

United States Department of the Interior
National Park Service

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NATIONAL REGISTER

National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Buyers Building

other names/site number Guardian Building; Loyalty Building

2. Location

street & number 317 SW Alder Street N/A not for publication

city or town Portland N/A vicinity

state Oregon code OR county Multnomah code 051 zip code 97204

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

James Hamrick December 15, 1993

Signature of certifying official/Title Deputy SHPO Date

Oregon State Historic Preservation Office

State of Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title _____ Date _____

State or Federal agency and bureau _____

4. National Park Service Certification

I hereby certify that the property is:

- entered in the National Register.
 - See continuation sheet.
- determined eligible for the National Register
 - See continuation sheet.
- determined not eligible for the National Register.
- removed from the National Register.
- other, (explain:)

for Signature of the Keeper Guynor Dapstone Entered in the Date of Action 1/28/94
National Register

Buyers Building

Multnomah County OR

Name of Property

County and State

5. Classification

Ownership of Property

(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property

(Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

(Do not include previously listed resources in the count.)

Contributing	Noncontributing	
1		buildings
		sites
		structures
		objects
1		Total

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

N/A

6. Function or Use

Historic Functions

(Enter categories from instructions)

COMMERCE: Business

Current Functions

(Enter categories from instructions)

COMMERCE: Business

7. Description

Architectural Classification

(Enter categories from instructions)

Late 19th and Early 20th Century
American Movements: Chicago School

Materials

(Enter categories from instructions)

foundation Concrete

walls Brick

roof Concrete

other Cornice: sheet metal

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

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SETTING

The Loyalty Building, located on a 50 foot x 100 foot site at the northwest corner of SW 3rd Avenue and SW Alder Street in downtown Portland, Oregon, is a 12-story and basement office building. The 100 foot dimension of the lot is on Alder Street and the 50 foot dimension on Third Avenue. Originally named the Buyers Building, it was constructed in 1928 for the Pacific States Investment Company at a cost of \$500,000.

The Buyers Building was first designed in 1922 by Claussen & Claussen, Inc., an architectural firm established in Portland in 1908 by two brothers from Chicago. Subsequently, the project was put on hold until 1928. In that year, the Buyers Building was revived and expanded to twelve stories. Claussen & Claussen remained the architects. The construction contractor was L. H. Hoffman, then already established as one of the city's leading general contractors. This building replaced the old four-story Masonic Building, a Second Empire style structure with a Mansard roof, which had been constructed in 1872.

Next door to the Loyalty on Third Avenue are the 1893 Hamilton Building and the 1892 Dekum Building, both Portland Historical Landmarks and on the National Register. Together, these three buildings facing Third Avenue constitute a unique example of three successive styles in the development of Portland office buildings.

STRUCTURE

The structural frame of the building is reinforced concrete, except that column cores from the foundation to the third floor level are steel "H"-shaped sections, built up with plates and angles. The steel column cores bear on cast iron bases. The columns at the property lines do not have these steel cores. The building is framed three bays wide in the north-south direction, and five bays wide in the east-west direction. Floors are slab and beam construction, three slabs to a bay, with beams running north and south. The concrete columns above the third floor are octagonal in section; a detail also used in the 1926 Terminal Sales Building.

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The property line brick walls of the old Masonic Building remain. The north wall forms the south wall of the adjoining Hamilton Building, which was constructed without a south wall of its own. The old brick walls were chased to receive the new columns and the concrete floor slabs of the new building up to the fifth floor. These brick walls are 24 inches thick at the basement level. Above the old brick walls are new reinforced concrete walls. At the street fronts, the walls are all reinforced concrete, with a brick veneer facing.

EXTERIOR

The street elevations of the building are organized in the tri-partite arrangement prescribed for tall buildings by Louis H. Sullivan in the 1890s, with a two story base; an eight story shaft and a two story capital. The two-story base is faced with cast stone, and the columns are very slender, flaring just below the third floor level to form rounded corners at the heads of the second floor window openings. This detail is unique in Portland, and its prototype elsewhere, if any, is not known. At the third floor level is a cast-stone belt course, which includes an egg and dart molding at its base. The narrow spandrel at the second floor level is also of cast-stone. The in-fill is of large plate glass windows with a high transom and narrow side-lights in wood frames. For its date, this is a stunning detail. Some changes to store fronts have taken place over the years since the original construction.

