

United States Department of the Interior  
National Park Service

SG 3415

# National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

### 1. Name of Property

Historic name: Quincy Hotel

Other names/site number: N/A

Name of related multiple property listing:

N/A

(Enter "N/A" if property is not part of a multiple property listing)



### 2. Location

Street & number: 57 Depot Street

City or town: Enosburgh State: VT County: Franklin

Not For Publication:  n/a Vicinity:  n/a

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination \_\_\_ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property X meets \_\_\_ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

\_\_\_ national \_\_\_ statewide X local

Applicable National Register Criteria:

\_\_\_A \_\_\_B XC \_\_\_D

|  |                 |
|--|-----------------|
| <u>Samuel Reschmann</u>                                | <u>12/14/18</u> |
| Signature of certifying official/Title:                | Date            |
| <u>SHPO/Vermont Division for Historic Preservation</u> |                 |
| State or Federal agency/bureau or Tribal Government    |                 |

|   |   |
|---|---|
| In my opinion, the property ___ meets ___ does not meet the National Register criteria. |   |
| _____   | _____   |
| Signature of commenting official:   | Date  |
| _____   | _____   |
| Title :   | State or Federal agency/bureau or Tribal Government |

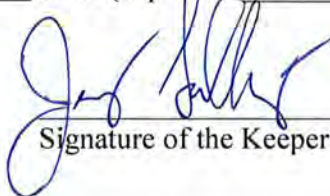
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**4. National Park Service Certification**

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain): \_\_\_\_\_

  
Signature of the Keeper

2.4.2019  
Date of Action

**5. Classification**

**Ownership of Property**

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

**Category of Property**

(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

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**Number of Resources within Property**

(Do not include previously listed resources in the count)

| Contributing | Noncontributing |            |
|--------------|-----------------|------------|
| <u>1</u>     | <u>0</u>        | buildings  |
| _____        | _____           | sites      |
| _____        | _____           | structures |
| _____        | _____           | objects    |
| _____        | _____           | Total      |

Number of contributing resources previously listed in the National Register 0

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**6. Function or Use**

**Historic Functions**

(Enter categories from instructions.)

DOMESTIC/hotel  
DOMESTIC/multiple dwelling

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Current Functions**

(Enter categories from instructions.)

DOMESTIC/hotel  
DOMESTIC/multiple dwelling

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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## 7. Description

### Architectural Classification

(Enter categories from instructions.)

LATE 19<sup>TH</sup> AND 20<sup>TH</sup> CENTURY REVIVALS/Colonial Revival

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**Materials:** (enter categories from instructions.)

Principal exterior materials of the property: WOOD/weatherboard; WOOD/Shingle

### Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

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### Summary Paragraph

The Quincy Hotel is located at 57 Depot Street in the village of Enosburg Falls, located in the northwest corner of the Town of Enosburgh, Vermont. This c. 1876 hotel was constructed in response to a growing economy and expanding population base following the arrival of the railroad in Enosburg Falls in 1873. The hotel is set amidst homes and railroad-related buildings scattered along the Mississquoi Railroad tracks dating to the 1870s and 1880s. The three-story, wood-framed hotel fronts Depot Street, its nine-bay width dominated on its ground floor by a one-story façade porch with Tuscan columns. The porch extends one bay to the east to form a porte cochere. Originally constructed in the French Second Empire style which was popular for railroad and hotel buildings in the 1870s, the hotel was extensively remodeled in 1923 following a fire on the third story resulting in its current Colonial Revival-style appearance. The changes designed by well-known Vermont architect, Louis Newton, unified the hotel's transition from French Second Empire to the Colonial Revival style. The hotel's main block has retained this configuration to present day which now possesses historical importance in its own right as an example of early 20<sup>th</sup> century rehabilitation/modernization by a notable Vermont architect. Based on the foregoing, the Quincy Hotel retains its historical integrity of location, design, setting, feeling, workmanship, materials, and association.

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## Narrative Description

### Exterior

**Main Block Exterior:** The three story, south-facing street façade has a symmetrical appearance with nine regularly spaced bays on each of the three stories. Center bays are punctuated on the first story by the hotel's main entrance door and on the second story by the door out to the single bay porch. Nine evenly spaced windows on the third story further accentuate the symmetry of the façade. First and second story walls are covered with white-painted wood clapboards with a four-inch reveal. Above the second story windows the upper four rows of clapboard are stepped out, terminating in a horizontal one-inch by ten-inch board course which has the effect of capping the second story. Narrow cornerboards define the building edges on the first and second stories. Overlapping wood shingles cover the third story walls extending up to the wooden roof entablature that bands the building approximately eighteen inches below the metal drip edge of the flat roof. A plain, two-piece frieze is capped by an ogee molding at the connection to the plain box cornice projecting 12 inches from the wall. A second ogee molding forms the cymatium and supports the leading edge of the metal flashing covering the top of the cornice.

The Colonial Revival-style covered porch has eight bays facing the street, the easternmost bay projecting from the east edge of the main block and wrapping around onto the east elevation. The wood plank porch decking is twenty-eight inches from the ground and has no railing. Set back three feet from the south edge of the porch, the porte-cochère is formed by an extension of the porch design and geometry to the east to cover the abutting hotel driveway. Nine, evenly spaced Tuscan columns with entasis define the eight front bays on the first story, with simple molded bases resting on painted beveled plinths set onto the porch decking. Capitals comprise double beads at the astragal, a torus molding at the echinus, and a two-piece abacus. Columns supporting the porte-cochère are comparatively more slender with a more pronounced taper and a taller abacus. The simply ornamented Tuscan entablature is common to the porch and porte-cochère roofs and features a fascia frieze and a two-piece cornice comprising a scotia molding under a cyma reversa. A rolled EPDM membrane with metal drip edge covers the shallow pitched roof planes. A wood-framed half wall with square spindles supports the outboard columns of the porte-cochère. Intersecting vertical and horizontal latticework skirting is set in wood frames aligned under the porch columns. A simple, modern wooden staircase with wood railings on either side is centered on the porch in front of the main street entrance. The full-width porch is capped on the second story by a centered, single-bay covered porch set into the roof with a clapboarded railing. Tuscan posts in a design matching the façade porch support the entablature.

