Star, 1979.)

Starkweather, Merritt Howard & Morse, Richard A.

85 E. Calle Encanto (#28) [also 110 N. Camino Miramonte (#37), 145 N. Camino Miramonte (#52), 50 E. Calle Encanto (#109). In addition, Starkweather designed several El Encanto houses on his own plus one while in partnership with Cain. (Laird 1987).]

Merritt Howard Starkweather was hired as overseeing architect by El Encanto Estates, Inc. in the late 1920s, a post he served until 1979. For biographical information see Laird 1987. To date, no information has been found about Richard A. Morse.

Original Owner/Occupants

Since the neighborhood's founding, during this decade, upscale El Encanto attracted residents who made outstanding contributions to the community. Names of the first occupants (and probable first owners) were obtained from Tucson City Directories. Title information was not studied, and thus initial ownership has not been verified.

Richard Anderson Harvill (married to George L.), 85 E Calle Encanto

Owned by the University of Arizona Board of Regents, 85 E. Calle Encanto (#28) was built to house the university's president. The first occupant was president Richard Anderson Harvill and family. Harvill was credited with bringing the University of Arizona to national prominence during his twenty year service. Harvill served from 1951 to 1971, the longest tenure of any University of Arizona president. During these years, the campus grew from 47 buildings on 134 acres to 90 buildings on 277 acres.

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Enrollment rose from 6,000 in 1951 to 25,000 in 1971. Among Harvill's proudest accomplishments as president was the founding of the University of Arizona College of Medicine, the state's first medical school, in the mid-1960s.

Harvill came to the University of Arizona to teach economics in 1934. Born in Centerville, Tennessee, at the age of 29 Harvill was awarded a doctorate in economics from Northwestern University and had taught at Duke University and Mississippi State College. In 1936, he married George Lee Garner whom he had met on the Duke Campus.

Also founded during Harvill's tenure were Kitt Peak National Observatory, the Insitute of Atmospheric Physics, the Lunar and Planetary Laboratory, the Office of Arid Lands Studies, the Bureau of Applied Reserarch in Anthropology and the colleges of Nursing, Pharmacy, Architecture and Earth Sciences. Among numerous awards, in 1966 Harvill was awarded the Arizona Regents' Medal for outstanding service, the first recipient of such an honor. (Turner 1988.)

Benjamin H. Solot (married to Myra M.) 60 N Camino Español

Associated with 60 N. Camino Español (#98) are Benjamin H. Solot (Myra M.) and family. (The Solots first lived at 60 E. Calle Encanto.) One of Tucson's leading real estate developers, Solot came to Tucson for his health in 1924. In his native Philadelphia he had studied at the Wharton School of Finance, University of Pennsylvania. He then practiced accounting before leaving for Tucson. Solot died in 1970 after 45 years of activity in Tucson business and civic work.

Head of Solot Realty Co., he was past president and a life member of the Real Estate Board of Tucson. He was president of the Temple Emau-El congregation and chairman in 1953 of the financial campaign to launch the first Tucson Jewish Community Center. Solot was Man of the Year in 1962 for the Tucson chapter of the City of Hope, research hospital at Duarte, California, and was a director of the National Jewish Hospital in Denver.

In addition, Mr. Solot served as a member of the Old Pueblo Club, Tucson Sunshine Climate Club, Tucson Chamber of Commerce, B'nai B'rith and the former El Rio Country Club (Tucson Citizen, 1970.)

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National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 8 Page 49

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

Melvin M. Halpern (married to Blanche F.) 25 N Camino Español

Melvin M. Halpern was an internal medicine specialist who lived at 25 N. Camino Español (#144). Born in 1912 in Louisville, Kentucky, he served during World War II with the 8th Medical Battalion of the 8th Infantry Division. After moving to Tucson in 1949 with his wife, the former Blanche Friedman, he was chief of the outpatient department at the Veterans Administration Hospital. For seven years. He belonged to various medical societies and was president of Temple Emanu-El from 1952 to 1955 (Tucson Citizen, 1980).

Others

Irving F. Hall (Olive L.) lived at 15 E. Calle Belleza (#120). Irving Hall was president and director of Pima Savings & Loan Association, 151 N. Stone.

Kenneth F. Hayden (Louise B.) lived at 70 N. Camino Miramonte (#20). Mr. Hayden was associated with Hayden Furniture Company.

Terrance C. Atkinson was associated with a house designed and built by himself at 65 E. Calle Claravista (#68) (see Architects).

Dolph W. Ingram (Kathleen) lived at 5 E. Calle de Felicidad (#76). Mr. Ingram was owner of D. W. Ingram Lumber Co. In addition, the Ingrams owned the Empirita Ranch, south of Tucson near Benson, Arizona, for a period of time.

George D. Thompson Jr. (Elizabeth H.) lived at 35 E. Calle de Felicidad (#77). Mr. Thompson was the secretary/treasurer of Southwest Wholesale Grocery Company.

Jake Silverman (Goldie) lived at 15 E. Calle de Amistad. He was the president of Williams Auto Sales and secretary/treasurer of Robinson Motor Company, used cars, at 702 S. 6th Avenue.

Blair A. Glennie, a prominent Tucson dentist, lived at 25 E. Calle de Amistad (#106).

Martin S. Rogers (La Vaun P.) lived at 40 E. Calle de Amistad. He was attorney with an office at 201-205 Garden Plaza.

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

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El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

Michael Bernfeld (Elizabeth) was a physician who resided at 20 E. Calle de Amistad (#115).

Lester B. Shafton (Ruth M.) lived at 10 E. Calle de Amistad. Lester Shafton was publisher of the Daily Reporter and president/treasurer of the Tucson Publishing Co., 54 W. Council.

John H. Bellows Jr. (Pauline H.) was a district agent for Northwest Mutual Life Insurance. The Bellows lived at 75 E. Calle Resplendor (#125).

Robert W. Weber (Jeanne K.) was a physician with an office at 1014 N. Country Club. The Webers lived at 12 N. Camino Espanol.

Robert H. Engstrom (Janet) lived at 20 E. Calle Corta (#165). He was the director of maintenance at Monthan Air Base.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 9 Page 51

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

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Buehman Collection; El Encanto; 50 E. Calle Encanto; BN

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National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 9 Page 52

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

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CONTINUATION SHEET

Section 9 Page 53

El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

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El Encanto Estates Residential Historic District
Amendment
Pima County, Arizona

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 10 Page 30

El Encanto Estates Residential Historic
District Amendment
Pima County, Arizona

Boundary Description and Boundary Justification

The 2007 amendment does not involve a change in the Historic District's boundaries. The boundaries are the same as those described in the original 1988 National Register nomination.

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section	Photos	Page	Photos	Name of Property	El Encanto Estates Residential Historic District Amendment
				County	Pima
				State	Arizona

PHOTOGRAPHS

The following information is the same for all photographs accompanying this amendment. Photographs are labeled with an archival pen. For all photographs:

- 1) Name of Property: El Encanto Estates Residential Historic District
- 2) County and State: Pima, Arizona
- 3) Name of Photographer: Ralph Comey
- 4) Location of Original Negative: Ralph Comey Architects

Information for Individual Photographs:

- 5) Date
- 6) Description of View Indicating Direction

No. 1

- 5) March 30, 2006.
- 6) View of central park looking southwest along Calle Primorosa. The street and park have changed little through the years.

No. 2

- 5) March 30, 2006.
- 6) View looking west along Calle Encanto. There is a feeling of historic continuity.

No. 3

- 5) August 10, 2006.
- 6) View looking north along Camino Miramonte. Note curbing, brick planter and street palms.

No. 4

- 5) March 30, 2006.
- 6) View looking west along Calle Encanto. Note dirt, boulder edging, mixed desert plantings and fan palms.

No. 5

- 5) August 10, 2006.

United States Department of the Interior
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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section	Photos	Page	Photos	Name of Property	
					El Encanto Estates Residential Historic District Amendment
				County	Pima
				State	Arizona

6) Recent view looking west at 45 E. Calle Español showing mature plantings.

No. 6

5) August 10, 2006.

6) Recent view looking east at 50 E. Calle Encanto showing mature plantings.

No. 7

5) August 10, 2006.

6) View looking east at 50 N. Camino Miramonte, a front yard with traditional landscaping.

No. 8

5) August 10, 2006.

6) View looking north at 15 E. Calle Belleza, a traditional landscape with the grass removed.

No. 9

5) August 10, 2006.

6) View looking east at 60 N. Camino Español, a front yard with mixed ornamental desert, tropical and arid zone plantings.

No. 10

5) August 10, 2006.

6) View looking southwest towards 60 E. Calle Encanto, a front yard with traditional, other mixed plantings and extensive hardscape.

No. 11

5) August 10, 2006

6) View looking southwest towards 30 N. Camino Espanol, a front yard with traditional, ornamental desert and natural desert plantings.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section ADDL Page ADDL

El Encanto Estates Residential Historic District
Pima County, Arizona

ADDITIONAL ITEMS

Additional Item #1: El Encanto Estates: Significance of Its Streetscape and Landscape Architecture (Rogers 1979)

Additional Item #2: El Encanto Improvement Co. – An Arizona Non-Profit Corporation by the Property Owners of El Encanto Estates (El Encanto 1951)

10. Geographical DataAcreege of Property Approx. 123.0**UTM References (Place additional UTM references on a continuation sheet)**

1	<u>12</u> Zone	<u>507580</u> Easting	<u>3565595</u> Northing	3	<u>12</u> Zone	<u>506980</u> Easting	<u>3564810</u> Northing
2	<u>12</u> Zone	<u>507580</u> Easting	<u>3564810</u> Northing	4	<u>12</u> Zone	<u>506980</u> Easting	<u>3565570</u> Northing

 See continuation sheet.**Verbal Boundary Description** (Describe the boundaries of the property on a continuation sheet.)**Boundary Justification** (Explain why the boundaries were selected on a continuation sheet.)**11. Form Prepared By**

name/title	<u>Ralph Comey and Janet H. Parkhurst</u>	date	<u>September 6, 2007</u>
organization	<u>Ralph Comey Architects and Janet H. Stittmatter Inc.</u>	telephone	<u>520-748-3525</u>
street & number	<u>5215 E 8th Street</u>	zip code	<u>85711</u>
city or town	<u>Tucson</u> state <u>AZ</u>		

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets**Maps**

A USGS map (7.5 or 15 minute series) indicating the property's location.

A sketch map for historic districts and properties having large acreage or numerous resources.

PhotographsRepresentative **black and white photographs** of the property.**Additional items**

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of the SHPO or FPO.)

name/title	<u></u>		
street & number	<u></u>	telephone	<u></u>
city or town	<u></u> state <u></u>	zip code	<u></u>

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

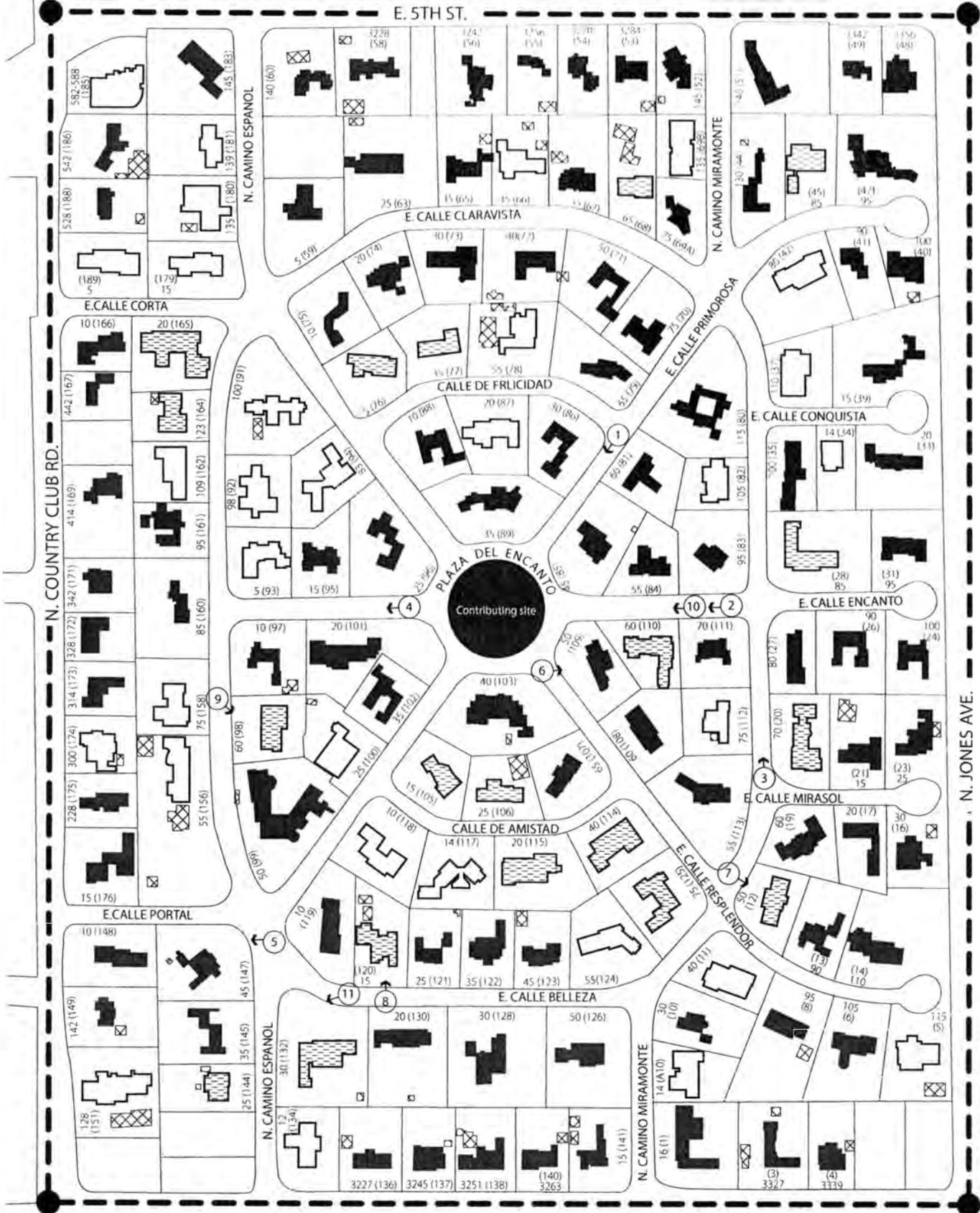
Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Project (1024-0018), Washington, DC 20503.