Above the belt course, the building is faced with a light cream colored brick laid in common bond. Window sills are cast stone. The columns are slightly wider than at the first and second floors. Window fill the openings between columns and spandrels, and are glazed with three, wide double-hung wood sash at each bay. The detailing of the brick at the spandrels creates a panelled effect. At the eleventh floor level is a second belt course of cast stone, of similar design to that of the third floor level. Below this belt course, there is an ornamental cast-stone cartouche at the head of each column. The two top stories are ornamented with pilasters having simplified Classical orders at the face of each column.

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On the west elevation of the building, a single window lit the stairway at each floor above the fifth floor level.

At the top of the building is a narrow cornice of painted sheetmetal, which repeats the egg and dart molding of the beltcourses, and includes also a dentil course. Above the cornice is a Classical balustrade at the edge of the roof.

Above the roof, the elevator rises two stories, and the stair penthouse one story. The penthouse has large windows on its west and south elevations, above which were blind arches. Penthouse walls were plastered, and had classic pilasters of cement plaster at the corners. A simplified entablature of galvanized sheetmetal faced the outside of the parapet wall above the pilaster capitals.

CHANGES

The building entrance originally repeated the detail of the other street front bays, except that there was a metal and glass marquee over the entrance bay. In 1939, the entrance and lobby were remodelled to a design by Portland architect Harry A. Herzog. The marquee was removed, and a new bronze entrance installed in elegant Art Deco detail, at which architect Herzog excelled. On the exterior, a small shop front was built to the west of the entrance, and the entrance emphasized by a two story surround of glazed terra cotta, having a rounded profile. The terra cotta was manufactured by Gladding McBean, and the bronze work by Oregon Brass Work. The general contractor for the remodelling was Reimers & Jolivette.

Changes were also made to the original lobby design. The lobby walls above the Italian marble wainscot had originally been faced with Caen Stone ashlar, with round headed blind arches above the two elevator openings. These contained the lighted floor indicators arranged in a semi-circular grouping, echoing the shape of the arch. The arches were eliminated and the floor indicators placed in rectangular marble panels matching the marble wainscot. The elevator doors were also modified to harmonize with the Art Deco feeling of the redesign. New lighting was also installed. A new acoustical tile ceiling covered the original Classically detailed ceiling in the lobby, and a new

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plaster ceiling and wall panels with an Art Deco feeling installed in the entrance vestibule. The original tile floor of white hexagonal tiles with a pattern of black tiles remain in place.

The lobby has been slightly remodelled in recent years. The stone ashlar has been covered with mirrors, new lighting installed and a new ceiling covers the old. These changes compliment architect Herzog's Art Deco design so as to appear to be part of the 1939 remodel.

Like most of Portland's white and cream colored brick office buildings, the Loyalty Building's brick and cast stone ornament have been painted white to cover the staining and soil which had marred their appearance.

INTERIOR

Originally, the typical floor was laid out with five "stores", one to each bay along Alder Street, and running the depth of the building to a corridor at the back of the building along the north property line. Store number 1 on each floor, between the two elevators and Alder Street, was smaller, about 20 feet by 16 feet; the other four stores were about 20 feet by 42 feet in size. The corridor had a hexagonal tile floor similar to the building floor, and the store fronts along the corridor had display windows adjoining the entrance doors.

Display windows originally filled the entire corridor partition between store entrance doors. Above the doors and display windows were glazed transoms. Doors, windows and transoms were all framed in mahogany, and an Italian marble base which matched the marble in the lobby ran the entire length of the corridor partition, under the display windows. At the present time, on the fifth floor, the original transoms remain in place, but the display windows have been covered with sheet rock. Many of the original mahogany doors remain throughout the building.

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A feature of the original building was a ventilation system which heated in the winter and cooled in the summer. Heat was supplied from the district steam system. It is not known how the cooling was accomplished. This system was said at the time to be the second such installed in the city. The two passenger elevators originally included two cars in the south shaft, one for passengers and one for freight. These were designed so they could be operated separately or coupled together. In the 1930s, the elevators were speeded up to improve service.

The maintenance of this building is excellent, and the condition very good for its 65 years. Many of the tenant floors have been completely gutted and remodelled, and others partially remodelled over the years, so that only one suite on the fifth floor remains in a condition close to the original.

The timing of the construction of this building was unfortunate. The stock market crash and the Great Depression immediately followed its completion in 1928. After a few years, the building could not be rented for its original purpose and tenants were then sought amongst the usual users of office space.

COMPARISON WITH OTHER OFFICE BUILDINGS

The Buyers Building and the Public Service building, along with the Medical Dental Building, were the newest office buildings in Portland from their construction in 1928 until the completion of the 1948 Equitable Building. Although its belt courses, cornice and pilasters make use of Classical details, the base of the building, with the rounded head detail at the second floor windows is *Moderne* in feeling, and the total effect of the building is of an expressed structural frame with a glass infill. This was the first office building in Portland to develop this concept.