Fenestration of the main block façade comprises two over two, double hung wood windows, seven on the first story, eight on the second story, and nine on the third story. First story windows are modern wood double hungs that replaced earlier picture windows dating from the 1920s, that in turn had replaced the original double hung windows from the 1870s. All are fitted

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with triple track aluminum storm windows. Window trim is simply detailed on the lower stories with projecting sills, flat stock casings and entablatures capped with a cyma reversa cornice split horizontally with a filet. Second story windows are similarly detailed but with a narrower frieze; third story windows have simple torus molded cornices over the fascia frieze. Wood shutters now in place do not show on historic photos, do not properly fit the windows and appear to have been salvaged from another building. A pair of paneled wood doors lead into the main entry, each door having four upper lights separated by a narrow muntin cross, and three lower horizontally oriented recessed panels. A second door on the south façade accesses the two first-floor hotel rooms. The door is highly embellished with an upper pair of vertically oriented recessed panels arched over a recessed round-arched panel below. The upper panels are repeated below the round-arched panel but shorter in height. Incised scroll work decorates the upper and lower rails, as well as the field of the arched panel. The second-story porch door is a simple, single leaf wood door in which the lower third has a pair of recessed panels and the upper two thirds feature a pair of vertical opaque glass lights.

On the east elevation are constructed two means of access to the porch deck from the driveway, both of contemporary wood construction. A small staircase accesses the east side of the deck, and a handicapped access ramp with wooden railings accesses the north side of the deck. A T111-sided, single-story addition with a hipped roof was added just north of the porch ca. 1970. A stained-glass window of unknown origin, and an overhead air conditioner were inserted in the place of one of the original windows. Near the southeast corner of the building is a third entrance door into the hotel from the porch with the same trim as the first-floor south windows. The single-leaf wood door features a single glass light in the upper half, and three recessed panels in the lower half. The east elevation windows on the second and third stories are also two over two wood double hung. The three windows on the second story have flat stock trim and no moldings, the two third story windows have entablatures with a torus molding over a cyma reversa. The southernmost window on the third story has been blocked in and shingled over on the outside.

The main block rear, north elevation, where not obscured by the two additions, retains the 1920s-era clapboard and shingle wall coverings and window configurations. The projecting cornice returns at the northeast and northwest corners of the main block do not extend along the rear elevation. The walls are capped with simple flat stock trim board under the metal drip edge of the flat, membrane covered roof. The shallow roof cavity holding the framing is randomly vented through the upper wall with louvered openings that penetrate the walls below the drip edge. Second story windows have flat stock trim capped with a tapered board in place of the more detailed entablature cornice elsewhere; the third-story window trim is capped with torus moldings. A window lighting an interior stairwell landing breaks the horizontal fenestration pattern, and two half-width windows are the result of the pre-1900 addition on the west side of the rear elevation. The lower floor of the rear elevation is concealed by the early additions and the west elevation is covered in the materials and design of the primary façade but with some changes to accommodate egress. Most prominent is the metal fire escape descending from the third-story hallway window with a landing at the second-floor hallway window. The subject

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project will allow the fire escape to be removed. At the base of the wall the random ashlar-coursed stone foundation is visible from the exterior.

Additions Exterior: Both the east and west, rear additions date to the late 19th century according to Sanborn maps, the three-story west addition having been added first, within twenty years of the 1874 construction of the main block. The west addition is attached somewhat awkwardly to the main block, with a lower roof line, floors that do not line up, and the connection at its east edge that resulted in unusually narrow windows. Despite this, the exterior walls retain the same cladding as the main block when its third floor was reconstructed in the 1920s. Upper windows have been changed to modern replacement eight over eight double hungs. The replacement windows are slightly wider than the originals, but some elements of the entablature moldings remain. A historic fixed light window and blocked-in door opening on the west elevation first floor indicate it was likely used for utilitarian purposes supporting the hotel operation. Also located on the west elevation is the restaurant exhaust fan and a historic brick chimney no longer in use. The north elevation of the west addition features two symmetrically placed replacement windows on the third story, a single historic two over two double hung window on the second story, and a small shed attached to the first story. Windows on the east side of the west addition have all been replaced, and an exterior wooden staircase provides access to the second story apartment. The apartment entrance door is a modern replacement, as is the first story door under the stair landing.

The east, single story addition has a corrugated metal roof, T111 wood siding, and modern fixed-light windows. Against the east edge of the shed roof a section of historic, clapboarded parapet wall remains, with a cyma reversa cornice. The soffit along the north edge of the addition also retains this detail. A modern pedestrian door to the first floor is centered on the north wall of the addition, flanked by sections of older clapboard. The small entrance porch roof is supported by older, turned wood columns resting on a concrete pad. They bear no design association to any part of the building's history and appear to have been salvaged from another building. Exterior access to the basement is gained through the bulkhead west of the entrance door.

## **Interior**

The hotel interior is divided by function as follows: The upper two floors of the main block house hotel rooms opening onto central, longitudinally oriented hallways. On the ground floor are located the restaurant, bar, common bathrooms, and two additional hotel rooms. The three-story west addition houses unfinished space on the upper two floors, and the hotel kitchen and supply room on the first floor. The hotel bar located in the northwest corner of the main block first floor extends through a full width opening to occupy the single-story east addition. Hotel stairs rise from the ground floor to the second floor from the lobby centered against the south wall, and the stairs from the second to the third-floor rise in a stairwell centered on the north wall.