Existing Contributor
 Proposed Contributor
 Non Contributor
 Out Building (unevaluated)

District Boundary
 1513 (10) Street Number (Lot #)
 (2) Photo Key
 UTM Reference : UTM NAD27 ZONE 12 A. (Easting, Northing)

A : (506917, 3565784)

D : (507515, 3565791)

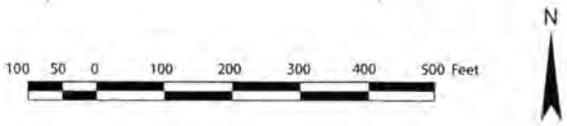


B : (506920, 3565014)

E. Broadway Bl.

C : (507518, 3565017)

EL ENCANTO ESTATES Historic District
TUCSON, AZ
2007 Amendment



National Register of Historic Places

Note to the record

Additional Documentation: 2011

United States Department of the Interior
National Park Service



NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

=====

1. Name of Property

=====

historic name Correction to the El Encanto Estates Residential HD

other names/site number 128 N. Country Club Road

=====

2. Location

=====

street & number 128 N. Country Club Road not for publication
city or town Tucson vicinity _____
state Arizona code AZ county Maricopa code 013 zip code 85716

=====

3. State/Federal Agency Certification

=====

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this nomination _____ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets _____ does not meet the National Register Criteria. I recommend that this property be considered significant _____ nationally _____ statewide locally. (See continuation sheet for additional comments.)

James W. Garrison A/SHP 22 NOVEMBER 2010
Signature of certifying official Date

AZ STATE PARKS / S H P O
State or Federal agency and bureau

In my opinion, the property _____ meets _____ does not meet the National Register criteria. (_____ See continuation sheet for additional comments.)

Signature of commenting or other official Date

State or Federal agency and bureau

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section Correction Page 1

128 N. Country Club Road
name of property
Pima, AZ
county and State
El Encanto Estates Residential HD
name of multiple property listing

=====

Correction to the El Encanto Estates Residential Historic District, listed on the National Register of Historic Places on January 29, 1988.

CONTRIBUTING PROPERTY

ADDRESS: 128 N. Country Club Road, Tucson AZ 85716

This property is referenced as a non-contributor to the El Encanto Estates Residential HD, Pima County, Arizona in the 1988 National Register Nomination due to remodeling and loss of integrity.

The property owner recently contacted the AZ State Historic Preservation Office with an update on the property. The original small adobe house was built in 1908. In the 1950s the house was remodeled. The alterations were done within the period of significance for the District.

The Arizona SHPO requests the Keeper to add the property listed above to the "contributor" list in the nomination, as it does, in fact, contribute to the historic fabric of the El Encanto Estates Residential Historic District.



Camino Espanol & Calle Encanto
El Encanto Estates Residential Historic District

Tucson, Arizona

photo by : Wendy Laird

date: 6/2/87

negatives with: AZ SHPO

800 W. Washington

Phoenix, AZ 85007

view: North from intersection

map #1

①



#2

Calle Claravista & Camino Miramonte
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Michael McCrory

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: Northwest

Map #2



#3

Camino Miramonte & Calle Encanto
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Michael McCrory

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking west toward the central park

Map #3



#4

Central Circular Park
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Wendy Laird

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: Central park, looking southwest

Map #4



#5

Central Circular Park
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Wendy Laird
date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: Central park, looking southeast

Map #5



#6

Calle Encanto & Plaza del Encanto
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Michael McCrory

date: 5/26/87

negatives with: AZ SHPO

800 W. Washington

Phoenix, AZ 85007

view: looking west toward the Bledsoe Home

Map #6



#7

Camino Miramonte

El Encanto Estates Residential Historic District

Tucson, AZ

photo by: Wendy Laird

date: 6/2/87

negatives with: AZ SHPO

800 W. Washington

Phoenix, AZ 85007

view: looking south toward Calle Resplandor

Map #7



78

Calle Primorosa
El Encanto Estates Residential Historic District
Tucson, AZ

photo by:Linda Laird & Associates

date: 6/2/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: northeast looking toward Calle de Amistad

Map #8



#9

Calle Encanto & Camino Miramonte
El Encanto Estates Residential Historic District

Tucson, Arizona

photo by: Wendy Laird

date: 6/2/87

negatives with: AZ SHPO

800 W. Washington

Phoenix, AZ 85007

view: looking west at the intersection, toward central circle

Map #9



#10

Calle Encanto
El Encanto Estates Residential Historic District
Tucson, Arizona
photo by: Michael McCrory
date: 6/2/87
negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking west toward the central circle

Map #10



#11

Camino Espanol
El Encanto Estates Residential Historic District
Tucson, Arizona
photo by: Wendy Laird
6/2/87: Date
negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking south, note date palms

Map #11



Calle Encanto & Camino Espanol
El Encanto Estates Residential Historic District
Tucson, Arizona
photo by: Wendy Laird
date: 6/2/87
negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

View: looking east at central circular park

Map #13



#14

Calle Belleza & Camino Miramonte
El Encanto Estates Residential Historic District

Tucson, Arizona

photo by: Wendy Laird

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking northwest at natural desert vegetation

Map #14



#15

Plaza del Encanto & Calle Resplendor
El Encanto Estates Residential Historic District

Tucson, Arizona

photo by: Wendy Laird

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking southeast at the Joesler water tower

Map #15



#16

Calle Resplandor & Calle de Amistad
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Michael McCrory

date: 5/26/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking northwest toward the central park, note palms

Map # 16



17

Calle Primorosa
El Encanto Estates Residential Historic District
Tucson, AZ

photo by: Michael McCrory

date: 6/2/87

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: northeast

Map # 17

85007



#18

Calle de Amistad
El Encanto Estates Residential Historic District
Tucson, Arizona

photo by: Wendy Laird

date: 6/2/87/

negatives with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: looking east from Calle Primorosa

Map #18



15 E. Calle Bella

El Encanto Estate Residential Historic District

Tucson, AZ

photo by: Wendy Kind

date: 5/4/87

negative with: AZ 5410

800 W. Washington

Phoenix, AZ 85007

view: North



Nail Home #10

30 N. Camino Monument

El Encanto Estates Residential Historic District

Tucson, AZ

photog: Wendy Tard

date: 5/4/87

negatives with: AZ 511AD

800 W. Washington

Phoenix, AZ 85007

view: Southeast



3 Suddal Home #1

#24

El Encanto Estate Residential Historic District

Tucson, AZ

photo by: Mendy David

date: 5/4/87

negative with: AZ SHIPD
400 W. Washington
Phoenix, AZ 85007

view: Southeast



Young Home

#26

El Encanto Estates Residential Historic District
Tucson, Az

photo by: Wendy Laird

date: 5/4/87

negative with: AZ 3440

800 W. Washington

Phoenix, Az 85007

view: South



Ellinwood Home

#72

El Encanto Estates Residential Historic District

Tucson, AZ

photo by: Wendy Lucid

date: 5/14/87

negative with: AZ SHPO

view: South



Heard Home #1

15 E. Calle Costa

El Encanto Estate Residential Historic District

Tucson, AZ

photo by: Michael McCrory

date: 5/4/87

negative with: AZ SHPO
800 W. Washington
Phoenix, AZ 85007

view: North



JACK + ELAINE Brown
30 CALLE De FELICIDAD
LOT # 86

Guerin House

El Encanto Estates Residential Historic District
Tucson, Pima County

1



JACK + ELAINE BROWN

30 CALLE De FELICIDAD

LOT # 86

Guerin House .

El Encanto Estates Residential Historic District

Tucson, Pima County

2



Rothman BARRINGTON

115 N. CAMINO MEADOWS

LOT # 80

Atkinson House

El Encanto Estates Residential Historic District

Tucson, Pima County

3



KATHRYN TORRINGTON
115 N. CAMINO MIRAMONTE
LOT # 80

Atkinson House

Tucson, Pima County

El Encanto Estates Residential Historic District

4



Florence ADAMSON
30 Calle Clara Vista
Lot # 73

Smith House
El Encanto Estates Residential Historic District
Tucson, Pima County

5



Photographer: ADAMSON

30 Calle Clara Vista

Lot # 73

Smith House

El Encanto Estates Residential Historic District

Tucson, Pima County

6



Dense Rolling
45 N. Condit Street
Lot # 147

McKinney House
El Encanto Estates Residential Historic District
Tucson, Pima County
7



Denise Rolling
45 N. Camino Espawl
Lot # 147

McKianey House
El Encanto Estates Residential Historic District
Tucson, Pima County
8



Mrs. Frank O'Reilly
15 E. Calle Encanto
Lot # 95

El Encanto Estates Residential Historic District
Tucson, Pima County
9



Bob Rice
25 PLAZA DEL ENCANTO
Lot # 96

O'Reilly House

El Encanto Estates Residential Historic District
Tucson, Pima County

10



Bob Rice

25 PLAZA Del ENCANTO

LOT # 96

O'Reilly House

El Encanto Estates Residential Historic District

Tucson, Pima County

11



ELAINE HEGSTROM
328 N. COUNTRY CLUB
LOT # 172

El Encanto Estates Residential Historic District
Tucson, Pima County
12



Hegstrom
328 N. Country Club
Lot # 172

El Encanto Estates Residential Historic District
Tucson, AZ

13



ANTHEA DIXON

130 N. Camino Missionero

LOT # 44

Bellinger House

El Encanto Estates Residential Historic District

Tucson, Pima County

14



Anthea DIXON
130 N. CAMINO MIRAMonte
LOT # 44

Bellinger House
El Encanto Estates Residential Historic District

Tucson, Pima County

15



Lopez Residence

Photograph #1

50 N. Camino Espanol

El Encanto Historic District

Pima County, Arizona

Photographer: Julie Locke

Date of Photograph: August 1, 1994

Location of original negative: SHPO

Facing North



Photograph #2

Lopez Residence

50 N. Camino Espanol

El Encanto Historic District

Pima County, Arizona

Photographer: Julie Locke

Date of Photograph: August 1, 1994

Location of original negative: SHPO

Facing Northwest



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El Encanto Estates

Bird's Eye View

C. 1941

COMMERCIAL USE FEE
\$15.00 MINIMUM

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**El Encanto Estates
Early 1940's**

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(O-261-713-25) (2-14-29-11:30A.M.) (12-800) Hotel Conquistador, Tucson, Arizona, N.W. 9.

COPY

51405

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Birds' Eye View
of El Conquistador
Hotel Tucson
looking northwest
1929, *Feb 14*

COMMERCIAL USE FEE

\$15.00 MINIMUM

All published pictures must

credit: Arizona Historical Society/Tucson



(0-10-100-25) (1-1-24-100-11) (12-100) City Development, Tucson, Ariz., N.W.T.

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COMMERCIAL USE FEE

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51418 Colonia Solana

City Development

Tucson 1929

El Conquistador

Hotel center right
side

Hi Corbett Baseball

park lower left

2/14/29



VUEW OF NEIGHBORHOOD FROM STREET
NO SPECIFIC ADDRESS
ELENORADO ESTATES RESIDENTIAL
HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COWEY, PHOTOGRAPHER
VIEW LOOKING NORTHEAST
PHOTO NO. 1 ROW 2 NO. 7



VIEW OF NEIGHBORHOOD FROM STREET
NO SPECIFIC ADDRESS

EL ENCANTO ESTATES RESIDENTIAL
HISTORIC DISTRICT

PIMA COUNTY
ARIZONA

RALPH COWLEY, PHOTOGRAPHER

VIEW LOOKING NORTHWEST

PHOTO NO. 2 ROW 2 NO. 11



GATE AND FENCE
50 CAMINO ESPANOL
EL ENCANTO ESTATES RESIDENTIAL
HISTORIC DISTRICT
PIHA COUNTY
ARIZONA
RALPH CONLEY, PHOTOGRAPHER
VIEW LOOKING SOUTHEAST
PHOTO 3 ROLL 2 No. 9



RESIDENCE UNDERGOING EXTENSIVE
55 CALLE BELLEZA REMODELING
EL ENCANTO ESTATES RESIDENTIAL
HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMBEY, PHOTOGRAPHER
VIEW LOOKING NORTH
PHOTO 4 ROLL 2 No. 6



VIEW DOWN CAVE ENCANTO
NO SPECIFIC ADDRESS
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING WEST
PHOTO NO. 5 ROLL 3 NO. 5



VIEW OF CENTRAL PARK
NO SPECIFIC ADDRESS
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING SOUTHWEST
ALONG CALLE PRINCIPAL
PHOTO NO. 6 ROLL 3 NO. 4



NO HISTORIC NAME SITE NO. 1

16 NORTH CALUMBO MIRAMONTE
EL ENCANTO ESTATES RESIDENTIAL
HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COLWELL, PHOTOGRAPHER

VIEW LOOKING TOWARDS NORTH EAST
ROLL 1 NO. 34 (NEGATIVE)



WILLIAMS HOME NO. 2
3327 E. BROADWAY
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMBEY, PHOTOGRAPHER
VIEW LOOKING NORTH
ROLL 1 NO. 1 (NEGATIVE)



TWEED HOME
3339 E. BROADWAY BLVD.
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMBY, PHOTOGRAPHER
VIEW LOOKING NORTH
ROW NO. 4, NO. 9



NO HISTORIC NAME
20 N. CALLE MIRASOL
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING SOUTHEAST
ROLL NO. 5 NO. 4 (NEGATIVE)



SIMONS HOME
60 N. CAMINO MIRAMONTE
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COWEY, PHOTOGRAPHER
VIEW LOOKING SOUTHEAST
ROLL NO. 4 NO. 36 (NEGATIVE)