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The Buyers Building, when completed in 1928, differed from all other downtown Portland office buildings in many respects. It has no light wells, and lighted its full 40 foot depth of rental space by using larger amounts of glazing than had been used for an office building before, filling the structural frame openings with high windows. Its single-loaded corridor at the rear of the typical floor plan was also unique.

Other Portland office buildings prior to this building all had light wells and light courts, and generally had double-loaded corridors. Their windows were "punched" openings in the exterior masonry or concrete wall.

Despite the use of Classical details, the appearance of this building was surprisingly modern, and held that distinction for twenty years after its construction. A comparison with the Public Service Building, completed the same year, make the forward looking design of the building readily apparent. The Loyalty Building is unique in Portland for its period.

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
B Property is associated with the lives of persons significant in our past.
[X] C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A owned by a religious institution or used for religious purposes.
B removed from its original location.
C a birthplace or grave.
D a cemetery.
E a reconstructed building, object, or structure.
F a commemorative property.
G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

Architecture

Period of Significance

1922-1928

Significant Dates

1928

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

Claussen and Claussen, Architects

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
previously listed in the National Register
previously determined eligible by the National Register
designated a National Historic Landmark
recorded by Historic American Buildings Survey #
recorded by Historic American Engineering Record #

Primary location of additional data:

- State Historic Preservation Office
Other State agency
Federal agency
Local government
University
Other

Name of repository:

Buyers Building
Name of Property

Multnomah County OR
County and State

10. Geographical Data

Acreage of Property 0.11 acres

Portland, Oregon-Washington 1:24000

UTM References

(Place additional UTM references on a continuation sheet.)

1 | 1 | 0 | | 5 | 2 | 5 | 4 | 5 | 0 | | 5 | 0 | 4 | 0 | 4 | 6 | 0 |
Zone Easting Northing
2 | | | | | | | | | | | | | | | | |

3 | | | | | | | | | | | | | | | | |
Zone Easting Northing
4 | | | | | | | | | | | | | | | | |

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title John M. Tess, President, and Richard Ritz, FAIA

organization Heritage Investment Corporation date April 30, 1993

street & number 123 NW Second Avenue #200 telephone 503/228-0272

city or town Portland state OR zip code 97209

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name Melvin Mark Properties

street & number 111 SW Columbia Street #138 telephone 503/ 223-4777

city or town Portland state OR zip code 97201

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

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SHPO SUMMARY

The building constructed as a wholesale marketing outlet known as the Buyers Building at SW Third and Alder in downtown Portland, Oregon in 1928 is a 12-story Commercial-style office tower of reinforced concrete with cream colored brick facing and cast stone base and detailing. It has a footprint of 50 x 100 feet with the major frontage and main entrance on SW Alder. The building was designed by the firm of Claussen and Claussen as an eight-story building as early as 1922 for wholesale jeweler Isidore Holsman. After six years' deferral, the project was revived by Pacific States Investment Company and carried to completion with the added height of four stories. Holsman reemerged as a central figure in the building's financing at this point and later in the property's chequered investment history.

The building is locally significant under National Register Criterion C as an innovative tall building design based on architecture of the Chicago School which is well preserved on the exterior. The Claussen brothers, Fred and William, arrived from Chicago to open their practice in Portland in 1908. After Fred's death in 1942, William E. Claussen continued the office in the Buyers Building until his own demise in 1953. It is revealed by this application that the Buyers Building undoubtedly is the firm's masterwork in a body of work that heretofore has been known chiefly for hotels and smaller scale apartment houses in historic period styles.

The ultimate self-contained high-rise buyers' mart had been achieved in Portland when the Terminal Sales Building opened at 12th and Morrison in 1926. The Buyers Building was an equally bold pre-Depression scheme, but on a smaller scale. Instead of drawing away from the congested riverfront business district, it was anchored east of 4th Avenue. Its design efficiently expressed the wholesaling function envisioned by the original investors. Although first and second floors were allocated to retail space and the third floor to central reception and office space, the upper floors had a single corridor along the rear wall separated by a plate glass wall. Tenants partitioned the open interior according to need. There was no light court, nor were light wells required. Natural light was admitted instead by the expanded window space in street elevations. The proponents make the point that this was the

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first tall building in Portland in which the concept of an expressed structural frame of reinforced concrete with glass infill was developed. Because of this and certain of the mechanical systems with which it was equipped initially, the Buyers Building is thought to represent one of the most advanced modern commercial towers in downtown Portland before Pietro Belluschi's proto-curtain wall construction, the Equitable Building, took shape on SW Sixth Avenue after the Second World War (completed 1948).