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Conditions of the hotel interior vary. The most recent occupancy was the restaurant and bar which closed in 2016; the spaces remain in functional condition. Other parts of the hotel have not been used or occupied for many years, and some have been renovated to different degrees. For example, some elements of the central staircase were removed, including spindles and handrails, though some elements remain in place including historic newel posts that will provide physical evidence to guide restoration work. The upper story hotel rooms are intact, opening onto the historic hallways. Some of the plaster surfaces have deteriorated, and some of the door, transom and window openings have deformed over time. Nevertheless, given the retention of the original floorplan configurations and high degree of extant historic fabric, the hotel interior retains historic integrity.

Main Floor: A double-leaf exterior door opens from the Depot Street entrance into the central stairwell. The wood staircase rises north to the second-floor hallway; the lower newel post and railing were removed as part of a previous renovation. The ceiling is covered in embossed tin plate panels measuring 12 x 12 inches with repeating floral designs. An elaborate embossed tin plate cornice extends twelve inches at the ceilings and down the walls, distinguished by repeating ribbed moldings and floral patterns, bead moldings and rope moldings. Two, frosted glass globe and brass hanging light fixtures in the hallway date to the 1920s. The front door is trimmed with unpainted one inch by six-inch pine boards and the floor is plywood.

The stairwell opens into a narrow east-west hallway. To the east is the hotel dining room with the only other instance in the hotel of the decorative pressed tin ceiling. The east and west ends of the ceiling, as well as perimeter moldings are older, and date to the late 1800s with repeating floral designs. Chandeliers are suspended from pressed tin medallions with concentric moldings around repeating floral patterns radiating outward from the center. The center section of the ceiling comprises twenty-four inch by twenty-four-inch pressed tin plates combining geometric and floral patterns and is a late 20<sup>th</sup> century reproduction. Walls and ceilings in the dining room are sheetrocked, the floor is sheet vinyl, and the modern two over two wood windows and doorways are uniformly trimmed in unpainted flat stock pine boards. An encased ceiling beam runs east west in the dining room supported by round wood columns, the outermost columns resting on short sections of sheetrocked half walls. Centered on the north dining room wall is a brick fireplace with a simple, unpainted oak mantle. Sprinkler pipes are exposed, generally suspended from the ceiling as they are in most parts of the building.

Wood framed doorways open north from the dining room into the hotel's largest space housing the bar and pub which extend into and occupy the entirety of the single-story east addition. The original north exterior wall of the main block is signaled by a row of wood posts supporting a large, sheetrocked supporting beam. Surfaces in the bar are modern with a mix of hardwood and plywood floors, sheetrocked walls and ceilings, and unpainted pine trim. The historic handrail from the central staircase was modified to form the perimeter of the bar counter. The west half of the main block houses two renovated bedrooms in the southwest corner divided by a hallway from two bathrooms and a storage room in the northwest corner. All of these spaces have been



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modernized with sheetrocked walls and ceilings, unpainted pine board trim, and maple strip flooring. All four bathrooms, one off each bedroom and two off the hallway, have modern fixtures. The first floor of the west addition is accessed from the bar room through a modern hinged doorway and houses a modern restaurant kitchen in the south room and supplies in the north room. Both rooms have been modernized as the support services needed to operate the hotel have evolved. Two exceptions include the historic two-light fixed window in the storage room which has flat stock trim, and the wood paneled door that opens into the rear shed. Some elements of older timber frame are also exposed in the rear storage room.

The main block second-floor is accessed by the stairwell inside the main entry doors. Twenty of thirty-three original turned spindles remain on the second-floor landing on two sides of the stairwell opening, the handrail having been removed and reused in the bar construction. The railing terminates at a plain, round-topped board fixed to the wall on the second floor. From the landing the single bay second story porch can be accessed through an exterior door. To the north, the landing opens into the common east-west hallway lined with entrances to nine hotel rooms, five on the south side and four on the north side. All rooms originally had porcelain sinks mounted to the wall, and several remain in place. The two largest rooms on the south side have their own bathrooms and sheet vinyl floors. The remaining rooms have access to two common bathrooms on the second floor. Walls and ceilings are plaster on wood lathe, most of the walls are covered in wallpaper. Hardwood floors are uniformly two and one quarter inch tongue-in-groove fir. All rooms are lit with one or two, two over two double hung windows. Trim throughout the second floor is unembellished flat-stock painted pine. Paneled doors with overhead transom windows open into the hotel rooms. As constructed the transoms were two-lights divided vertically by a muntin bar. Today, most of the two-light configurations been changed to single glass panes, some painted over, and some removed in favor of plywood.

The main block third floor is accessed by a stairwell on the opposite, north side of the building with an intermediate landing dividing two short flights of stairs. Treads, risers and the flat stock trim are varnished maple, with extant historic turned newel posts at the intermediate and third-story landings. Spindles and the handrail have been removed. Like the second floor, the third floor has an east-west common hallway lined with hotel rooms (ten total) accessed by painted four panel doors with operable transom windows. The flooring in the hall runs east-west instead of north-south as on the second floor, related to its pre-1923 (pre-fire) configuration a dance hall, free of the present partitions. In each of the corner hotel rooms the wood strip floors are mitered, and which defined an inner rectangle of flooring on the third floor when it was an open space. Sinks were mounted within each room and some had private baths; some of the sinks dating to the 1920s remain. Common area bathrooms are located at the end of the hallway and adjacent west of the stairwell. Trim throughout the floor, including baseboards, window and door trim is uniformly white-painted, flat stock pine board. Beadboard wainscoting remains in the second and third floor common bathrooms at the east end of the hallways. The roof framing dating to 1923 is visible through the hallway access hatch.

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Interior addition spaces in the second and third floors of the rear, west addition are in the process of being rehabilitated for housing. Wall, ceiling and floor coverings were removed in the 1990s and the spaces reframed for continued rental use within the existing footprint. Currently, the spaces are open to the wall studs and ceiling joists, with new plywood floors, support beams, and wood stud partitions. Historic wall and ceiling framing members are intact in the spaces and show plaster lines from the original plaster and lathe construction.