BAILEY HOME
100 E. CALLE PRIMOROSA
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMBEY, PHOTOGRAPHER
VIEW LOOKING SOUTHWEST
ROLL NO. 2 NO. 23 (NEGATIVE)



BOICE HOME
140 N. CAMINO MIRAMONTE
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING SOUTHEAST
ROLL NO. 2 NO. 20 (NEGATIVE)



NO HISTORIC NAME SITE NO. 52
145 N - CAMINO MIRAMONTE
EL ENCANTO ESTATES RESIDENTIAL
HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMPTON, PHOTOGRAPHER
VIEW LOOKING WEST
ROLL 4 NO. 20 (NEGATIVE)



ROLLINGS HOME

3284 E. 5TH ST.

ELENCANTO ESTATES

RESIDENTIAL HISTORIC DISTRICT

PIMA COUNTY, ARIZONA

RALPH COMBY, PHOTOGRAPHER

VIEW LOOKING SOUTH

ROLL NO. 2 NO. 18 (NEGATIVE)



NO HISTORIC NAME
3270 E. 5TH ST.
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH CONEY, PHOTOGRAPHER
VIEW LOOKING SOUTH
ROLL NO. 1 NO. 12 (NEGATIVE)



NO HISTORIC NAME SITE NO. 59

5 E. CALLE CLARAVISTA

EL ENCANTO ESTATES RESIDENTIAL

HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COWLEY, PHOTOGRAPHER

VIEW LOOKING NORTH

ROLL 4 NO. 10 (NEGATIVE)



WILLIAMS HOME NO. 1

5 E. CALLE CLARAVISTA

EL ENCANTO ESTATES RESIDENTIAL

HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COMEY, PHOTOGRAPHER

VIEW LOOKING EAST

ROLL NO. 1 NO. 9 (NEGATIVE)



SPEAKMAN HOME

65 CALLE PRIMOROSA

BL ENCANTO ESTATES RESIDENTIAL

HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COWET, PHOTOGRAPHER

VIEW LOOKING NORTH

ROLL NO. 1 NO. 32



JACOME HOME

60 CALLE PRIMOROSA

EL ENCANTO ESTATES RESIDENTIAL

HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COMEY, PHOTOGRAPHER

VIEW TOWARDS SOUTHEAST

ROLL NO. 1 NO. 35 (NEGATIVE)



NO HISTORIC NAME (NO. 89 & 90)
35 PLAZA del ENCANTO
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING NORTHEAST
ROLL NO. 2 NO. 24 (NEGATIVE)



NO HISTORIC NAME (NO. 101)
20 E. CALLE ENCANTO
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS SOUTH
ROLL NO. 4 NO. 33 (NEGATIVE)



NO HISTORIC NAME (NO. 107)
65 CALLE RESPLENDOR
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS WEST
ROLL NO. 4 NO. 24 (NEGATIVE)



NO HISTORIC NAME (NO. 108)
60 E. CAVE RESPONDOR
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS NORTH
ROLL NO. 1 NO. 13 (NEGATIVE)



BUEHMAN HOME
50 CALLE ENCANTO
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA

RALPH COMBEY, PHOTOGRAPHER
VIEW TOWARDS EAST
ROLL NO. 1 NO. 14 (NEGATIVE)



BLOCH HOME
55 N. CAMINO MIRAMONTE
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS NORTHEAST
ROLL NO. 1 NO. 29 (NEGATIVE)



NO HISTORIC NAME (NO. 119)
10 E. CALLE PRIMOROSA
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS SOUTH EAST
ROLL NO. 4, NO. 35 (NEGATIVE)



NO HISTORIC NAME (NO. 136)
3227 E. BROADWAY BLVD.
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMBY, PHOTOGRAPHER
VIEW TOWARDS NORTH
ROLL NO. 4 NO. 5 (NEGATIVE)



NO HISTORIC NAME (NO. 137)
3245 E. BROADWAY BLVD.
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS NORTHEAST (~~106~~)
ROLL NO. 1 NO. 3 (NEGATIVE)



ELSIING HOME

95 N. CAWINGO ESPANOL

EL ENCANTO ESTATES

RESIDENTIAL HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH CONEY, PHOTOGRAPHER

VIEW TOWARDS WEST

ROLL NO. 4 NO. 7 (NEGATIVE)



USHER HOME
228 N. COUNTRY CLUB
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW TOWARDS SOUTHEAST
ROLL NO. 2 NO. 16 (NEGATIVE)



GARRETT HOWE
105 CAÑON RESPLENDOR
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH CONEY, PHOTOGRAPHER
VIEW TOWARDS SOUTHEAST
ROLL NO. 1 NO. 27 (NEGATIVE)



NO HISTORIC NAME (NO. 205)

95 E. CAVE BESSLENDOR

EL ENCANTO ESTATES

RESIDENTIAL HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COMEY, PHOTOGRAPHER

VIEW TOWARDS SOUTHWEST

ROLL NO. 1 NO. 28 (NEGATIVE)



IVANCOVICH HOME
50 CALLE BELLEZA
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH CONEY, PHOTOGRAPHER
VIEW TOWARDS SOUTHWEST
ROLL NO. 1 NO. 10 (NEGATIVE)



NO HISTORIC NAME
100 N. CAMINO MIRAMONTE
EL ENCANTO ESTATES
RESIDENTIAL DISTRICT
PIMA COUNTY, ARIZONA
RALPH COMEY, PHOTOGRAPHER
VIEW LOOKING SOUTHEAST
ROLL NO. 2 NO. 21 (NEGATIVE)



NO HISTORIC NAME (NO. 229)

75 CALLE CLARA VISTA

EL ENCANTO ESTATES

RESIDENTIAL HISTORIC DISTRICT

PIMA COUNTY

ARIZONA

RALPH COMBEY, PHOTOGRAPHER

VIEW TOWARDS NORTH

ROLL NO. 1 NO. 8 (NEGATIVE)



NO HISTORIC NAME (NO. 232)
95 CALLE PRIMOROSA
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY
ARIZONA
RALPH COMBEY, PHOTOGRAPHER
VIEW TOWARDS NORTH
ROLL NO. 1 NO. 7 (NEGATIVE)



NO HISTORIC NAME (NO. 245)
15 CALLE MIRASOL
EL ENCANTO ESTATES
RESIDENTIAL HISTORIC DISTRICT
PIMA COUNTY, ARIZONA
RALPH CONLEY, PHOTOGRAPHER
VIEW TOWARDS NORTHEAST
ROW NO. 1 NO. 30 (NEGATIVE)



1 Encanto Estates Residential H.D.
Pima County Arizona

Photo #1

Central Park, El Encanto Estates
Pima County, Arizona
EEE-3-14



El Encanto Estates Residential HD
Pima County, Arizona
Photo #2



Calle Encanto, El Encanto Estates
~~Central Park, E~~
Pima County, Arizona
EEB-3-4



Encanto Estates Residential HO
Pima County, Arizona
Photo #3



N. Camino Miramonte, El Encanto Estates
Pima County, Arizona
BEE-6-10



Encanto Estates Residential HD
Pima County, Arizona
Photo #4

E. Calle Encanto, El Encanto Estates
Pima County, Arizona
BEE-5-36A



ENCANTO Estates Residential HD
Pima County, Arizona
Photo #5

45 E. Camino Espanol, El Encanto
Pima County, Arizona
EEE-6-11



Encanto Estates Residential HO
Pima County, Arizona
Photo #6

50 E. Calle Encanto, El Encanto Estates
Pima County, Arizona
EEE-6-3



El Encanto Estates Residential HD
Pima County, Arizona
Photo #7



50 ~~th~~ N. Camino Miramonte, El Encanto Estates
Pima County, Arizona
EEB-6-1



Encanto Estates Residential HD
Pima County, Arizona
Photo # 8



15 E. Calle Belleza, El Encanto Estates
Pima County, Arizona
EEE-6-15



Encanto Estates Residential HD
Pima County, Arizona
Photo #9



60 N. Camino Español, El Encanto Estates
Pima County, Arizona
EEE-6-5



Encanto Residential H.D.
Pima County, AZ
Photo #10

60 E. Calle Encanto, El Encanto Estates
Pima County, Arizona
EE-6-22



Encanto Estates Residential #11
Pima County, Arizona
Photo #11

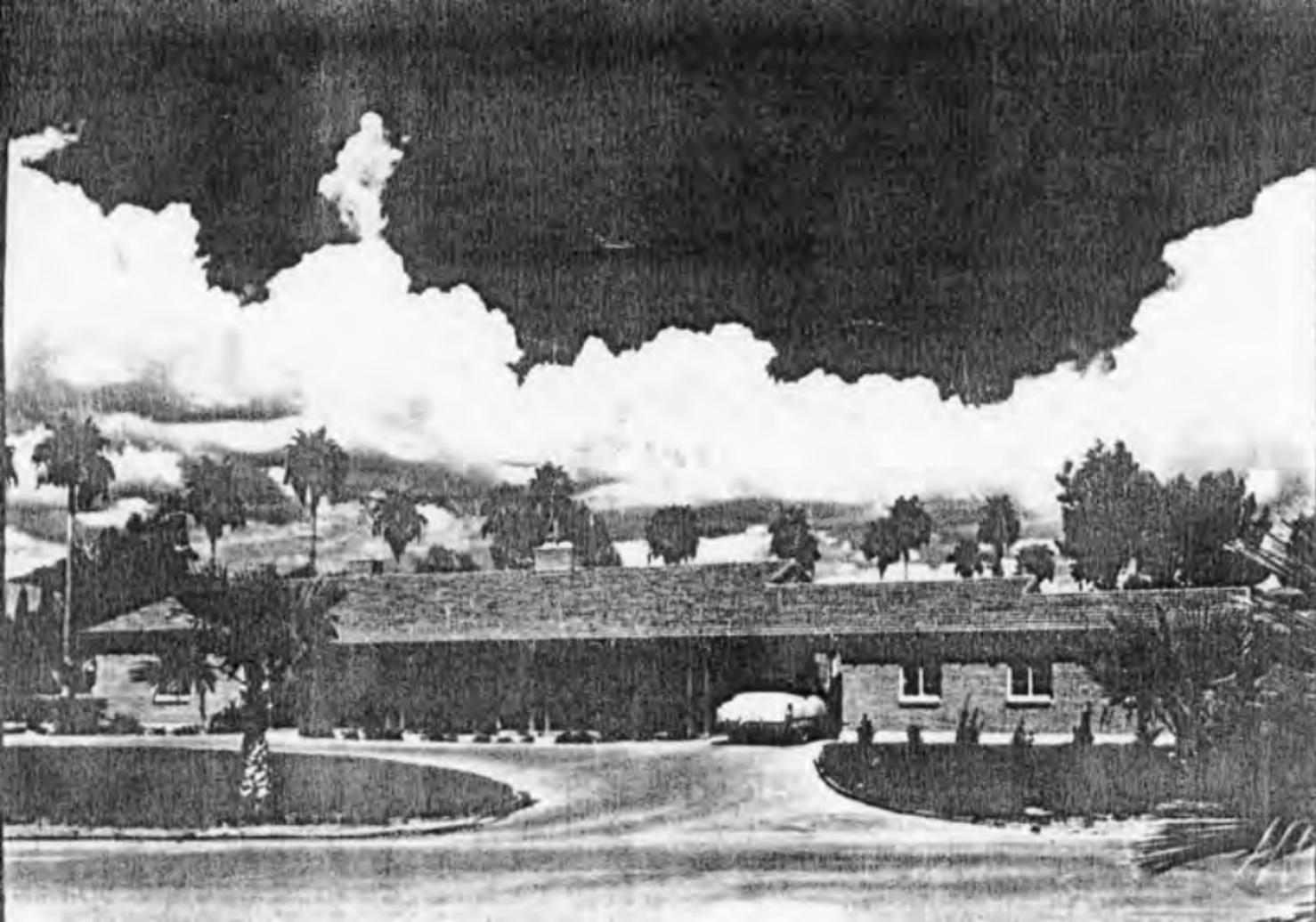
30 N. Camino Espanol, El Encanto Estates
Pima County, Arizona
BEE-6.16



