

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

Section number \_\_\_\_\_ Page \_\_\_\_\_

SUPPLEMENTARY LISTING RECORD

NRIS Reference Number: 92000250 Date Listed: 3/30/92

Schwalen-Gomez House  
Property Name

Pima                      AZ  
County                      State

Menlo Park MPS  
Multiple Name

-----  
This property is listed in the National Register of Historic Places in accordance with the attached nomination documentation subject to the following exceptions, exclusions, or amendments, notwithstanding the National Park Service certification included in the nomination documentation.

*for* Antoinette Lee  
Signature of the Keeper

3/30/92  
Date of Action

=====  
Amended Items in Nomination:

Description: The wall materials section is amended to read:  
stucco.

This information was confirmed with Jay Ziemann of the Arizona State historic preservation office.

DISTRIBUTION:  
National Register property file  
Nominating Authority (without nomination attachment)

United States Department of the Interior  
National Park Service

# National Register of Historic Places Registration Form



NATIONAL  
REGISTER

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

**1. Name of Property** Schwalen/Gomez House  
historic name Schwalen House or "Home Place"  
other names/site number \_\_\_\_\_

**2. Location**  
street & number 217 N. Melwood Avenue  Not for publication  
city, town Tucson  Vicinity  
state Arizona code AZ county Pima code 019 zip code 85745

**3. Classification**

<b>Ownership of Property</b>	<b>Category of Property</b>	<b>Number of Resources within Property</b>	
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	Contributing	Noncontributing
<input type="checkbox"/> public-local	<input type="checkbox"/> district	<u>1</u>	<u>0</u> buildings
<input type="checkbox"/> public-State	<input type="checkbox"/> site	_____	_____ sites
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	_____	_____ structures
	<input type="checkbox"/> object	<u>1</u>	<u>0</u> objects
			<u>0</u> Total

Name of related multiple property listing: \_\_\_\_\_  
Number of contributing resources previously listed in the National Register 0

**4. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this  nomination  request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property  meets  does not meet the National Register criteria.  See continuation sheet.  
Shereen Lerner 2/18/92  
Signature of certifying official Date  
State Historic Preservation Officer  
State or Federal agency and bureau

In my opinion, the property  meets  does not meet the National Register criteria.  See continuation sheet.  
\_\_\_\_\_  
Signature of commenting or other official Date  
\_\_\_\_\_  
State or Federal agency and bureau

**5. National Park Service Certification**

I, hereby, certify that this property is:  
 entered in the National Register. Autawicthi Lee 2/20/92  
 See continuation sheet.  
 determined eligible for the National Register.  See continuation sheet.  
 determined not eligible for the National Register.  
 removed from the National Register.  
 other, (explain:)  
\_\_\_\_\_  
Signature of the Keeper Date of Action

**6. Function or Use**

Historic Functions (enter categories from instructions)

Domestic - Single dwelling

Current Functions (enter categories from instructions)

Domestic - Single dwelling

**7. Description**

Architectural Classification

(enter categories from instructions)

Late 19th & Early 20th Century

American Movements; Bungalow influence

Materials (enter categories from instructions)

foundation concrete

walls adobe, mud-laid & brick

roof gable

other \_\_\_\_\_

Describe present and historic physical appearance.

**SUMMARY**

217 N. Melwood Avenue, the Schwalen/Gomez house (Survey #21-13), is a late 19th or early 20th century residence in the Menlo Park Neighborhood significant for its association with an individual important to the development of the subdivision. Known as the "Home Place," the residence was owned by Henry E. Schwalen, the founder of Menlo Park. Originally a three room adobe farm house, purchased around 1905, the "Home Place" was situated in a rural setting on farmland owned by the Schwalen family until it was platted and subdivided, under the auspices of Mr. Schwalen's firm, Pima Realty Company. The Schwalens added to the residence in 1911, creating a stuccoed, two-story structure around the original adobe core. The house is "Bungalow influenced." Other than new roofing and replacement of some of the original wood double hung windows in the post-historic era, the Schwalen/Gomez house retains a high degree of integrity of massing and materials. Changes have not adversely affected the appearance of the "Home Place" which looks much as it did in a family photograph of 1911 showing the newly remodelled residence.