Finally, a full height, unfinished basement is constructed below all but the north half of the west addition where there is only a crawl space. Where mechanical systems are located primarily in the east half of the basement, the floor is concrete - elsewhere it is a dirt floor. The stone foundation is covered with insulation on the west, south, and east walls of the main block basement, but are exposed on other walls. Visible changes to the original stone construction include concrete curbing in the area under the east addition, and openings made into both additions, some finished with brick to achieve smooth vertical faces. The brick chimney still used to exhaust gases from the boiler is centered in the east half of the main block. Main block framing is divided generally into four, irregular, north-south bays by seven inch by eight-inch wood carry beams supported by a grid of eight inch by eight-inch posts on concrete footings. A variety of joist types and sizes connect to the carrying beams on roughly sixteen-inch centers. The south half of the west addition framing comprises two north-south bays divided by a wood carry beam supported by six-inch by six-inch posts. Joists extend east and west from the beam to the perimeter sill. The north half of the west addition is carried on three nail-laminated two inch by ten-inch beams oriented north-south, resting on concrete piers. Joists extending north to south supported by the stone foundation walls carry the single east story addition.

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## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

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**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

**Areas of Significance**

(Enter categories from instructions.)

Architecture

**Period of Significance**

c. 1876 – c. 1923

**Significant Dates**

c. 1876

c. 1895

c. 1912

c. 1923

**Significant Person**

(Complete only if Criterion B is marked above.)

N/A  
\_\_\_\_\_  
\_\_\_\_\_

**Cultural Affiliation**

N/A  
\_\_\_\_\_

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**Architect/Builder**

Louis Sheldon Newton (1923 rehabilitation)

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Quincy Hotel is eligible for listing in the National Register of Historic Places under Criterion C: Architecture. The context for the original construction of the Quincy Hotel in 1876 in Enosburg Falls was relatively common among Vermont villages, a growth in economic activity, population growth, and increasing numbers of visitors attending the arrival of the railroad. As originally constructed, the Quincy was a two-story plus mansard design with a two-story Italianate-style porch, a popular form at the time and expressed in numerous early Vermont hotels. The current configuration of the hotel reflects numerous changes, the most striking being the 1920s design intervention of well-known Vermont architect and master of the Colonial Revival style, Louis Sheldon Newton. Following a fire on the third floor, Newton modernized the hotel, adding bold, horizontal design elements to the facade that departed from its original French Second Empire style, resulting in an appearance that would later characterize the *streamlined moderne*. Operational and interior changes over the years would increase the number of hotel rooms and improve comfort and conveniences for guests, while retaining elements of the original design including virtually all of Newton's intervention. Collectively, the changes made to the Quincy Hotel throughout its period of significance, from its construction in 1876 to its remodeling in 1923, have remained intact over the past 95 years. Today the building stands as the only historic, purpose-built hotel building in the town. Under the new ownership of Elizabeth Dorminey, the hotel is being sensitively rehabilitated to provide modern comfort and amenities for guests, while preserving its unique architectural character.

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**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

The Quincy Hotel is eligible for listing in the National Register of Historic Places under Criterion C:

Summary History of Quincy Hotel

The land for the township of Enosburgh was chartered in 1780 by Vermont Governor Thomas Chittenden and was obtained one year later by Major Roger Enos and fifty-nine associates – hence the town's name. In the early 1800s, manufacturing in the region focused on supplying the needs of settlers. Some of the most common industries were blacksmithing, copper works, boot and shoe making, and lumbering. Enosburgh was also a center of agriculture with regional farming shifting from sheep farming to dairy farming in the 1840s-1850s. Manufacturing at

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Enosburg Falls was focused at the time in mill operations clustered around the falls at the south end of the village.

The first half of the 19<sup>th</sup> century in northern Vermont saw transportation dominated by horse drawn wagons and carriages. The better roads were located mostly in the major river valleys or as part of the early turnpike systems. Trade and commerce in far flung rural villages like Enosburg Falls without reliable roads like was limited, and products produced at mills at the falls were primarily made for local consumption. Travel was slow and occasionally dangerous, and places to stay overnight were few. Hotels were sparse in the area, though the 1871 Beers Map shows a “Chadwick House” on Enosburg Falls’ Main Street, thought to have been renamed the “Eagle Hotel” before it burned about 1875.

Travel changed dramatically when the railroads arrived in Vermont in the 1850s and brought with them structural change to settlement patterns and the development of Vermont’s towns and villages. Even then, it would be twenty years before the railroad reached the town of Enosburgh located close to the Canadian border. The Mississquoi Valley Railroad operated as the Richford Branch of the Central Vermont Railway and connected St. Albans to Richford via Swanton, Fairfield, Sheldon, Enosburgh, and Berkshire, in operation until 1984. When the railroad reached the Town of Enosburgh in 1873, the center of commerce shifted from Enosburg Center (a neighboring town) to Enosburg Falls where the line transited the town and where the railroad depot was constructed. The railroad greatly expanded opportunities for local industries, offering a means to transport goods to markets in larger cities throughout Vermont, New England and beyond. Tourism also expanded in Vermont: the notion of leisure time away from work coincided with the opening of the country by the railroad. The new middle class could afford the less costly means of travel provided by trains and the numbers of tourists increased dramatically as Americans sought to relieve the stress brought about by urbanization and industrialization.

Among the expanding businesses in Enosburg Falls in the 1870s were patent medicine companies, the most notable being Kendall’s Spavin Cure, a remedy created to treat an affliction called Spavin which caused osteoarthritis in livestock and horses. As the Spavin Cure business was developing, spinoff industries took hold in Enosburg Falls including Kimball Brothers, which produced a number of elixirs, oils, and powders claiming to alleviate a range of maladies. Fernando Cortez Kimball Jr., born in the village in 1843, was involved in the Kimball Brothers family medical business. As the railroad intensified commerce and tourism in Enosburg Falls, local entrepreneurs with means took advantage of traveler’s need for accommodations and Fernando Kimball got involved, buying the Eagles Hotel on Main Street in 1876. Hotels at the time relied on their location close to the railroads to accommodate visitors that could walk or be brought to the hotels by horse drawn carriage. It was also a matter of prestige, in addition to convenience, to be nearby the railroad depot considered to be a town’s economic and social hub. Train arrivals in Vermont’s smaller villages were considered important community events. When the Eagle Hotel burned shortly after Kimball’s purchase, he built the Quincy Hotel on Depot Street.