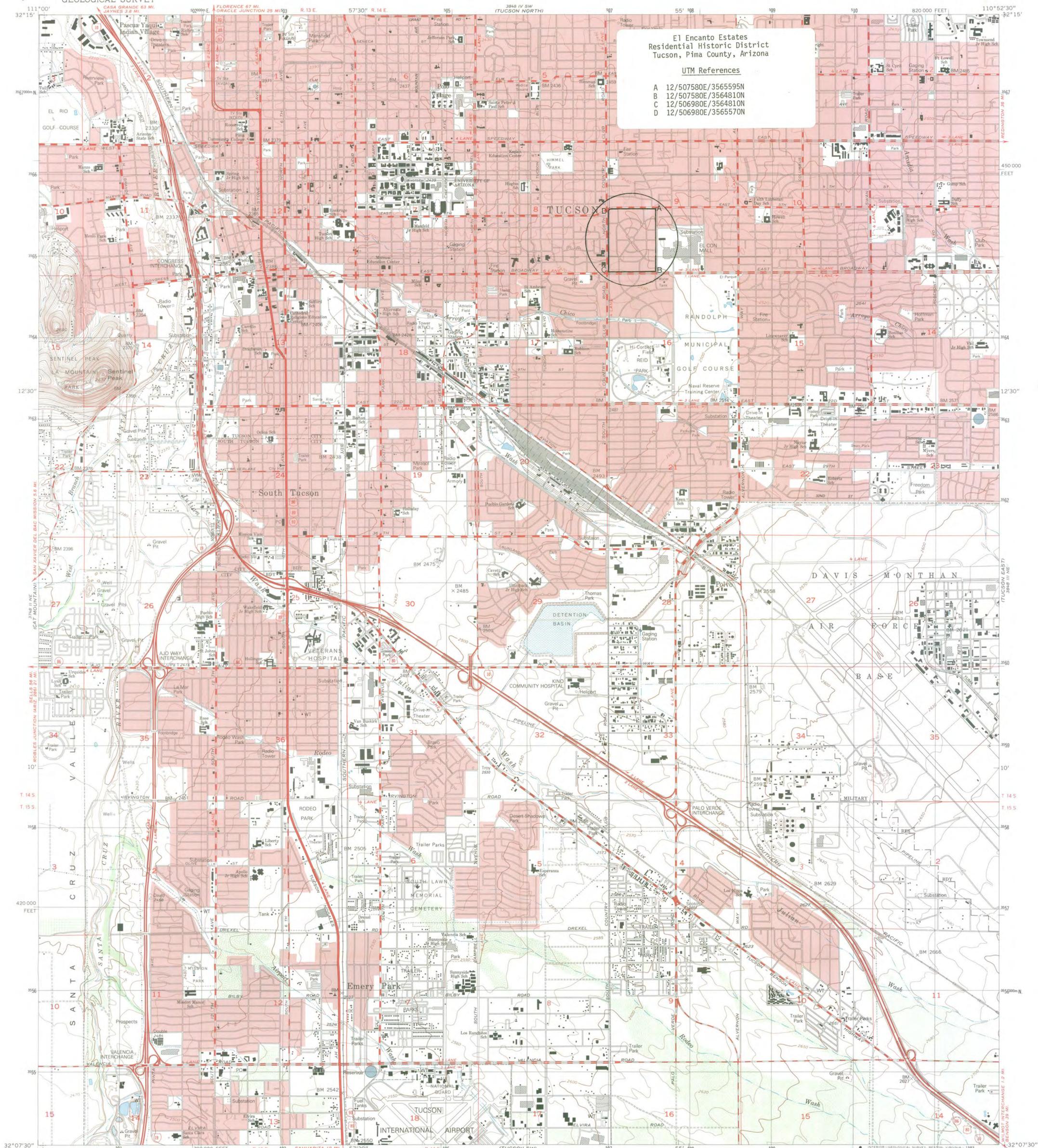
45 E. Camino Español, El Encanto
Pima County, Arizona Estates
1950's AHS: Buehman



Calle Encanto, El Encanto Estates
Pima County, Arizona
March 11, 2002 (Covey 2002)
Photo 5



50 E. Calle Encanto El Encanto Estates
Pima County, Arizona
1950's AHS = Buehman



El Encanto Estates
Residential Historic District
Tucson, Pima County, Arizona

UTM References

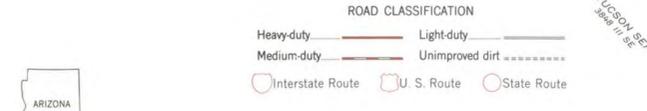
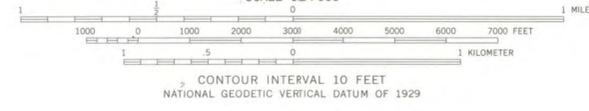
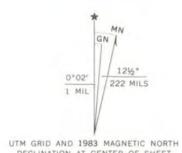
- A 12/507580E/356595N
- B 12/507580E/356481N
- C 12/506980E/356481N
- D 12/506980E/356570N

Mapped, edited, and published by the Geological Survey

Control by USGS and NOS/NOAA
Topography by photogrammetric methods from aerial photography taken 1954. Field checked 1957
Revised from aerial photographs taken 1980
Limited field check 1981. Map edited 1983

Projection and 10,000-foot grid ticks: Arizona coordinate system, central zone (transverse Mercator)
1000-meter Universal Transverse Mercator grid, zone 12 1927 North American Datum
To place on the predicted North American Datum 1983 move the projection lines 6 meters south and 62 meters east as shown by dashed corner ticks
Red tint indicates area in which only landmark buildings are shown

There may be private inholdings within the boundaries of the National or State Reservations shown on this map

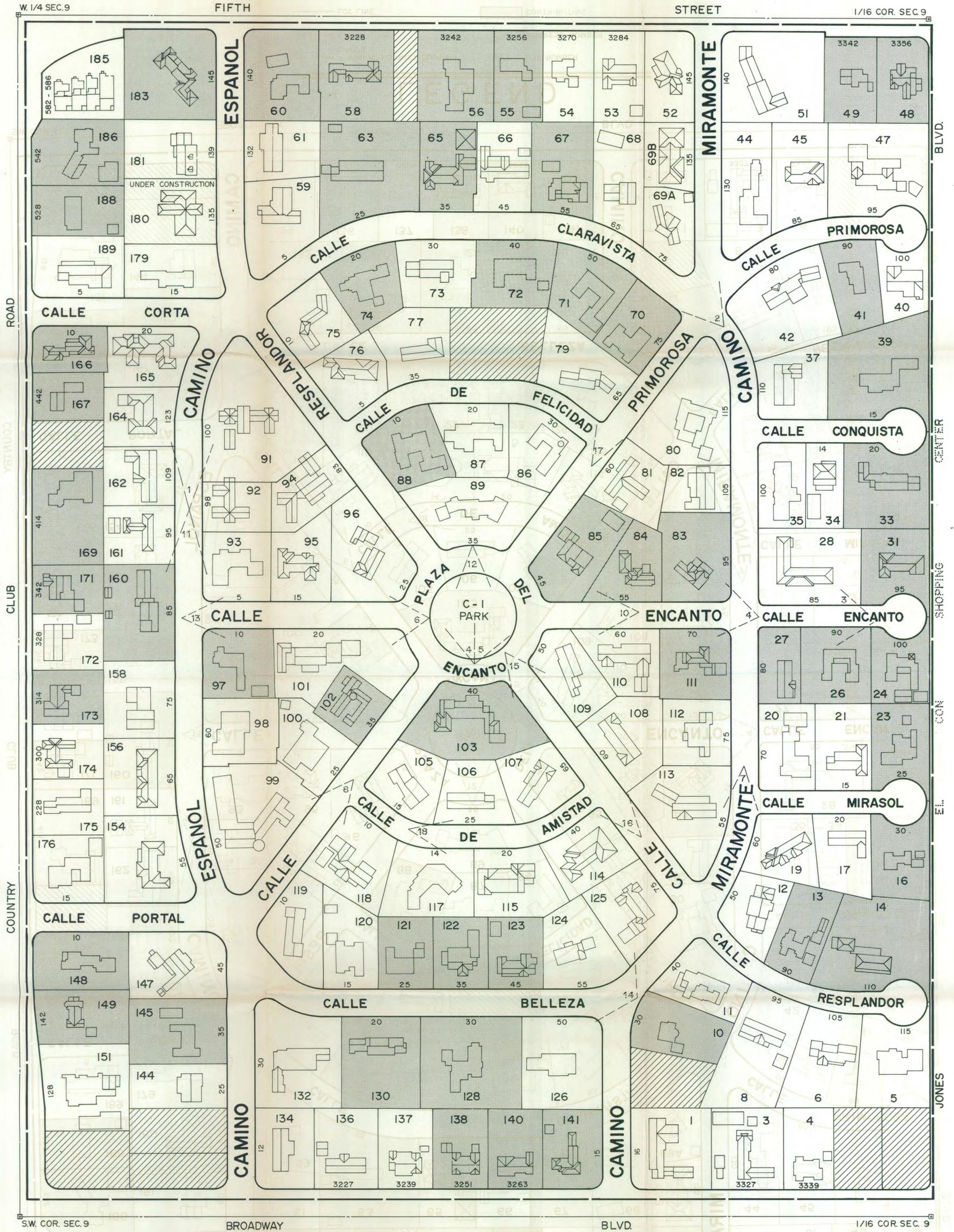


THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U. S. GEOLOGICAL SURVEY, DENVER, COLORADO 80225, OR RESTON, VIRGINIA 22092
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

TUCSON, ARIZ.
N3207.5-W11052.5/7.5
1983
DMA 3848 III NW-SERIES 7989

EL ENCANTO ESTATES

RESUBDIVISION OF A PORTION OF THE S.W. 1/4 SECTION 9,
T.14.S.R.14.E.G. & S.R.B. & M.
PIMA COUNTY, ARIZONA
RECORDED JULY, 1928, BOOK 5, PAGE 35



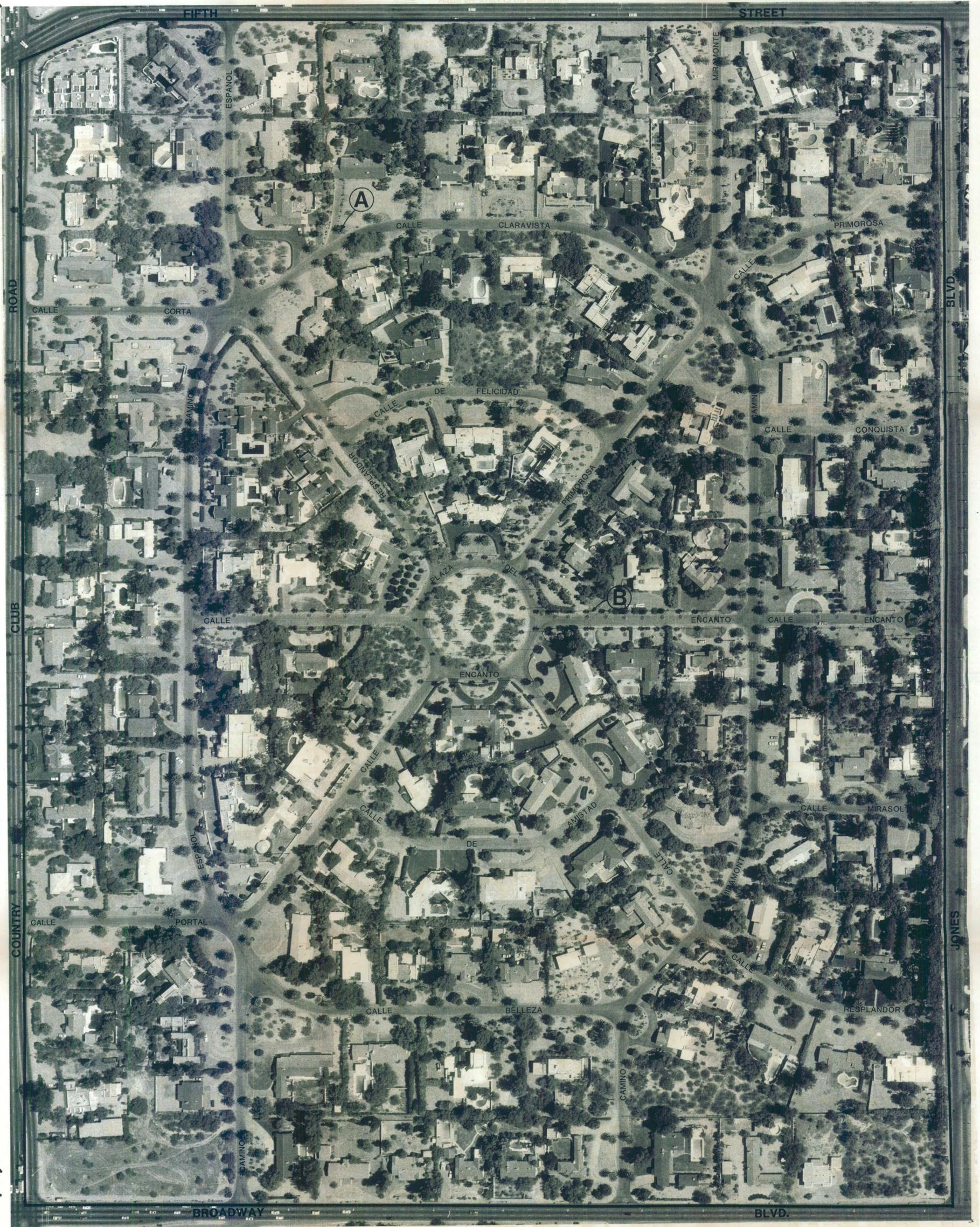
LEGEND

- HISTORIC DISTRICT BOUNDARY
- BLOCK LINE
- LOT LINE
- ESTABLISHED SURVEY MONUMENT
- OVERHEAD VIEW OF EXISTING HOUSE
- STREETScape PHOTO NUMBER & VIEW DIRECTION ARROW
- CONTRIBUTING
- NON-CONTRIBUTING
- VACANT LOT
- 65 LOT NUMBER
- 35 ADDRESS NUMBER

Although not shaded on this map, the park (Site C-1) is considered a contributor to the district.

EL ENCANTO ESTATES

AERIAL LANDSCAPE PLAN



SCALE
1" = 100'



LEGEND

— HISTORIC DISTRICT BOUNDARY LIMITS

(A)

PHOENIX DACTYLIFERA PALM (TYP.)
LINING ALL STREETS ON BOTH SIDES

(B)

WASHINGTONIA ROBUSTA PALM (TYP.)
LINING BOTH SIDES OF CALLE ENCANTO AND PARK AREA

NOTE: ALL PALMS WERE PLANTED IN A SYMMETRICAL PATTERN AS AN ORIGINAL PART OF THE SUBDIVISION. ALL PALMS ARE APPROXIMATELY THE SAME SIZE.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY El Encanto Estates Residential Historic District
NAME:

MULTIPLE
NAME:

STATE & COUNTY: ARIZONA, Pima

DATE RECEIVED: 12/02/10 DATE OF PENDING LIST:
DATE OF 16TH DAY: DATE OF 45TH DAY: 1/17/11
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 87002284

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 1.18.11 DATE

ABSTRACT/SUMMARY COMMENTS:

Additional Documentation Approved

RECOM./CRITERIA Accept
REVIEWER Edson Beall DISCIPLINE History
TELEPHONE _____ DATE 1.18.11

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.

National Register of Historic Places

Note to the record

Additional Documentation: 2015

87002284

RECEIVED 2280

JUN - 5 2015

United States Department of the Interior
National Park Service

Nat. Register of Historic Places
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name El Encanto Estates Residential HD

other names/site number 75 N. Camino Miramonte

2. Location

street & number 75 N. Camino Miramonte not for publication
city or town Tucson vicinity _____
state Arizona code AZ county Pima code 019 zip code 85716

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this nomination _____ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets _____ does not meet the National Register Criteria. I recommend that this property be considered significant _____ nationally _____ statewide locally. (X See continuation sheet for additional comments.)