Exterior elevations of the Buyers Building are based on the Chicago School formula with a two-story base, eight-story shaft and two-story pilastered cap. Surface articulation is restrained, with belt courses, cornice and balustrade sparingly detailed in the Classical manner. Fenestration is the noteworthy aspect. Windows are a variant of the Chicago School standard and consist of a three-part grouping of equally wide double-hung wood sash. The effect is one of reduced wall space, predominant glazing. Under flattened arch heads, second story windows of the retail base extend the full width of a structural bay with high transom and narrow sidelights.

Green Italian marble that formed the base of shopfronts is intact. The lobby and main entrance were compatibly remodeled in the Moderne style by Harry Herzog in 1939, during the time the property was known as the Guardian Building. The building's exterior, clad in light-colored materials, was comprehensively painted white in recent years as a refurbishing expedient. Over the years, the tenant floors have been largely gutted and remodeled. It is disclosed that only one suite on the 5th floor remains relatively unaltered with its original mahogany woodwork.

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BUILDING IN DOWNTOWN PORTLAND IN THE 1920s

The Buyers Building was built at the height of commercial building in downtown Portland. There had been significant growth in Portland during the early 1900's and the city had failed to provide a workable plan to guide the development of the downtown area. In 1918 the Portland City Planning Commission was formed. With the advent of the automobile, the downtown changed rapidly. By the 1920's the city was in need of upgrading due to increasing traffic, dilapidating buildings, and the inability of the city to develop a plan to control downtown growth. The "City Beautiful" movement was an attempt to save the downtown from its rapid growth. By 1925 there was a surge in real estate buying and development, and public investment was becoming more common.

As 1927 drew to a close, the Journal noted three buildings which would drastically change the city's downtown skyline. First was the new Heathman Hotel at Broadway and Salmon. The second was the Public Service Building at Taylor and Salmon. The third was the Buyers--the first building to be constructed east of Fourth Avenue in more than a decade.

Simultaneously, building in Portland overall boomed. The Medical Dental, Neighbors of Woodcraft, Temple Beth Israel--all just west of downtown--were constructed in about the same time as the Buyers. Across the Willamette, the Weatherly became the first tall building on the east side while the Robert E. Barrett-designed St. Andrews Roman Catholic Church was being completed.

HISTORY OF THE BUILDING

In 1920, wholesale jeweler Isidore Holsman purchased the old Masonic Temple building site from the Masonic fraternities for \$150,000. At the time, the J. K. Gill Company had occupied the corner property at 3rd and Alder, but their new building at Fifth and Stark was to be completed by the end of 1922. With the primary tenants planning to leave, Holsman announced on July 22, 1922, plans to construct an eight-story fireproof building on the site. Already, architects Claussen & Claussen had developed the building plans and costs were estimated at \$175,000. Holsman intended for the building to follow the trend of merchandise marts in major cities as New York and Chicago.

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From then, plans for the project went on hold--for reasons unknown but perhaps related to Holsman's jewelry business. Holsman left town by 1923 and does not re-appear until 1928 shortly after the project begins anew.

On October 9, 1927, Paul C. Harbaugh, the President of Pacific States Investment Company, announced plans to replace the 55 year old Masonic Building on the southwest corner of Third and Alder with a modern 8-story building. Pacific States revived the Claussen & Claussen design and schematics.

Similar to Holsman's original concept, the Buyers Building was also to follow the exceptionally successful example of the Terminal Sales Building in Portland, which was 75% occupied within four months of completion.

By 1928, Holsman reappears in Portland as the owner of Pacific States Investment. Paul C. Harbaugh, who had worked for Holsman as a jewelry salesman in 1915-1920, apparently was just a front man.

Initial plans called for an 8 story building with retail/specialty store space on the first two levels. Upper floors, which would contain jobbers' offices, would be completed to suit the occupants. Noteworthy early design elements included mahogany woodwork, a basement extending to the curb line, and two banks of elevators.

Within 60 days, the project had grown to \$400,000 and 12 stories. The building was to be a commercial structure designed to provide quarters for specialty shops or concerns seeking large space for mercantile purposes. As Holsman outlined,

The building will be conducted on a semi-cooperative basis with the building carrying an advertising campaign for the individual benefit of the tenants. Tenants will also be required to sign agreements to guarantee merchandise sold in the building and to place customer satisfaction above all else.

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Bids for construction were due in the architects office by noon, January 12, 1928. In February, Claussen & Claussen let the demolition contract to A.B.C. Wrecking, with work to commence on March 1. General construction was awarded to L. H. Hoffman, with work to commence March 15th.