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The Quincy Hotel, as it was initially known, was built three years after the arrival of the railroad in Enosburg Falls. It catered to travelers doing business with the many patent medicine companies and other burgeoning enterprises in the expanding village. It also welcomed visitors seeking respite from busy urban environments. Despite the lack of electricity and plumbing, dances, meetings and other social functions were held on the open third floor until 1923 when it was destroyed by fire. Fernando Kimble operated the hotel until 1880 when he leased it to Burton Dickenson, the local telegraph operator who managed the hotel and oversaw the telegraph office located on the first floor. Kimble sold the hotel outright to Charles Best in 1892, and Best proceeded to modernize the hotel by installing electric lighting, bathrooms, plumbing, and adding the one-story addition to the rear of the building to enlarge the dining room. 1892 was also the year the nearby Enosburg Opera House was constructed, and visitors now included opera house goers who would dine at the hotel, take in a show, and stay the night at the Quincy Hotel.

The Quincy Hotel evolved over the ensuing decades with over thirteen owners, closing for brief periods while changing management or during renovations. In 1923, a fire claimed the third-floor mansard roof and the floor was rebuilt with hotel rooms instead of the open dance hall. The additional hotel rooms could generate income for the hotel, and the Enosburg Opera House had a large event space for public gatherings. Live music, good food, and strong community connections have defined the Quincy Hotel experience over the years, and it survives as one of the oldest hotels in Vermont. The lower floors, in more or less continual use since 1876, have seen more changes than the upper floor hotel rooms which remain in their 1920s configuration. Early spaces used for such purposes as the village telegraph office and barber shop gave way to the enlarged kitchen and seating for more patrons in the expanded bar and dining room. At the height of the Enosburg Opera House's operations the restaurant and hotel were running at full capacity. Business slowed when the Mississquoi railroad gradually reduced traffic in the corridor in the middle of the 20<sup>th</sup> century and then ceased operations altogether in 1984. This, along with changes in local manufacturing and consolidation of farms, meant fewer overnight stays at Quincy Hotel and only the first-floor hotel rooms and restaurant have been operating for the last several decades.

The list of owners is plentiful:

Kimball sold the hotel to Best in 1880, Best sold the hotel to Jennie Kimball in 1895. Kimball sold it to W.O. Phelps and L.H. and Lucia Croft in 1911. They sold it to Robert and Beatrice Gilpin in 1922. In 1940, they sold it to Francis Fox, who then sold it to Floyd Lumnah in 1942. Lumnah sold it to William Wernert in 1946, who sold it to Ellis Potter in 1957. Potter sold it to Marcel Desnoeyers who then turned it over to Hector Robert who sold it to Marta and Jimmy Page (sister + brother) in 1981.

### Architectural Significance

As constructed in 1876, the French Second Empire-style Quincy Hotel shared many elements

Quincy Hotel  
Name of Property

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typical of late 19<sup>th</sup> century commercial and hotel architecture in Vermont. The two-story plus mansard roof configuration appears in several northern Vermont buildings, such as the Derby House Hotel in Derby Center (listed in the NR September 3, 1998), the Dr. B.J. Kendall Company Building in Enosburg (listed in the National Register August 2, 1993), Gardyne Hall in Montgomery Center (Vermont Historic Sites & Structures Survey #0610-2), and the 1901 Island Villa in Grand Isle (VHSS 0702-6). The two-story porch was a typical element of the Vermont hotel, and the Quincy Hotel's expansive Italianate-style porch allowed guests to socialize and enjoy the scenery.

The original Quincy Hotel possessed several defining characteristics of the French Second Empire-style, including its Mansard roof broken by elaborate dormer windows, its cubical form, prominent eaves (though without the brackets), curved brackets on the Italianate style porch, an instance of paired windows centered in the third-floor mansard roof, and a sweeping veranda. The main block of the hotel was constructed in 1876, with the rear, three story perpendicular addition constructed soon after, before 1895 according to Sanborn maps. The one-story shed-roofed addition was constructed between 1895 and 1900, according to Sanborn maps. A large carriage barn (later automobile storage building) shows on Sanborn maps from 1895 – the 1930s, though it no longer stands today.

The building underwent a period of significant change to its exterior architecture between 1905 and 1923. First, before 1912 and for reasons unknown, the five-bay, two-story Italianate-style porch was removed and was replaced with the current Tuscan-columned, Colonial Revival-style porch which extends eastward over the abutting driveway to form the porte-cochère. Secondly, a fire of unknown cause destroyed the mansard roof of the main block and west addition in 1923. At the time of the fire the building was owned by Robert and Beatrice Gilpin, who commissioned well-known Vermont architect Louis Sheldon Newton to design and oversee the building's repairs and renovations. Louis Newton remains one of Vermont's best-known architects, noted for his ability to mix and modernize styles in complex renovations, and a master of the Colonial Revival. Newton would challenge his trade with the application of then-modern styling, transforming classical forms. A survey of Newton's work reveals his predilection for his interpretation of the Colonial Revival form: flat roof, horizontal banding, and symmetry - even when it meant the transformation of existing historic styles. One example is the Abraham Block (now Leunig's) on Church Street in Burlington, where Newton "modernized" the four-story building, altering the Federal-style parapet gable to its current flat roof. Other Newton projects with similar designs include the Marannette Apartments, and First National Stores on Pearl Street, both in Burlington.