James W. Garrison AZSHPO 29 MAY 2015
Signature of certifying official Date

ARIZONA STATE PARKS/SHPO
State or Federal agency and bureau

In my opinion, the property _____ meets _____ does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting or other official Date

State or Federal agency and bureau

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section Correction Page 1

75 N. Camino Miramonte

name of property

Pima, AZ

county and State

El Encanto Estates Residential HD

name of multiple property listing

=====

Correction to the El Encanto Estates Residential Historic District, listed/amended on the National Register of Historic Places on 1/9/08.

CONTRIBUTING PROPERTY

ADDRESS: 75 N. Camino Miramonte, Tucson, Pima, AZ

This property is referenced in error as a non-contributor to the El Encanto Estates Residential Historic District, Tucson, Pima County, Arizona in the National Register Nomination.

The owner petitioned SHPO for a review of the property and the City of Tucson agreed that the property looks like it did in 1968 with no changes or alterations.

The Arizona SHPO requests the Keeper to add the property listed above to the "contributor" list in the nomination, as it does, in fact, contribute to the historic fabric of the El Encanto Estates Residential Historic District.

National Register of Historic Places

Note to the record

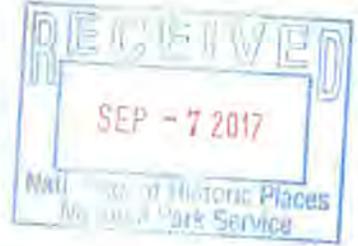
Additional Documentation: 2017

United States Department of the Interior
National Park Service

AD 87002284

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.



1. Name of Property

Historic name: El Encanto Estates Historic District (Amendment)

Other names/site number: _____

Name of related multiple property listing: _____

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: Roughly bounded by Country Club Rd., Broadway Blvd.,
5th Street and Jones Street

City or town: Tucson State: AZ County: Pima

Not For Publication: Vicinity:

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property X meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

 national statewide X local

Applicable National Register Criteria:

 X A B X C D

<u>Kate L...</u>	<u>SHPO</u>	<u>6 Sept 2017</u>
Signature of certifying official/Title:		Date
<u>Arizona State Parks and Trails</u>		
State or Federal agency/bureau or Tribal Government		

In my opinion, the property ___ meets ___ does not meet the National Register criteria.	
Signature of commenting official:	Date
Title :	State or Federal agency/bureau or Tribal Government

El Encanto Estates Historic District
Name of Property

Pima, AZ
County and State

4. National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:) *additional doc. accepted*

[Signature]
Signature of the Keeper

10/23/17
Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

Category of Property

(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

El Encanto Estates Historic District
Name of Property

Pima, AZ
County and State

Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u>29</u>	buildings
<u> </u>	<u> </u>	sites
<u> </u>	<u> </u>	structures
<u> </u>	<u> </u>	objects
<u> </u>	<u> </u>	buildings
<u>1</u>	<u> </u>	Total

Number of contributing resources previously listed in the National Register 116

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC/single-family dwellings

DOMESTIC/multi-family dwellings

Current Functions

(Enter categories from instructions.)

DOMESTIC/single-family dwellings

DOMESTIC/multi-family dwellings

El Encanto Estates Historic District
Name of Property

Pima, AZ
County and State

The El Encanto Estates Historic District in Tucson, Pima County, Arizona, was listed in the National Register of Historic Places on January 29, 1988. A subsequent amendment to the district, approved January 9, 2008, expanded the period of significance to 1961 and reclassified several properties from noncontributing to contributing.

The house at **109 North Camino Espanol** was constructed in 1961 and is within the district's period of significance. The original survey of the neighborhood erroneously identified this building as having been designed by Anne Rysdale, at one time the sole woman architect practicing in the State of Arizona. The property was believed to have been substantially altered.

The owner of the property provided original architectural plans for this house to the Arizona State Historic Preservation Office. The plans are dated 1958 and by architect Howard Peck, of whom little is known apart from his entry in the American Institute of Architects Directory of 1962. These plans included a rendering of the building's facades which indicate the house has undergone almost no alterations to the primary façade apart from the construction of a garage addition to the right (south) wing.



109 N. Camino Espanol (1987)



109 N. Camino Espanol (2016)

The number of contributing/noncontributing resources has been updated on the previous page and a revised historic district map is attached.

El Encanto Estates Historic District
Name of Property

Pima, AZ
County and State

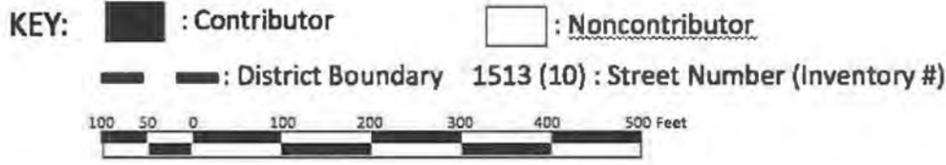
10. Form Prepared By

name/title: William Collins
organization: Arizona State Historic Preservation Office
street & number: 1100 W. Washington St.
city or town: Phoenix state: AZ zip code: 85007
e-mail: wcollins@azstateparks.gov
telephone: 602.542.7159
date: September 6, 2017

Additional Documentation

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)



El Encanto Historic District
Tucson, Pima County
 (Map revised 2017)



E. BROADWAY BLVD.

National Register of Historic Places
Memo to File

Correspondence

The Correspondence consists of communications from (and possibly to) the nominating authority, notes from the staff of the National Register of Historic Places, and/or other material the National Register of Historic Places received associated with the property.

Correspondence may also include information from other sources, drafts of the nomination, letters of support or objection, memorandums, and ephemera which document the efforts to recognize the property.



December 9, 1987

ARIZONA STATE PARKS

800 W. WASHINGTON
SUITE 415
PHOENIX, ARIZONA 85007
TELEPHONE 602-255-4174

EVAN MECHAM
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DEPUTY DIRECTOR

Ms. Carol D. Shull
Keeper of the National Register
National Register of Historic Places
National Park Service
U. S. Department of the Interior
Washington, D. C. 20240

RE: El Encanto Estates Historic District
National Register Nomination

Dear Ms. Shull:

I am pleased to submit a National Register of Historic Places nomination for the property referenced above.

The nomination includes 54 contributing resources counted as follows:

53 Buildings
1 Site (Park)

Accompanying documentation is enclosed, as required. We look forward to your response.

Sincerely,

Shereen Lerner, Ph.D.
State Historic Preservation Officer

Enclosure

DEC 11 1987

October 26, 1987

Arizona Historic Sites
Review Committee
800 W. Washington, Ste. 415
Phoenix, AZ 85007

RE: THE TWO LOTS AT THE SOUTHEAST CORNER OF EL ENCANTO ESTATES
FRONTING ON BROADWAY BLVD.

Dear Sirs:

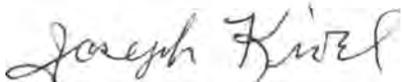
Having just been informed of your pending meeting and being unable to attend, I would like to go on record as stating:

We are the owners of the two vacant lots at the southeast corner of El Encanto Estates fronting on Broadway Blvd.

We would like to express our opposition to any historic designation for our lots; due to the location of our lots and the fact that they are vacant and no one would want to build a home on such a busy street, we request that they be excluded from your action, if you do designate this area as a historic district.

We would also like to call your attention to the fact that the majority of the homes in this subdivision were built long after 1941 and for the most part lack historic significance.

Cordially,

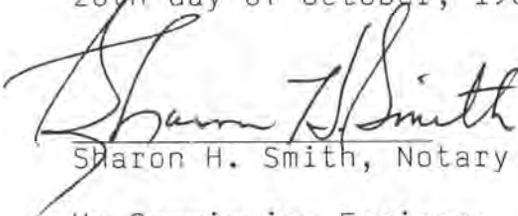


Joe Kivel

JKK/jn.

STATE OF: ARIZONA
COUNTY OF: PIMA

Signed before me by, Joseph K. Kivel. Witnessed this
26th day of October, 1987 by me.



Sharon H. Smith, Notary Public

My Commission Expires: September 14, 1989

87002284
150

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

El Encanto Estates Residential Historic District
Pima County
ARIZONA

DEC 11 1987

Substantive Review

Working No. _____
Fed. Reg. Date: 2/7/89
Date Due: 1/7/88 - 1/25/88
Action: ACCEPT 1-29-88
 RETURN
 REJECT

Federal Agency: _____

- resubmission
- nomination by person or local government
- owner objection
- appeal

Substantive Review: sample request appeal NR decision

Reviewer's comments:

This well-prepared nomination is significant under criterion A for community planning and landscape architecture and criterion C for architecture. Nomination sent to Jerry Rogers for signing because district had a preponderance of non-contributing resources most of which were less than 50's. Nomination was originally received without a copy of the lone objection received from a district property owner.

Recom./Criteria Accept - A & C
Reviewer Noble
Discipline Historian
Date 1/29/88
 see continuation sheet

Nomination returned for: technical corrections cited below
 substantive reasons discussed below *owner. Following several conversations with Carol Shull and Lars Hanson, the decision was made to not act on this nomination until the letter was received. (see attached comments sent to Jerry Rogers.)*

1. Name _____

2. Location _____

3. Classification _____

Category	Ownership	Status	Present Use
	Public Acquisition	Accessible	

4. Owner of Property _____

5. Location of Legal Description _____

6. Representation in Existing Surveys

Has this property been determined eligible? yes no

7. Description

Condition	Check one	Check one
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> original site
<input type="checkbox"/> good	<input type="checkbox"/> ruins	<input type="checkbox"/> moved date _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed	
	<input type="checkbox"/> unaltered	
	<input type="checkbox"/> altered	

Describe the present and original (if known) physical appearance

- summary paragraph
- completeness
- clarity
- alterations/integrity
- dates
- boundary selection

8. Significance

Period _____ Areas of Significance—Check and justify below

Specific dates _____ Builder/Architect _____
Statement of Significance (in one paragraph)

- summary paragraph
- completeness
- clarity
- applicable criteria
- justification of areas checked
- relating significance to the resource
- context
- relationship of integrity to significance
- justification of exception
- other

9. Major Bibliographical References

10. Geographical Data

Acreage of nominated property _____
Quadangle name _____
UTM References _____

Verbal boundary description and justification _____

11. Form Prepared By

12. State Historic Preservation Officer Certification
The evaluated significance of this property within the state is:

____ national ____ state ____ local

State Historic Preservation Officer signature _____

title _____ date _____

13. Other

- Maps
- Photographs
- Other

Questions concerning this nomination may be directed to _____

Signed _____ Date _____ Phone: _____

El Encanto Estates Historic District

Justification for Listing a less-than-fifty-year old property:

El Encanto Estates Historic District, located in Tuscon, AZ, is a planned subdivision with a period of significance extending from 1929-1941. The district is significant under criterion A for community planning and landscape architecture, and under criterion C for architecture. The historic photographs clearly indicate that the district's community planning and landscape features, upon which the district's primary significance rests, date to 1929 when the subdivision was originally created.

The district consists of 53 contributing buildings and one contributing site. Of the 53 contributing buildings, six are less than fifty years old. However, the district also includes 92 non-contributing resources. Most of these 92 resources are designated as non-contributing because they are less than fifty years old, although these non-contributing resources are very compatible with the historic portion of the district based on similar qualities of design, architectural style, and scale. Furthermore, the nomination indicates that 21 of the non-contributing resources will ultimately become eligible for contributing status once they turn fifty years old. When this happens, the district will have an approximately equal number of contributing and non-contributing elements. Although the present preponderance of non-contributing properties is an issue to be considered, it would appear that the district is still worthy of National Register listing based on the fact that its primary significance is associated with its community planning and landscape features which are documented to be well over fifty years of age.

In short, this nomination is extremely well-prepared. The quality of the historical documentation, the photographs, and the maps is very high. In addition, an active neighborhood association fully supports the nomination. Given all these factors, it would seem that a very strong case can be made for listing this district on the National Register.

REQUEST FOR DECISION ON PROPERTIES ACHIEVING SIGNIFICANCE WITHIN THE LAST 50 YEARS

Names of Nominated Properties:

Recommendation:

El Encanto Estates Historic District

Accept

Others (see attached): yes ___ no X

Explanation of recommendation:

X attached to this sheet

___ attached to individual property evaluation/return sheet

___ attached to MRA/Theme cover evaluation/return sheet

Additional Comments:

Although only one district property owner submitted a letter of objection, to Arizona SHPO neglected to include this letter with the documentation when the nomination was forwarded to the National Register. The nomination was originally due to be acted upon by 1/25/88, but several conversations with Lars Hanslin and Carol Shull resulted in a decision to not take any action on the nomination until the letter of objection arrived in the National Register office. If the decision is made to sign the nomination, please use the date of your review as the official signing date.

Reviewer: Bruce Noble

Date: 1/28/88



January 25, 1988

ARIZONA STATE PARKS

800 W. WASHINGTON
SUITE 415
PHOENIX, ARIZONA 85007
TELEPHONE 602-255-4174

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KENNETH E. TRAVOUS
EXECUTIVE DIRECTOR

COURTLAND NELSON
DEPUTY DIRECTOR

Ms. Carol D. Shull
National Register of Historic Places
National Park Service
U. S. Department of the Interior
P. O. Box 37127
Washington, D. C. 20013-7127

ATTN: Mr. Bruce Noble

RE: El Encanto Estates Historic District Nomination

Dear Ms. ^{Shull} Shull:

I am enclosing the one notarized letter of objection we received regarding this nomination.

Thank you for your assistance.