**SITE AND SETTING**

217 N. Melwood Avenue is located on lot 13 of block 2 of the Menlo Park subdivision, which is the original parcel defined at the time of the 1913 platting. Today, the Schwalen/Gomez house is one of three historic properties on its block which consists of seventeen lots. Most of the properties have been improved with Modern style houses from the late 1940's and Ranch style houses from the 1950's. The heavy representation of post-historic era properties reflects the sluggish growth of Menlo Park during the historic period in comparison to eastside subdivision development in Tucson. The house was surrounded by predominantly rural land until after World War II. As described by Mr. Schwalen's daughter, Alice Babby, the original site of the "Home Place" was shaded by large ash trees. These trees were watered by buckets pulled up from a well. This same well served to keep butter, which was stored on a platform within, from melting during the hotter months of the year.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet

Section number 7 Page 2

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### CONSTRUCTION

The Schwalen/Gomez house is constructed of stuccoed brick walls with a mud-laid adobe interior core representing the original walls of the farm house. The foundation is of concrete; the floors and gable roof are of wood frame. Compatible, insulated, double hung wood windows replace the original double hung wood windows. The original roof sheathing was of wood shingles which has since been replaced with composition shingles.

### ORIGINAL APPEARANCE

The "adobe core" representing the original 3-room farmhouse must have looked very much like other Vernacular farmhouses in the vicinity being simple, functional, rectangular stuccoed properties with Anglo-type, wood frame roof structures (either gable or hip). After purchasing the house around 1905, Mr. Schwalen immediately built a canvas enclosed sleeping porch across the back to accommodate the four children. Afflicted with tuberculosis, he, too, was supposed to sleep in the more open environment of a sleeping porch. In 1911, the house was enlarged and remodelled with the addition of a second story which projected over the first forming a segmented arched porch to serve the ground floor. There was also an unenclosed, covered porch extending the entire length of the back of the house to the west. Covered with a normal pitch gable roof which had dormers facing north and south, the residence was unique in appearance and larger in scale than most of the properties built in the Survey Area before 1941.

### ORIGINAL INTERIOR

During the remodel of 1911, some walls of the original, solidly built, two foot thick adobe core (which had consisted of the kitchen, dining room and living room) remained. Apparently the front wall of the adobe structure was removed and the house was extended to the east, increasing the size of the living room. The second story addition included three bedrooms and a bath. There was also a cellar beneath the rear portion of the house. Openings in the original adobe portion of the house were all framed with heavy wood which had been prepared by hand. Moldings throughout the first floor were dark stained and plain. The first floor had oak floors and the second had pine. The living room ceiling had heavy wood beams and built-in, floor-to-ceiling book shelves with leaded glass doors on the west wall. A copper, gas heated fireplace served the house until the present owner installed central heating in recent years. The staircase upstairs was located in the room to the west of the living room, which was probably the original dining room. The staircase was functional, narrow and steep. The master bedroom was located in the space which projected over the front porch. The second story bedroom facing south was panelled with wood.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet

Section number 7 Page 3

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### CURRENT APPEARANCE AND ALTERATIONS

After the major remodel of 1911, the alterations to the Schwalen/Gomez house have been very minor in the post-historic period. With the exception of the replacement of some original wood, double hung windows with new wood, insulated double hung windows in the same openings, a new composition shingle roof, and central HVAC by the current owner, the main massing of the original house is intact. The current owner is undertaking restoration work to repair the plaster on the original adobe core and to otherwise stabilize parts of the interior that have deteriorated over the years.