Newton brought his modernist philosophy to the Quincy Hotel project in 1923, seizing the opportunity to reconfigure the destroyed roofline to his early vision of a streamlined, modernist façade. The Quincy Hotel's classically designed porch and its symmetry and breadth along Depot Street favored Newton's Colonial Revival approach wherein he applied the projecting eaves course below a new flat roof to accentuate the long horizontal lines that would later characterize the *Streamlined Moderne*. The result was a modestly ornamented, uniformly

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symmetrical main block, with smooth facias capping each of the three stories. Today the Quincy Hotel retains its ca. 1876 footprint, ca. 1912 Colonial Revival porch, and the ca. 1923 Newton-designed rehabilitation of the third floor to modernize the building after the fire. The building retains its architectural integrity, and Newton's design philosophy is clearly evident in the building that appears virtually identical to the photos taken in the 1930s, retaining its clapboarded and shingled walls, and two over two windows. Collectively, the changes made to the Quincy Hotel from its construction in 1876 to its remodeling in 1923 have remained intact over the past 94 years, and today the building stands as the only historic, purpose-built hotel building in the town.



Quincy Hotel  
Name of Property

Franklin, Vermont  
County and State

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## 9. Major Bibliographical References

**Bibliography** (Cite the books, articles, and other sources used in preparing this form.)

Aldrich, Lewis Cass. *History of Franklin and Grand Isle Counties, Vermont*. D. Mason & Co., Syracuse, NY. 1891

Beers, F.W. *Atlas of Franklin and County, Vermont*. F.W. Beers, A.D. Ellis and G.G. Soule, New York, New York. 1869

Child, Hamilton *Gazetteer and Business Directory of Franklin and Grand Isle Counties, Vermont for 1882 1883*. Journal Office, Syracuse, New York. 1882

Garvin, L. James. *A Building History of Northern New England*. Lebanon: University Press of New England, 2011

Enosburg Falls Historical Society, Articles, Files, Photographs & Records

Sanborn Mapping and Publishing Company

1895 *Fire Insurance Map, Enosburg Falls, Vermont*. Sanborn Mapping and Publishing Company, Pelham, New York.

1900 *Fire Insurance Map, Enosburg Falls, Vermont*. Sanborn Mapping and Publishing Company, Pelham, New York.

1920 *Fire Insurance Map, Enosburg Falls, Vermont*. Sanborn Mapping and Publishing Company, Pelham, New York.

1930 *Fire Insurance Map, Enosburg Falls, Vermont*. Sanborn Mapping and Publishing Company, Pelham, New York.

University of Vermont. *Online Landscape Change Program*. Burlington.

University of Vermont. *Wilbur Special Collections at Baily Howe Library*. Burlington

Vermont Division for Historic Preservation. *Online Research Center*. Montpelier. Vermont Division for Historic Preservation.

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### Previous documentation on file (NPS):

preliminary determination of individual listing (36 CFR 67) has been requested  
 previously listed in the National Register

Quincy Hotel  
Name of Property

Franklin, Vermont  
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previously determined eligible by the National Register  
 designated a National Historic Landmark  
 recorded by Historic American Buildings Survey # \_\_\_\_\_  
 recorded by Historic American Engineering Record # \_\_\_\_\_  
 recorded by Historic American Landscape Survey # \_\_\_\_\_

**Primary location of additional data:**

State Historic Preservation Office  
 Other State agency  
 Federal agency  
 Local government  
 University  
 Other

Name of repository: \_\_\_\_\_

**Historic Resources Survey Number (if assigned):** \_\_\_\_\_

Quincy Hotel  
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## 10. Geographical Data

**Acreage of Property** < 1 acre

Use either the UTM system or latitude/longitude coordinates

**Latitude/Longitude Coordinates (decimal degrees)**

Datum if other than WGS84: \_\_\_\_\_

(enter coordinates to 6 decimal places)

Latitude: 44°54'30.67 N

Longitude: 72°48'12.14 W

**Verbal Boundary Description** (Describe the boundaries of the property.)

The property boundary is illustrated on the sketch map and is the same as the tax parcel boundary which includes the building footprint, driveways to the east and west, and the rear parking lot.

**Boundary Justification** (Explain why the boundaries were selected.)

The property boundaries were selected to be consistent with the tax parcel and the limited amount of surrounding area historically associated with the building within its built-up village environment.

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### 11. Form Prepared By

name/title: Scott Newman, Principal  
organization: 106Associates  
street & number: 193 Saint Paul Street, Suite 105  
city or town: Burlington state: VT zip code: 05401  
e-mail [scottnewman@106associates.com](mailto:scottnewman@106associates.com)  
telephone: (802) 777-1572  
date: 9/15/2018

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### Additional Documentation

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

### Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered, and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

### Photo Log

|                    |                               |
|--------------------|-------------------------------|
| Name of Property:  | Quincy Hotel                  |
| City or Vicinity:  | Enosburg Falls                |
| County:            | Franklin                      |
| State:             | Vermont                       |
| Photographer:      | Scott Newman                  |
| Date Photographed: | As listed for each photograph |

Quincy Hotel  
Name of Property

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Description of Photograph(s) and number, include description of view indicating direction of camera:

### Inventory

- 1 of 21 Quincy Hotel, looking northwest, view shows façade and east elevation (4/19/2018).
- 2 of 21 Quincy Hotel, looking northeast, shows 1890 view of façade and west elevation, mansard roof and 2-story Italianate-style porch (08/30/2017).
- 3 of 21 Quincy Hotel, looking northwest, shows 1913 view of façade and east elevation, mansard roof and Colonial Revival-style porch (08/30/2017).
- 4 of 21 Quincy Hotel, looking northwest, shows view of 1930 façade and east elevation and conversion of third story (08/30/2017).
- 5 of 21 Quincy Hotel, looking north, view shows façade (4/19/2018).
- 6 of 21 Quincy Hotel, looking northeast, view shows west elevation of main block (4/19/2018).
- 7 of 21 Quincy Hotel, looking southwest, view shows west elevation of 3-story addition (4/19/2018).
- 8 of 21 Quincy Hotel, looking south, view shows north elevation of main block 3-story addition, and 1-story addition (8/30/2017).
- 9 of 21 Quincy Hotel, looking southwest, view shows east elevation of main block (8/30/2017).
- 10 of 21 Quincy Hotel, looking southwest, view shows porte cochere attached to east elevation of main block (8/30/2017).
- 11 of 21 Quincy Hotel, looking northwest, view shows façade porch (8/30/2017).
- 12 of 21 Quincy Hotel, looking north, view shows façade main entrance (8/30/2017).
- 13 of 21 Quincy Hotel, looking south, view shows main entrance lobby (4/19/2018).
- 14 of 21 Quincy Hotel, looking northwest, view shows main dining room (4/19/2018).
- 15 of 21 Quincy Hotel, looking northeast, view shows main dining room (4/19/2018).
- 16 of 21 Quincy Hotel, looking east, view shows second-floor main corridor (4/19/2018).