Sincerely,

Shereen Lerner, Ph.D.
State Historic Preservation Officer

enclosure

JAN 27 1988

AUG 23 1993



ARIZONA STATE PARKS

1300 W. WASHINGTON
PHOENIX, ARIZONA 85007
TELEPHONE 602-542-4174

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EXECUTIVE DIRECTOR

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DEPUTY DIRECTOR

August 18, 1993

Carol D. Shull
Keeper of the National Register
National Register of Historic Places
National Park Service
U.S. Department of the Interior
Washington, D.C. 20240

RECEIVED

AUG 23 1993

NATIONAL
REGISTER

Re: Amendment to the El Encanto Residential Historic District National Register Listing

Dear Ms. Shull:

I am pleased to submit an amendment for the historic district referenced above which was listed in the National Register in 1987 .

The buildings involved were originally considered *non-contributors* due to age or lack of integrity. A reevaluation of the district has been thoroughly reviewed by our office; owners of the properties; the Tucson-Pima County Historical Commission; and the Arizona Historic Sites Review Committee. All concur in the decision.

Accompanying documentation is enclosed, as required. We look forward to your response.

Sincerely,

James Garrison
State Historic Preservation Officer
Arizona State Historic Preservation Office

enclosure

rnw:wsc



ARIZONA STATE PARKS

1300 W. WASHINGTON
PHOENIX, ARIZONA 85007
TELEPHONE 602-542-4174

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STATE LAND COMMISSIONER

KENNETH E. TRAVOUS
EXECUTIVE DIRECTOR

CHARLES R. EATHERLY
DEPUTY DIRECTOR

November 19, 1994

Ms. Carol D. Shull
Keeper of the National Register
National Register of Historic Places
National Park Service
U.S. Department of the Interior
Washington, D.C. 20240

Re: Correction to the **El Encanto Estates
Residential Historic District**
Pima County

Dear Ms. Shull:

We have received information indicating that a historic property was inadvertently left off out of the list of contributors when additional documentation was furnished on the above district and listed September 16, 1993. To correct that situation, we are enclosing the following:

Continuation sheet
Photo of the property in question
Map showing location of the property

If you have questions, please contact our historian, Dr. Reba Wells Grandrud, at 602-542-7139.

Sincerely,

James Garrison
State Historic Preservation Officer

RWG:n
encl.



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY El Encanto Estates Residential Historic District
NAME:

MULTIPLE
NAME:

STATE & COUNTY: ARIZONA, Pima

DATE RECEIVED: 12/01/94 DATE OF PENDING LIST:
DATE OF 16TH DAY: DATE OF 45TH DAY: 1/15/95
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 87002284

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: Y PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 12/6/94 DATE

ABSTRACT/SUMMARY COMMENTS:

RECOM./CRITERIA _____
REVIEWER _____
DISCIPLINE _____
DATE _____

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

CLASSIFICATION

count resource type

STATE/FEDERAL AGENCY CERTIFICATION

FUNCTION

historic current

DESCRIPTION

architectural classification
 materials
 descriptive text

SIGNIFICANCE

Period Areas of Significance--Check and justify below

Specific dates Builder/Architect
Statement of Significance (in one paragraph)

summary paragraph
 completeness
 clarity
 applicable criteria
 justification of areas checked
 relating significance to the resource
 context
 relationship of integrity to significance
 justification of exception
 other

BIBLIOGRAPHY

GEOGRAPHICAL DATA

acreage verbal boundary description
 UTM's boundary justification

ACCOMPANYING DOCUMENTATION/PRESENTATION

sketch maps USGS maps photographs presentation

OTHER COMMENTS

Questions concerning this nomination may be directed to

Signed _____ Phone _____

Date _____



November 26, 2007



Ms. Janet Matthews
National Register Keeper
National Park Service
1201 Eye Street, NW 8th Floor
Washington, D.C. 20005

Janet Napolitano
Governor

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www.azstateparks.com

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(520 & 928) area codes

General Fax:
602.542.4180

Director's Office Fax:
602.542.4188

Re: **El Encanto Estates Historic District Amendment, Pima County**

Dear Ms. Matthews:

It is my pleasure to submit the enclosed National Register of Historic Places amendment to the El Encanto Estates Historic District, located in the city of Tucson, Pima County, Arizona

The El Encanto Estates Historic district was originally listed in the National Register on January 29, 1988 and has been amended on several occasions; the most recent amendment was approved on February 22, 2002. It is listed at the local level of significance under Criteria A and C. The current amendment to the Historic District expands the period of significance end date to 1961 to recognize the effective "build out" date for the neighborhood. This amendment adds an additional 19 contributing and 4 non-contributing buildings to the district.

Please feel free to call me at (602) 542-7136 if you have any questions.

Sincerely,

Kathryn Leonard
National Register Coordinator
Arizona State Historic Preservation Office

enclosure

DECLARATION OF ESTABLISHMENT OF CONDITIONS AND RESTRICTIONS
OF
EL ENCANTO ESTATES, Inc., ET AL.

Filed for record with the Recorder of Pima County, Arizona, January 21, 1929.

Recorded Volume 34, Miscellaneous Records of Pima County, Arizona.

KNOW ALL MEN BY THESE PRESENTS:

That El Encanto Estates, Inc., a corporation, is the owner in fee simple of all of that tract of land situated in the County of Pima, State of Arizona, and known, and described as the Southwest Quarter (SW $\frac{1}{4}$) of Section Nine (9) T14S, R14E, G. & S.R.B. & M., save and except the East One-Half (E $\frac{1}{2}$) of the East One-Half (E $\frac{1}{2}$) of said Southwest Quarter (SW $\frac{1}{4}$) of Section Nine (9), and the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the said Southwest Quarter (SW $\frac{1}{4}$) of Section Nine (9), and a tract of land two hundred eight (208) feet square, lying in the Southeast (SE) corner of the Southwest Quarter (SW $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of said Section Nine (9), and save and except all legal highways, over, along, across, upon, and through the same.

That L. C. James and Annette May James, his wife, are the owners in fee simple of a tract of land situated in the County of Pima, State of Arizona, and known, and described as the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of Section Nine (9), T14S, R14E, G. & S.R.B. & M., and save and except all legal highways over, along, across, upon, and through the same.

That W. B. Powhatan and Ethel C. Powhatan, his wife, are the owners in fee simple of a tract of land situated in the County of Pima, State of Arizona, and known, and described as being two hundred eight (208) feet square, lying in the Southeast (SE) corner of the Southwest Quarter (SW $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Southwest One-Fourth (SW $\frac{1}{4}$) of said Section Nine (9), T14S, R14E, G. & S.R.B. & M., and save and except all legal highways over, along, across, upon, and through the same.

That said El Encanto Estates, Inc., L. C. James and Annette May James, his wife, and W. B. Powhatan and Ethel C. Powhatan, his wife, have caused their said property to be subdivided together as one tract of land, and to be platted, and a map thereof made; that said map has been by said El Encanto Estates, Inc., by L. C. James and Annette May James, his wife, by W. B. Powhatan and Ethel C. Powhatan, his wife, signed, executed and acknowledged, as by law required; that said subdivision of said three parcels or tracts of land is named and known on said map and plat as "El Encanto Estates"; that said subdivision plan, as shown on said plat, and map, was duly approved by the Mayor and Common Council of the City of Tucson, Arizona, on the 6th day of August, 1928; that said subdivision plan, plat, and map was on the 7th day of August, 1928, duly approved by the Board of Supervisors of Pima County, Arizona; that said subdivision plan, plat, and map was on the 7th day of August, 1928, duly presented for record to the Recorder of Pima County, Arizona, and was by said Recorder, on said date, duly recorded in Volume 5 at Page 35, of the "Map and Plat Book," of said Pima County, Arizona, on file in the office of said Recorder.

That wherever reference is hereinafter made to any specific lot, said lot is referred to and described by the number thereof that appears on said recorded map and/or plat.

That all parts of the two aforesaid parcels or tracts of land owned respectively by El Encanto Estates, Inc., and by W. B. Powhatan and Ethel C. Powhatan, his wife, and which are included in said subdivision and/or allotment as aforesaid, are hereinafter known as "said property."

That each and every lot shown on said recorded map and/or plat as lying within and being included within the aforesaid two parcels of land owned respectively by El Encanto Estates, Inc., and by W. B. Powhatan and Ethel C. Powhatan, his wife, are hereinafter known as "lot" and/or as "lots."

That said owners, El Encanto Estates, Inc., and W. B. Powhatan and Ethel C. Powhatan, his wife, hereby certify and declare that they have and do hereby establish a general plan for the improvement, development, ownership, use, sale, and conveyance of their said property and each and every part thereof, and do hereby establish the manner, the conditions, the restrictions, and the covenants, upon and subject to which said property and each and every lot shown on said recorded map and plat as lying within and being located in said property, shall henceforth only be occupied, used, owned, sold and conveyed; that said property and each and every lot shown on said recorded map and/or plat as lying within and being located in said property, shall be improved, developed, used, owned, sold and conveyed, by El Encanto Estates, Inc., and by W. B. Powhatan, and Ethel C. Powhatan, his wife, respectively, as owners thereof, subject to such said restrictions, conditions, and covenants, all of which are fully hereinafter set forth, and which conditions, restrictions, and covenants, one and all, are for the benefit of the present and all future owners, of said lots, and all of the same; that said conditions, restrictions, and covenants, shall each and all apply to and bind the respective successors in interest of the present and/or of all future owner, or owners of said lots, and all of the same; that each of said conditions, restrictions, and covenants, shall impose upon each and all of said lots, a servitude in favor of each and every lot in the said property, as the dominant tenement of tenements; that said conditions, restrictions, and covenants are as follows, to-wit:

The present easterly end of Calle Resplandor, Calle Mirasol, Calle Encanto, Calle Primorosa, Calle Conquista shall not before January 1, 1953, be extended beyond their present easterly end, or terminus, as the same is shown on the plat of said property hereinbefore referred to, and none of the lots adjoining said streets, as shown on said plat, and no part of said lots, and no lot shown on said plat as adjoining and/or adjacent to the present easterly property line of

said property, shall be used before January 1, 1953, for the establishment and/or maintenance of any public way for the passage of persons and/or vehicles to and/or from said property and the land that at the time of the execution hereof, adjoins the easterly property line of said property.

It being the intention of this provision that no means of public ingress and/or egress of persons and/or vehicles, prior to January 1, 1953, shall be permitted between said property and the land that at the time of the execution of this Declaration lies adjoining and immediately east of the present easterly property line of said property.

From and after January 1, 1953, the owners of a majority of the foot frontage on any one of the aforesaid streets may in writing agree to the opening and extension of such street for public use, to a connection with the land lying immediately east of, and adjoining the present easterly boundary of said property, and/or for a connection with any then existing highway maintained thereon; and such owners may then take such proceedings as are authorized by law to accomplish their said purpose.

1. Each and every lot (except only as is hereinafter set forth and provided) shall be used for private residence purposes only.

No Business of any nature (except as hereinafter set forth) shall be conducted on any lot, and no building or structure intended for, or adapted to business purposes, and no apartment house, double house, flat building, lodging house, rooming house, hotel, hospital, sanitarium, and/or sanatorium, shall be erected, placed, permitted, or maintained on any lot, provided, however, that nothing herein contained shall be held to prevent the carrying on of the professional business of a physician and/or surgeon, in one or more rooms of a private residence building, which is constructed for, and occupied as a private residence. No bill boards, or advertising signs of any character shall be erected, placed, permitted, or maintained on any lot, and/or on any building erected thereon, other than reasonable signs relative to the sale or rent of lots, or portions thereof, or professional signs, and of physicians and/or surgeons. No sign of a physician and/or surgeon shall exceed a size of one square foot, and no sign of any character shall be placed on any building and/or lot, until the proposed sign has been in writing authorized by El Encanto Estates, Inc., nor shall such sign be placed and/or maintained on any building or lot, except in the position authorized in writing by El Encanto Estates, Inc.

No lot shall be used in whole or in part for the storage of rubbish of any character whatsoever, nor for the storage of any property or thing that will cause such lot to appear in an unclean or untidy condition or that will be obnoxious to the eye, nor shall any substance, thing or material be kept upon any lot that will emit foul or obnoxious odors, or that will cause any noise that will or might disturb the peace, comfort, or serenity of the occupants of surrounding property.

2. No temporary, house, dwelling, or garage shall be placed or erected upon any lot. No residence placed or erected on any lot shall be occupied in any manner while in the course of construction, nor at any time prior to its being fully completed as herein required.

The work of constructing any residence or building erected on any lot shall be prosecuted diligently and continuously, from commencement thereof until the same is completed in conformity with the Conditions and Restrictions herein contained.

El Encanto Estates, Inc., for itself and its successors, and assigns, hereby reserves the right and privilege to use all, or such parts of lots Nos. 24, 25, 26, 29, 30, and 31, as it may from time to time desire, for the construction and maintenance thereon, of tennis courts, bowling greens, putting greens, and other recreational facilities, for the use of lot owners, their families and guests, but under such rules and regulations as it, El Encanto Estates, Inc., may from time to time establish.

3. No cattle, cows, sheep, hogs, rabbits, poultry, or other livestock, shall be kept or maintained upon any lot. This paragraph shall not be construed, however, as prohibiting or in any manner interfering, with the keeping of ordinary domestic pet animals.

4. No derrick or other structure designed for use in boring for water, oil or natural gas, shall be erected, placed, or maintained upon any lot, nor shall any water, oil, natural gas, petroleum, asphaltum, or hydro-carbon products or substances be produced or extracted from any lot.

5. No lot shall be sold, conveyed, rented, or leased, in whole or in part, to any person not of the White or Caucasian race.