**8. Statement of Significance**

Certifying official has considered the significance of this property in relation to other properties:

nationally     statewide     locally

Applicable National Register Criteria     A     B     C     D

Criteria Considerations (Exceptions)     A     B     C     D     E     F     G

Areas of Significance (enter categories from instructions)

Community Planning &  
Development

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Period of Significance

1905-1941

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Significant Dates

+ -1905  
1911

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Cultural Affiliation

\_\_\_\_\_  
\_\_\_\_\_

Significant Person

Schwalen, Henry E.

Architect/Builder

\_\_\_\_\_  
\_\_\_\_\_

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

**SIGNIFICANCE**

The original Schwalen/Gomez house, of an unknown construction date, is significant under National Register Criterion B for its association with a locally prominent individual to the history of Tucson. As the home of Henry E. Schwalen, the developer of Menlo Park, the property represents the "Birth of Menlo Park." Menlo Park and El Rio were the two subdivisions developed in Tucson west of the Santa Cruz River during the historic era. At this time, the favored pattern of growth in Tucson was eastward. Menlo Park was the first subdivision in Tucson with cast iron water lines and carefully controlled building restrictions. It was established as an exclusive neighborhood for people of average incomes. Henry E. Schwalen is significant for his contribution to subdivision development in Tucson from 1905 to 1941.

As stated elsewhere, Henry E. Schwalen was Manager and Salesman for the Pima Realty Company, a corporation he established for the purpose of creating a subdivision. He and his partner, wealthy cattleman and landowner, Manuel King, put in their own land to start the process. Lots were platted, water mains and drains laid, streets were improved, and on some streets side walks constructed in what became the Menlo Park Subdivision north of Congress Street. The partners then began to build speculative houses which were modest, one story Bungalows, using amortized mortgages to pay them off. The West Congress Street Addition was also recorded in 1913. In 1920, South Menlo Park, to the south of Congress Street, and Menlo Park Annex, west of the original Menlo Park, were recorded increasing the size of the development by a number of new blocks.

See continuation sheet

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Continuation Sheet**

Section number 8 Page 2

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**INTEGRITY**

Other than the few minor alterations to windows and roof, there have been no substantive changes to the Schwalen/Gomez house which remains an intact reminder of its earlier owner, Henry E. Schwalen, important to the development of Menlo Park, and on the larger local scale, to subdivision development in Tucson from 1905-1941.

**9. Major Bibliographical References**

Babby, Alice, oral history, summer 1990

Henkel, Irma, annotated photo album of the Schwalen Family

The Arizona Daily Star, September 1932

Williams, Judith, ed. Plaza of the Pioneers. Tucson: Tucson Museum of Art, 1932.

See continuation sheet

**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # \_\_\_\_\_
- recorded by Historic American Engineering Record # \_\_\_\_\_

**Primary location of additional data:**

- State historic preservation office
- Other State agency
- Federal agency
- Local government
- University
- Other

Specify repository: \_\_\_\_\_

**10. Geographical Data**

Acreage of property less than 1

**UTM References**

A 1,2 5|0,1|2,2,0 3,5|6,5|1,6,0

C         

B           
Zone Easting Northing

D         

See continuation sheet

**Verbal Boundary Description**

The boundaries of the nominated property are the same as those of tax parcel number 116-18-0170, further described as lot 13, block 2 of the Menlo Park Subdivision

See continuation sheet

**Boundary Justification**

The boundary includes the original parcel, lot 13, defined as originally platted. This is the present and historic extent of the property