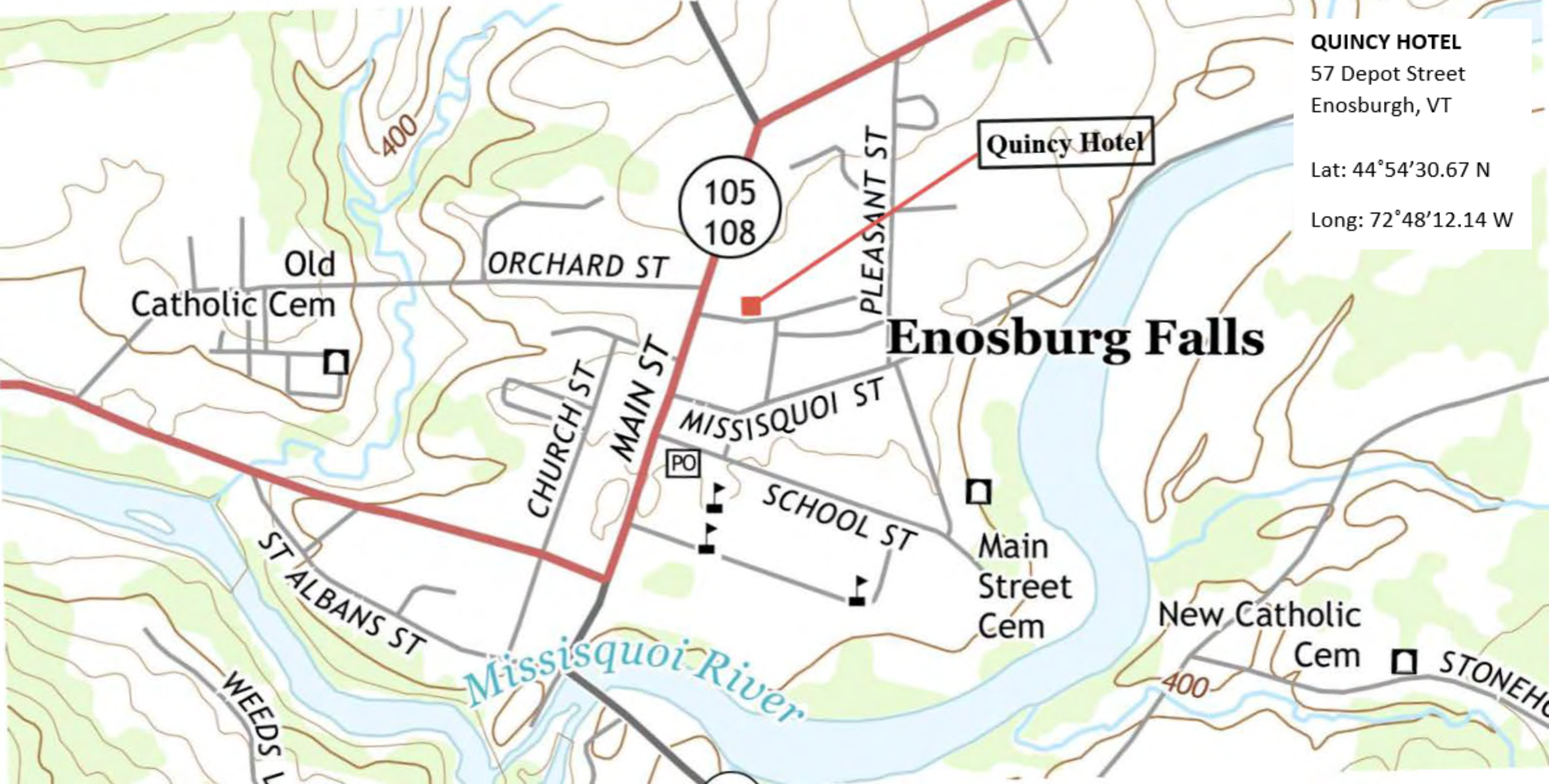
Quincy Hotel  
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- 17 of 21 Quincy Hotel, looking north, view shows stairwell to third floor with historic newel posts (4/19/2018).
- 18 of 21 Quincy Hotel, looking south, view shows third-floor landing (5/10/18).
- 19 of 21 Quincy Hotel, looking east, view shows third-floor main corridor (4/19/2018).
- 20 of 21 Quincy Hotel, looking south, view shows room 3-1 (4/19/2018).
- 21 of 21 Quincy Hotel, looking northeast, view shows basement level (4/19/2018).

**Paperwork Reduction Act Statement:** This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.



**QUINCY HOTEL**  
57 Depot Street  
Enosburgh, VT  
  
Lat: 44°54'30.67 N  
Long: 72°48'12.14 W

**Quincy Hotel**

# Enosburg Falls

105  
108

Missisquoi River

Old  
Catholic Cem

ORCHARD ST

PLEASANT ST

CHURCH ST

MAIN ST

MISSISQUOI ST

SCHOOL ST

Main  
Street  
Cem

New Catholic  
Cem

ST ALBANS ST

WEEDS L

STONEH

# Quincy Hotel

Enosburg Fall, VT

Lat: 44°54'30.67 N

Lon: 72°48'12.14 W

MAIN St.