6. Only one first-class private residence and one private garage may be erected, placed, or maintained on any one lot.

7. No residence building shall be erected on any lot, unless it cost to erect, at least, and is, when erected, fairly worth, inclusive of a separate or detached garage building, at least, the following sums of money, to-wit:

On Lots Numbered	Cost and Value of Residence, inclusive of a separate or detached garage building, on each lot, shall be at least,
1, 2, 3, 4, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 136, 137, 138, 139, 140, 141, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 183, 184, 185, 186, 187, 188, 189, 201.....	\$ 8,000.00
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 61, 62, 63, 64, 65, 66, 67, 68, 69, 126, 127, 128, 129, 130, 131, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 178, 179, 180, 181, 182.....	\$10,000.00
70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 120, 121, 122, 123, 124, 125.....	\$12,000.00

8. Any main residence building erected or placed upon any lot, excluding an uncovered porch, steps, and/or roof projection at the eaves, shall be placed or constructed at least thirty five (35) feet from any street line, and at least twenty (20) feet from any lot line. No separate or detached garage building, shall be erected or placed within fifty (50) feet of any street line, nor at any location that has not been first in writing, authorized by El Encanto Estates, Inc. No fence, or structure of any character whatsoever (other than those hereinbefore in this paragraph specifically mentioned) shall be erected, placed, or maintained, upon any lot except at such location as shall in writing have been first authorized by El Encanto Estates, Inc.

Any building erected upon any lot shall be erected according to the Building Code of the City of Tucson, Arizona, in effect at the time such building is erected.

9. Before beginning the construction of any building, fence, wall, coping, or other structure whatsoever, on any lot, the person or persons desiring to erect the same shall submit to an Architect, a resident of Tucson, Arizona, to be appointed from time to time by El Encanto Estates, Inc., and at such time in its employ, two complete sets of building plans and specifications for the building, fence, wall, coping, or other structure, so desired to be erected, and no structure of any kind, the plans, elevations and specifications of which have not received the written approval of said Architect, and which does not comply fully with such approved plans and specifications, shall be erected, placed, or maintained upon any lot. Approval of such plans and specifications shall be evidenced by the written endorsement of said Architect, made on said plans and specifications, and one copy thereof shall be delivered by said Architect, to the owner, or owners, of said prospective building, or other structure, or to his or their agent or representative, prior to beginning said construction. One set of said plans and specifications shall be delivered to El Encanto Estates, Inc., to be kept permanently by it. Disapproval of such plans and specifications shall be evidenced by a written instrument, signed by said Architect, and in such event, both sets of said plans and specifications, together with said written instrument, shall be delivered by said Architect to the owner, or owners of said prospective building or other structure, or his or their agent or representative, and said instrument shall set forth the reasons why said plans and specifications are disapproved. Said Architect shall either approve or disapprove said plans and specifications within fifteen days from the date when the same were submitted to him. No changes or alterations and/or deviation in or from said plans and specifications as approved by said Architect, insofar as the exterior of the proposed structure is concerned, shall be made without the written approval of said Architect being first had. The El Encanto Estates, Inc., shall not be responsible for any structural defects in said plans and/or specifications nor in any building or structure erected according to such plans and/or specifications.

Said Architect shall have the right and privilege to disapprove any and all plans and specifications submitted to him as aforesaid, for any one or more of the following reasons, to-wit:

A. If said plans and specifications are not in exact accordance with each and every provision of this Declaration of Conditions and Restrictions relating thereto.

B. If the Architectural design of the proposed building or other structure as shown by said plans and specifications, be not of Moroccan, Spanish, Italian, Mexican, Indian, or Early Californian Architecture. The decision of said Architect upon said subject shall be final.

C. If in the opinion of said Architect, the Architectural design of the proposed building or other structure as shown by said plans and specifications, be not in harmony with the general surroundings, or with the buildings or structures adjacent to the location at which said proposed building or other structure is intended to be erected. The decision of said Architect upon said subject shall be final.

D. Said Architect shall have no right to disapprove any of said plans and specifications except for one or more of the reasons hereinbefore specifically mentioned.

10. No person shall reside in any garage erected on any lot until the construction and completion of a private residence on such said lot, provided however, that nothing herein contained shall be construed to prevent the incorporation and construction of a garage in and as a part of a residence.

11. An ownership or single holding by any person, comprising parts of two adjoining lots, or the whole of one lot and part or parts of one or more adjoining lots, may at the option of El Encanto Estates, Inc., as to lots within that portion of said property, which at the date of the execution hereof, are owned by it, or at the option of W. B. Powhatan and Ethel C. Powhatan, his wife, as to lots within that portion of said property which at the date of the execution hereof, are owned by them, as owners respectively of the reversionary rights herein provided for, and for all purposes of this Declaration, be deemed as constituting a single lot.

12. No residence shall be removed from without said property, to any lot, without the written consent of El Encanto Estates, Inc. In the event a house should be so moved onto such said lot, said house must comply in all respects with the provisions, conditions, restrictions, and covenants contained herein, before the same can be used or occupied as a residence, or for any other purpose.

13. PROVIDED, that the aforesaid Provisions, Conditions, Restrictions, and Covenants (except only as is hereinbefore set forth) shall continue and remain in full force and effect at all times as against any owner of any lot, however his title thereto may have been acquired, until January 1st, 1979, on which date the said Conditions and Restrictions shall terminate and end, and thereafter be of no further legal or equitable effect on said property, or any part thereof, or any owner thereof, except that the Restrictions referring to persons not of the White or Caucasian race, shall be perpetual. Although certain conditions and covenants expire January 1st, 1979, any and all reversions for breach of any of said conditions or covenants committed or suffered prior to January 1st, 1979, shall be absolute.

PROVIDED FURTHER: that in the event of a breach of any one or more of the provisions, conditions, restrictions, or covenants herein established, the owner or owners of the lot or lots upon which such breach has occurred, or has been, or is being committed, and/or continued, shall be notified in writing by El Encanto Estates, Inc., to discontinue, correct, remove, or abate the same, and if said owner or owners shall fail or neglect to discontinue, correct, remove, or abate such breach or breaches for a period of thirty days from and after the date he and/or they have been so notified, such failure and/or neglect shall cause such said lot or lots, upon which said breach or breaches has occurred, and/or has been committed, and/or is being continued, to revert to El Encanto Estates, Inc., if such lot is included in that part of said property now owned by El Encanto Estates, Inc., or if such lot or lots is in that part of said property now owned by W. B. Powhatan and Ethel C. Powhatan, his wife, the same shall revert to them, as owners

of the reversionary rights respectively herein provided for, and the owners of such reversionary rights respectively shall, in such said event, have the right of immediate re-entry upon such of said lot or lots as are included in that part of said property now owned by them respectively, and may take and hold the same free from any claim, rights, or title of such said owner or owners; that as to each lot owner, the said provisions, conditions, restrictions, and covenants herein contained shall be covenants running with the land and the breach of any thereof, beyond said thirty-day period, may be enjoined, abated, or remedied by appropriate proceedings by the owner or owners (jointly, or by any one or more of them), of the reversionary rights, or by any owner of any lot, but by no other persons.

PROVIDED FURTHER, that a breach of any of the foregoing provisions, conditions, restrictions, or covenants, or any re-entry by reason of such breach, shall not defeat or render invalid the lien of any Mortgage or Deed of Trust made in good faith for value as to any lot or lots or portions of lots in said property, but the same provisions, conditions, restrictions and covenants shall be binding upon and effective against all persons owning or claiming to own any of said lots whose title thereto, or the title of whose grantor thereto, is or was acquired by foreclosure, judicial sale, trustee's sale or otherwise.

15. An exclusive easement and right of way in perpetuity is hereby reserved by El Encanto Estates, Inc., over, under, along, across, upon, and through, the northerly five feet of lots Nos. 1, 2, 3, 4, 9, 10, 12, 13, 14, 15, 20, 21, 22, 23, 28, 29, 30, 31, 36, 37, 38, 39, 44, 45, 46, 47, 61, 62, 63, 64, 65, 66, 67, 68, 69, 76, 77, 78, 79, 81, 82, 83, 84, 85, 89, 90, 92, 93, 94, 95, 96, 98, 99, 100, 105, 106, 107, 108, 112, 113, 120, 121, 122, 123, 124, 125, 136, 137, 138, 139, 140, 141, 159, and 172; also over, under, along, across, upon, and through, the southerly five feet of lots Nos. 5, 6, 7, 8, 9, 10, 11, 16, 17, 18, 19, 24, 25, 26, 27, 32, 33, 34, 35, 40, 41, 42, 43, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 70, 71, 72, 73, 74, 75, 80, 81, 82, 86, 87, 88, 91, 92, 94, 97, 98, 100, 101, 102, 103, 104, 108, 109, 110, 111, 112, 114, 115, 116, 117, 118, 126, 127, 128, 129, 130, 131, 160, and 171; also over, under, along, across, upon, and through, the easterly five feet of lots Nos. 4, 5, 9, 10, 11, 12, 15, 16, 19, 20, 23, 24, 27, 28, 31, 32, 35, 36, 39, 40, 43, 44, 47, 48, 57, 81, 84, 92, 93, 97, 98, 108, 110, 137, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 184, 185, 186, 187, 188, and 189; also over, under, along, across, upon, and through, the westerly five feet of lots Nos. 8, 13, 18, 21, 26, 29, 34, 37, 45, 56, 82, 83, 94, 95, 100, 101, 111, 112, 120, 131, 136, 138, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 178, 179, 180, 181, 182, and 183; also over, under, along, across, upon, and through, the westerly fifteen feet of lot No. 42; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the southerly prolongation of the northerly and southerly dividing line between lots Nos. 97 and 101, to the Northeast corner of lot No. 98; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the southerly prolongation of the northerly and southerly dividing line between lots Nos. 110 and 111, to the northwest corner of lot No. 112; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the northerly prolongation of the northerly and southerly line dividing lots Nos. 93 and 95, to the southeast corner of lot No. 92; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the dividing line between lots Nos. 99 and 100; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the dividing line between lots Nos. 181 and 182; also over, under, along, across, upon, and through, a strip of land ten feet in width, the center line of which is the dividing line between lots Nos. 113 and 108; that the references hereinbefore given to the southerly line of lots Nos. 70 and 71, and the northerly line of lot No. 79, refers to the line dividing said lots respectively; that the references hereinbefore given to the southerly line of lot No. 73, and the northerly line of lots Nos. 77 and 78, refers to the line dividing said lots respectively; that the references hereinbefore given to the southerly line of lot No. 72, and the northerly line of lot No. 78, refers to the line dividing said lots; that the references hereinbefore given referring to the southerly line of lots Nos. 74 and 75, and the northerly line of lots Nos. 76 and 77, refers to the line dividing said lots respectively; that the references hereinbefore given to the southerly line of lot No. 103, and the northerly line of lots Nos. 105 and 106, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lots Nos. 97, 101, and 102, and the northerly line of lots Nos. 98 and 100, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 114, and the northerly line of lot No. 125, refers to the line dividing said lots; that the references hereinbefore given referring to the southerly line of lot No. 109, refers to the line dividing said lot No. 109 and lot No. 108; that the references hereinbefore given referring to the southerly line of lot No. 110, refers to the line dividing said lot No. 110 and lot No. 108, and its prolongation to its intersection with the most easterly line of said lot No. 110; that the references hereinbefore given referring to the northerly line of lot No. 108, refers to the line or lines dividing said lot No. 108 and lots Nos. 109, 110, and 111; that the references hereinbefore given referring to the northerly line of lots Nos. 107 and 106, and the southerly line of lot No. 104, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 102, refers to the line dividing said lot No. 102, and lot No. 100; that the references hereinbefore given referring to the southerly line of lot No. 101, refers to the line dividing said lot No. 101, and lot No. 100, and its prolongation to its intersection with the most westerly line of said lot No. 101; that the references hereinbefore given referring to the easterly line of lot No. 97, refers to the line dividing said lot No. 97 and lot No. 101; that the references hereinbefore given referring to the northerly line of lot No. 109, refers to the line or lines dividing said lot No. 100, and lots Nos. 102, 101, and 97; that the references hereinbefore given referring to the southerly line of lot No. 115, and the northerly line of lots Nos. 123 and 124, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lots Nos. 88, and 87, and the northerly line of lots Nos. 89 and 90, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 81, and the northerly line of lots Nos. 85 and 84, refers to the line dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 86, and the northerly line of lot No. 90, refers to the line dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 80 and the northerly line of lots Nos. 81 and 82, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lot No. 94, refers to the line or lines dividing said lot No. 94 and lots Nos. 96, 95, and 93; that the references hereinbefore given referring to the southerly line of lot No. 91 and the northerly line of lots Nos. 92 and 94, refers to the line or lines dividing said lots respectively; that the references hereinbefore given to the northerly line of lot No. 96, refers to the line dividing said lot No. 96 and lot No. 94; that the references hereinbefore given referring to the northerly line of lot No. 95, refers to the line dividing said lot No. 95 and No. 94, and its prolongation to its intersection with the most westerly line of lot No. 95; that the references hereinbefore given referring to the southerly line of lot No. 94, and the northerly line of lots Nos. 93, 95, and 96, refers to the line or lines dividing said lots respectively; that the references hereinbefore given referring to the easterly line of lot No. 93, refers to the

line dividing said lots No. 93 and 95; that the references hereinbefore given referring to the southerly line of lot No. 98, and the northerly line of lot No. 99, refers to the line dividing said lots; that the references hereinbefore given referring to the easterly line of lot No. 43, and the westerly line of lot No. 42, refers to the line dividing said lots; that the references hereinbefore given referring to the southerly line of lots Nos. 40, 41, 42, and 43, and the northerly line of lots Nos. 36, 37, 38, and 39, refers to the line dividing said lots respectively; that the references hereinbefore given referring to the southerly line of lots Nos. 16, 17, 18, and 19, and the northerly line of lots Nos. 12, 13, 14, and 15 refers to the line dividing said lots respectively; that the references hereinbefore given referring to the westerly line of lot No. 8, and the easterly line of lots Nos. 9, 10, and 11, refers to the line dividing said lots respectively; that the references hereinbefore given referring to the westerly line of lot No. 13, and the easterly line of lot No. 12, refers to the line dividing said lots; that the references hereinbefore given referring to the westerly and southerly lines of lot No. 6 and the northerly and easterly lines of lot No. 4, refers to the line dividing said lots; that the aforesaid easements and rights of way are hereby reserved to said El Encanto Estates, Inc., and to its successors and assigns, for the erection, construction, maintenance, and operation of pole lines, with the necessary crossarms and wires for the transmission of electrical energy, and for telephone, and telegraph lines and/or for the laying and maintaining of pipes, mains, and/or conduits, for the furnishing of water, gas, sewer service, and/or for other purposes, together with the right of entry for the purpose of erecting, constructing, laying, maintaining, and reading gas and water meters, together with the further right to convey or lease the whole or any portion of such easement and right of entry to any firm, corporation, municipal body, person, or persons.