See continuation sheet

**11. Form Prepared By**

name/title Janet Strittmatter, Project Coordinator

organization Johns & Strittmatter Inc date February 9, 1992

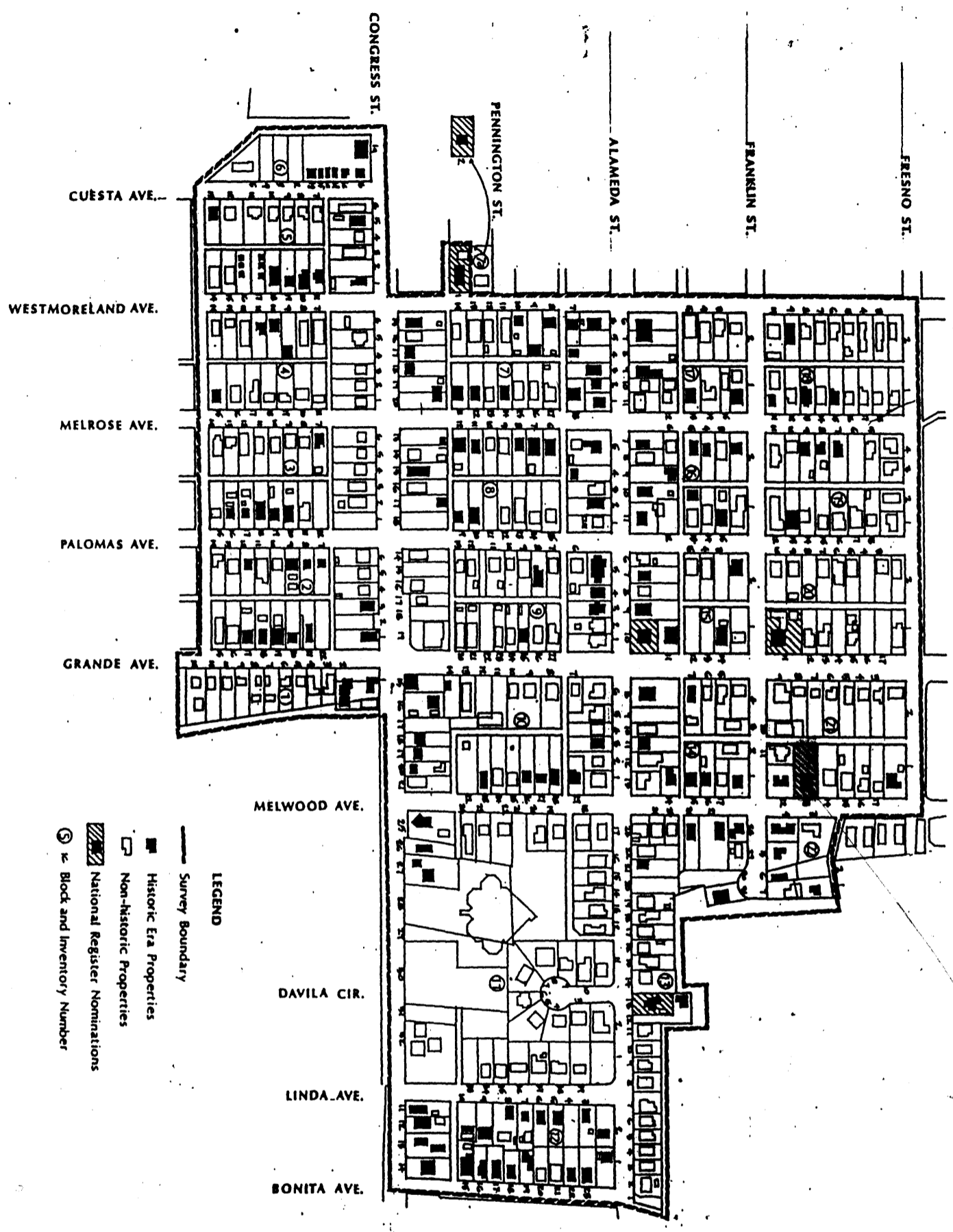
street & number 2960 N. Swan, #217 telephone (602) 325-2591

city or town Tucson state Arizona zip code 85712



# MENLO PARK NEIGHBORHOOD SURVEY PROPERTY INVENTORY

1" = 200'



*Schwaley/Gomez House*

- LEGEND**
- Historic Era Properties
  - Non-Historic Properties
  - National Register Nominations
  - Block and Inventory Number
  - Survey Boundary

Prepared for:  
Menlo Park Neighborhood Association  
February, 1991

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