DEPOT St.



Google Earth

© 2013 Google

200 ft













THE QUINCY HOUSE  
ENOSBURG FALLS

















# SOMERSET INN

57





EXIT



















UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES  
EVALUATION/RETURN SHEET

Requested Action: Nomination

Property Name: Quincy Hotel

Multiple Name: \_\_\_\_\_

State & County: VERMONT, Franklin

Date Received: 12/21/2018      Date of Pending List: \_\_\_\_\_      Date of 16th Day: \_\_\_\_\_      Date of 45th Day: \_\_\_\_\_      Date of Weekly List: 2/4/2019

Reference number: SG10003415

Nominator: \_\_\_\_\_

Reason For Review:

- |                                       |  |   |
|---------------------------------------|--|---|
| <input type="checkbox"/> Appeal       | <input checked="" type="checkbox"/> PDIL | <input type="checkbox"/> Text/Data Issue    |
| <input type="checkbox"/> SHPO Request | <input type="checkbox"/> Landscape       | <input type="checkbox"/> Photo              |
| <input type="checkbox"/> Waiver       | <input type="checkbox"/> National        | <input type="checkbox"/> Map/Boundary       |
| <input type="checkbox"/> Resubmission | <input type="checkbox"/> Mobile Resource | <input type="checkbox"/> Period             |
| <input type="checkbox"/> Other        | <input type="checkbox"/> TCP             | <input type="checkbox"/> Less than 50 years |
|                                       | <input type="checkbox"/> CLG             |   |

Accept       Return       Reject      2/4/2019 Date

Abstract/Summary Comments: Originally designed and built in the second empire, in 1823 it was remodeled by Vermont master architect Louis Sheldon Newton, who wrestled a colonial revival feel out of the earlier building.

Recommendation/ Criteria: Accept / C

Reviewer Jim Gabbert      Discipline Historian

Telephone (202)354-2275      Date \_\_\_\_\_

DOCUMENTATION:    see attached comments : No    see attached SLR : No

If a nomination is returned to the nomination authority, the nomination is no longer under consideration by the National Park Service.



UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

OMB Approved  
No. 1024-0009  
Form 10-168  
Rev. 2014

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 1 – EVALUATION OF SIGNIFICANCE**

NPS Project Number 35902

**Instructions:** This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Property Name** Quincy Hotel  
Street 57 Depot Street  
City Enosburg Falls County Franklin State VT Zip 05450  
Name of Historic District \_\_\_\_\_  
 National Register district     certified state or local district     potential district

2. **Nature of request** (check only one box)  
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.  
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
 certification that the building does not contribute to the significance of the above-named district.  
 preliminary determination for individual listing in the National Register.  
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.



3. **Project Contact** (if different from applicant)  
Name Scott Newman Company 106 Associates  
Street 193 St. Paul St., #105 City Burlington State VT  
Zip 05401 Telephone (802) 777-1572 Email Address scottnewman@106associates.com

4. **Applicant**  
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1)  I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2)  if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.  
Name (Betsy) Dorminey Elizabeth K. DORMINEY Signature [Signature] Date 3-3-2017  
Applicant Entity Quincy Hotel of Enosburg Falls LLC SSN 254-74-0188 or TIN \_\_\_\_\_  
Street 357 Hill Street City Athens State GA  
Zip 30601 Telephone (706) 461-3798 Email Address bdorminy@bellsouth.net

**NPS Official Use Only**  
The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:  
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.  
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.  
 does not contribute to the significance of the above-named district.

Preliminary Determinations:  
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.  
 does not appear to qualify as a certified historic structure.

Date 4/27/17 National Park Service Authorized Signature [Signature]  
 NPS comments attached



**State of Vermont**  
**Division for Historic Preservation**  
Deane C. Davis Building, 6<sup>th</sup> Floor  
One National Life Drive, Montpelier, VT 05620-0501  
<http://acd.vermont.gov/historic-preservation>

[phone] 802-828-3540

*Agency of Commerce and  
Community Development*



December 14, 2018

Joy Beasley  
National Park Service  
National Register of Historic Places  
1849 C Street, Mail Stop 7228  
Washington, DC 20240

**Re: Nomination to the National Register of Historic Places for Property in Vermont**

Dear Ms. Beasley:

The enclosed disks contain a true and correct copy of the nomination for the Quincy Hotel located at 57 Depot Street in Enosburgh, VT, to the National Register of Historic Places.

Notification

The property owner(s), Chief Elected Official and Regional Planning Commission were notified of the proposed nomination on October 22, 2018.

- No objections to the nomination were submitted to the Division during the public comment period.
- An objection to the nomination was submitted to the Division during the public comment period. A copy of the objection is included on Disk 1.
- A letter of support for the nomination was submitted to the Division during the public comment period. A copy of the letter is included on Disk 1.

Certified Local Government

- The property being nominated is not located in a CLG community.
- The property being nominated is located in a CLG community, and a copy of the local commission's review is included on Disk 1.



Rehabilitation Investment Tax Credits

- This property is not utilizing the Rehabilitation Investment Tax Credits.
- This property being rehabilitated using the Rehabilitation Investment Tax Credits. A copy of the *Part I – Evaluation of Significance* form is included on Disk 1.


State Review Board

The Vermont Advisory Council on Historic Preservation reviewed the draft nomination materials at its meeting on November 15, 2018. The Council voted that the property meets the National Register Criteria for Evaluation under Criterion C, and recommends that the State Historic Preservation Officer approve the nomination.

If you have any questions concerning this nomination, please do not hesitate to contact me at (802) 585-8246 or [devin.colman@vermont.gov](mailto:devin.colman@vermont.gov).

Sincerely,

VERMONT DIVISION FOR HISTORIC PRESERVATION

A handwritten signature in black ink, appearing to read "D. Colman", followed by a long horizontal line extending to the right.

Devin A. Colman  
State Architectural Historian