16. That in addition to the easement and right of way hereinbefore reserved by El Encanto Estates, Inc., over, under, along, across, upon, and through the easterly five feet of lots Nos. 5, 15, 16, 23, 24, 31, 32, 39, 40, 47, and 48, El Encanto Estates, Inc., hereby reserves in perpetuity, an exclusive right and easement over, under, along, across, upon, and through the easterly ten feet of lots Nos. 5, 15, 16, 23, 24, 31, 32, 39, 40, 47, and 48, for the erection and maintenance of a fence, and for the planting and maintaining of hedges, shrubs, and trees, that will serve as a fence and screen between said lots, and said property, and the land which at the date of the execution hereof, lies adjoining, and immediately east of said lots, and said property. El Encanto Estates, Inc., further reserves, in perpetuity, the exclusive right and privilege to dig, construct, and maintain, one or more ditches, and lines of pipes, within the limits of said ten foot easement and right of way last above mentioned, and to place and run through said ditches and pipes, water for the purpose of irrigating said hedges, shrubs, and trees, and for all of the aforesaid purposes, El Encanto Estates, Inc., shall at all times have a right of way through said easement.

17. It is the desire of El Encanto Estates, Inc., that the Park known as Plaza Del Encanto, situated in the central portion of said property, shall forever be used as a Park for the benefit, use and enjoyment of the owners of lots, but at all times in such manner, and under such rules and regulations as may from time to time be established by El Encanto Estates, Inc.

18. No delay or omission on the part of El Encanto Estates, Inc., and/or of W. B. Powhatan, and Ethel C. Powhatan, his wife, or any of them, as owners of the reversionary rights herein provided for, or of the owners of other lots, in exercising any right, power, or remedy herein provided for in the event of any breach of the conditions, restrictions, covenants, or reservations herein contained, shall be construed as a waiver thereof or acquiescence therein; and no right of action shall accrue, nor shall any action be brought or maintained by anyone whomsoever against El Encanto Estates, Inc., or against W. B. Powhatan and Ethel C. Powhatan, his wife, nor against any of them, for or on account of its or their failure or neglect to exercise any right, power or remedy herein provided for in the event of any such breach of any of said provisions, conditions, restrictions, or covenants, or for imposing restrictions herein which may be unenforceable by said owner or owners or any of them.

PROVIDED FURTHER, that said property shall be subject to any and all rights or privileges which the City of Tucson, and/or the County of Pima, Arizona, may have acquired through dedication or the filing or recording of maps or plats of said property as authorized by law.

19. In the event that any one or more of the Conditions and Restrictions hereinbefore set forth, and contained, shall be declared for any reason, by any court of competent jurisdiction, to be null and void, such judgment and/or decree shall not, in any manner whatsoever, affect, modify, change, abrogate, or nullify any of said Conditions and Restrictions not so expressly held to be void, but all the remaining Conditions and Restrictions not so declared to be void shall continue unimpaired, and in full force and effect.

20. That, wherever the name "El Encanto Estates, Inc.", shall appear herein, the same shall be held to include the successors and/or assigns of said El Encanto Estates, Inc. That wherever the names W. B. Powhatan and Ethel C. Powhatan, his wife, shall appear herein, the same shall be held to include their respective heirs, executors, administrators, and assigns.

21. That reference herein to a person of male sex shall include one of female sex, and reference to a natural person shall include a corporation, partnership or association; that reference to one person, where the intent of this instrument requires the same for a proper construction and to carry out the intent hereof, shall include two or more persons, corporations, partnerships or associations.

IN TESTIMONY WHEREOF, the said El Encanto Estates, Inc., has caused these presents to be executed in its behalf and name, by its duly authorized President, and attested by its duly authorized Secretary, and its corporate seal to be hereunto affixed, and the said W. B. Powhatan and Ethel C. Powhatan, his wife, have set their respective hands hereunto, and affixed their signatures, at Tucson, Arizona, this 11th day of January, 1929.

EL ENCANTO ESTATES, Inc.

By W. E. GUERIN
Its President.

Attest

By SELIM FRANKLIN, Jr.
Its Secretary.

W. B. POWHATAN,
ETHEL C. POWHATAN,

STATE OF ARIZONA, }
County of Pima } ss.

This instrument was acknowledged before me this 11th day of January, 1929, by W. E. Guerin, as President, and Selim Franklin, Jr., as Secretary, of El Encanto Estates, Inc., a corporation organized under the laws of Arizona, as the free act and deed of such corporation.

F. D. HAMILTON,
Notary Public.

(Notary Seal)

My commission expires February 23, 1931.

STATE OF ARIZONA, }
COUNTY OF PIMA } ss.

This instrument was acknowledged before me this 11th day of January, 1929, by W. B. Powhatan and Ethel C. Powhatan, his wife.

F. E. ALDER,
Notary Public.

(Notary Seal)

My commission expires February 9, 1931.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY NAME: El Encanto Estates Residential Historic District

MULTIPLE NAME:

STATE & COUNTY: ARIZONA, Pima

DATE RECEIVED: 1/07/02 DATE OF PENDING LIST:
DATE OF 16TH DAY: DATE OF 45TH DAY: 2/22/02
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 87002284

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 2/22/02 DATE

ABSTRACT/SUMMARY COMMENTS:

This additional documentation extends the period of significance to 1952. The number of contributing resources for the entire district is now 95 and the number of non-contributing resources is now 49.

RECOM./CRITERIA A,C

REVIEWER Sarah Pope

DISCIPLINE Historian

TELEPHONE 202/343-9534

DATE 2/22/02

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY NAME: El Encanto Estates Residential Historic District

*(Add'l
Documentation)*

MULTIPLE NAME:

STATE & COUNTY: ARIZONA, Pima

DATE RECEIVED: 11/30/07
DATE OF 16TH DAY:
DATE OF WEEKLY LIST:

DATE OF PENDING LIST:
DATE OF 45TH DAY: 1/13/08

REFERENCE NUMBER: 87002284

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: Y
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

___ ACCEPT ___ RETURN ___ REJECT _____ DATE

ABSTRACT/SUMMARY COMMENTS:

Additional documentation extends period of significance to 1961 - essentially this is the "build-out" date of district/plan. It adds 19 contributing buildings to the earlier count and documents the arch. character and landscape changes of district during period 1953 to 1961. This period was one of rapid growth in Tucson. (A+C)

RECOM./CRITERIA

Accept Add'l Documentation (A+C)

REVIEWER

L McClelland

DISCIPLINE

History

TELEPHONE

DATE

1-9-08-

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.



November 29, 2010

Carol Shull
Keeper of the National Register
National Park Service
1201 Eye Street, NW 8th Floor (MS2280)
Washington, D.C. 2005-5905



**RE: El Encanto Estates Residential Historic District (amendment)
128 N. Country Club Road - Tucson, Pima, AZ**

Dear Ms. Shull:

I am pleased to submit the National Register of Historic Places Registration Form for the property referenced above.

Accompanying documentation is enclosed, as required. Should you have any questions or concerns please contact me at vstrang@azstateparks.gov

Sincerely,

Vivia Strang, CPM
National Register Coordinator
State Historic Preservation Office

Enclosures

VS:vs

Janice K. Brewer
Governor

**State Parks
Board Members**

**Chair
Reese Woodling**
Tucson

Tracey Westerhausen
Phoenix

Larry Landry
Phoenix

Walter D. Armer, Jr.
Vail

Alan Everett
Sedona

William C. Scalzo
Phoenix

Maria Baier
State Land
Commissioner

Renée E. Bahl
Executive Director

Arizona State Parks
1300 W. Washington
Phoenix, AZ 85007

Tel & TTY: 602.542.4174
AZStateParks.com

800.285.3703 from
(520 & 928) area codes

General Fax:
602.542.4180

Director's Office Fax:
602.542.4188

Colonia Solana Residential Historic District

This nomination is virtually a carbon copy of another Tucson, Arizona historic district called El Encanto Estates which Jerry Rogers signed earlier this year (see attached justification for listing a less-than-fifty-year old property which was previously sent to Jerry).

Regarding Colonia Solana, the facts are these: the period of significance is 1928-1942, the areas of significance are Community Planning and Development, Landscape architecture, and Architecture. The rub is that the district has 35 contributing resources and 78 noncontributing resources. The nomination constructs an argument that since the landscape features and the community (ie. neighborhood) development plan were both in place well over fifty years ago, the district should be considered eligible in spite of the fact that the majority of the resources are noncontributing. I suggested to Kathy McKoy, Arizona SHPO National Register coordinator, that this disparity between contributing and noncontributing resources could be partially reconciled by individually counting the contributing historic landscape features.

Otherwise, the property is clearly historically and architecturally significant and the argument used to offset the predominance of noncontributing resources is basically the same one we accepted when we listed El Encanto Estates. On that basis, I believe that this nomination is acceptable. All the issues mentioned above have been discussed with Carol D. Shull and Amy Schlagel of the National Register staff. It should be noted that an SLR form was completed to clarify various technical factors in the nomination documentation.

Bruce Noble, Historian
National Register

El Encanto Estates Historic District

Justification for Listing a less-than-fifty-year old property:

El Encanto Estates Historic District, located in Tuscon, AZ, is a planned subdivision with a period of significance extending from 1929-1941. The district is significant under criterion A for community planning and landscape architecture, and under criterion C for architecture. The historic photographs clearly indicate that the district's community planning and landscape features, upon which the district's primary significance rests, date to 1929 when the subdivision was originally created.

The district consists of 53 contributing buildings and one contributing site. Of the 53 contributing buildings, six are less than fifty years old. However, the district also includes 92 non-contributing resources. Most of these 92 resources are designated as non-contributing because they are less than fifty years old, although these non-contributing resources are very compatible with the historic portion of the district based on similar qualities of design, architectural style, and scale. Furthermore, the nomination indicates that 21 of the non-contributing resources will ultimately become eligible for contributing status once they turn fifty years old. When this happens, the district will have an approximately equal number of contributing and non-contributing elements. Although the present preponderance of non-contributing properties is an issue to be considered, it would appear that the district is still worthy of National Register listing based on the fact that its primary significance is associated with its community planning and landscape features which are documented to be well over fifty years of age.

In short, this nomination is extremely well-prepared. The quality of the historical documentation, the photographs, and the maps is very high. In addition, an active neighborhood association fully supports the nomination. Given all these factors, it would seem that a very strong case can be made for listing this district on the National Register.



Douglas A. Ducey
Governor

Sue Black
Executive Director

State Parks Board

R.J. Cardin, Chairman
Kay Daggett, Vice-Chairman
Mark Brnovich, Phoenix
Alan Everett, Sedona
Shawn Orme, Mayer
Orme Lewis, Jr., Phoenix
Lisa Atkins, State Land Commissioner

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JUN - 5 2015

**Nat. Register of Historic Places
National Park Service**

June 1, 2015

J. Paul Loether, Deputy Keeper and Chief
National Register and National Historic Landmark Programs
National Register of Historic Places
1201 Eye St. NW, 8th Fl.
Washington D.C. 20005-5905

****FEDERAL EXPRESS****

**RE: FAIRVIEW PLACE HD – PHOENIX, MARICOPA, AZ
MENLO PARK HD – TUCSON, PIMA, AZ
EL ENCANTO ESTATES RESIDENTIAL HD – TUCSON, PIMA, AZ**

Dear Mr. Loether:

I am pleased to submit Registration Forms for consideration of amending listings in the National Register of Historic Places for the following properties:

- Fairview Place Historic District
- Menlo Park Historic District
- El Encanto Estates Residential Historic District

Accompanying documentation is enclosed, as required. Should you have any questions or concerns please contact me at vstrang@azstateparks.gov or at 602.542.4662.

Sincerely,

Vivia Strang, CPM
National Register Coordinator
State Historic Preservation Office
Arizona State Parks

Enclosures

VS:vs

1300 W. Washington Street • Phoenix, AZ 85007
(602) 547-4174 • Fax (602) 542-4188
AZStateParks.com     AZStateParks

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

Requested Action: Additional Documentation

Property Name: El Encanto Estates Residential Historic District (Additional Documentation)

Multiple Name:

State & County: ARIZONA, Pima

Date Received: 9/7/2017 Date of Pending List: 10/4/2017 Date of 16th Day: 10/19/2017 Date of 45th Day: 10/23/2017 Date of Weekly List:

Reference number: AD87002284

Nominator: State

Reason For Review:

Accept Return Reject 10/23/2017 Date

Abstract/Summary
Comments:

Recommendation/
Criteria

Reviewer Lisa Deline

Discipline Historian

Telephone (202)354-2239

Date 10/23/17

DOCUMENTATION: see attached comments : No see attached SLR : No

If a nomination is returned to the nomination authority, the nomination is no longer under consideration by the National Park Service.

**ARIZONA STATE HISTORIC PRESERVATION OFFICE (SHPO)
NATIONAL REGISTER NOMINATION
TRANSMITTAL FORM
FEDERAL EXPRESS**



DATE: September 7, 2017

TO:

**Edson Beall
National Register of Historic Places
1849 C Street NW, Mail Stop 7228
Washington D.C. 20240**

FROM:

**William Collins
National Register Coordinator
State Historic Preservation Office
1100 West Washington Street
Phoenix AZ 85007**

National Register Nominations:

**Liberty Methodist Episcopal Church, South
Buckeye, Maricopa County, Arizona**

**El Encanto Estates Historic District (Amendment)
Tucson, Pima County, Arizona**

**F.Q. Story Neighborhood Historic District (Amendment)
Phoenix, Maricopa County, Arizona**

Accompanying documentation for each National Register nomination is enclosed, as required. Should you have any questions or concerns please contact me at wcollins@azstateparks.gov or 602.542.7159.