Construction proceeded rapidly. The foundation was poured in the first week of April and the building grew at the rate of three stories every two weeks. By mid-June, concrete for the roof slab had been poured. Plaster work had reached the third floor and exterior brick work was beginning. By the end of July, the exterior brick work was completed and elevator installation begun.

By August, Pacific States had hired Metzger-Parker Company to act as leasing agents. The building was scheduled to open September 15th, but would be ready for tenants on September 1st. By the end of August, L. H. Hoffman was completing marble and mahogany work. The construction company took pride in completing the 12 story structure in record time.

As completed, the Buyers Building featured specialty shops on the first two floors, finished with plate glass and green Italian marble. The lobby, which was also completed in green Italian marble, featured two elevator shafts with one shaft containing a "double-decker" elevator for passengers and freight. Interior spaces on the upper ten floors would be finished to suite the occupants, but corridors were to be lined with plate glass sitting on a 6 inch base of green marble. The third floor would be a central office to be used as a clearing house for calls and business of tenants when they are absent. There would also be a single reception area where clients could comfortably wait for appointments. A delay in the shipment of marble delayed the formal opening until October 1, 1928. At completion, the building cost \$500,000.

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Interest in the building was brisk. By November, 21 tenants had taken space. By December, 32 other tenants were added. The ground floor specialty shops included the Alder Smoke Shop and the Packard Shoe Company. Claussen & Claussen moved their offices from the Macleay Building to the tenth floor of the Buyers, remaining until the firm closed in 1953. Pacific States also moved in and served as building managers. In April, 1929, the Singer Sewing Machine company took the last remaining ground floor space. The building was 85% occupied.

Success was so great that it attracted the attention of the Mortgage Investment Company, a holding company for the Guardian Building and Loan Company. Within a year, on May 18, 1930, Guardian purchased the Buyers Building for \$600,000. A large portion of the payment was in bonds secured by the building.

Guardian subsequently occupied the building, renamed it and spent about \$20,000 in renovations. They hired Portland Elevator to install speedier elevators and hired Hart & Hart to build a new entryway.

One year later, on June 3, 1931, in the midst of the depression and questionable business practices, Guardian and its parent, Mortgage Investment, went into receivership. Within six months, Isidore Holsman returned to manage the building. Then, on July 10, 1932, Mortgage Investment defaulted on a \$17,000 interest payment on the bonds paid to Holsman for the building.

The receiver transferred ownership of the Guardian to the bond owners. Holsman it seems had sold a substantial block of the bonds, likely to finance his wholesale jewelry business. It is likely that his return as building manager was at the instance of the bondholders to protect their investment. It is also likely that a major bondholder was Dean Vincent, who headed Portland Trust and Savings, and perhaps was acting on behalf of Metropolitan Mortgage Company.

Regardless, by spring of 1939, Dean Vincent, Inc. managed the Guardian on behalf of Metropolitan Life. Vincent had been active in Portland real estate development since 1909, although also serving as President of Portland Trust and Savings. In 1937, he left the bank to devote full time to real estate management business. On May 14, 1939, Vincent hired

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H. A. Herzog to undertake a \$20,000 modernization of the entryway. Featuring bronze and terra cotta, Herzog designed a stunning deco-inspired two-story entryway and revised lobby area. The work was completed by July, 1939 by Reimer & Jollivette.

Since 1932, the downtown area had gradually undergone modernization, with an emphasis on modernized entryways and storefronts. Herzog himself had completed 40 such projects, often using Reimer & Jollivette. Simultaneous with the Guardian, he was completing a similarly project for the Selling building.

Six years later, on November 10, 1945, Melvin Mark purchased the Guardian Building for \$350,000. Dean Vincent, Inc. handled the sale for Metropolitan Life. Shortly after, when the Loyalty Group insurance company moved from the Loyalty Building, a two story building at Park and Morrison, to occupy the entire 8th floor of the Guardian, the Guardian was renamed. The Loyalty Group remained at the building until 1971, becoming the Americana Fore Loyalty Group in 1960 and then the Continental Insurance Company in 1963. At their peak, they occupied two floors of the building.

The building is currently owned and managed by Melvin Mark Properties.

BUILDING'S FUNCTION

As its name implied, the Buyers Building was originally designed to be used as a wholesale marketing outlet. With the growing industry of retail business in America during the 1920's, manufacturers were beginning to experiment with methods of distribution. One method was the placement of branch sales offices and merchandise warehouses in large commercial cities. New York, Chicago and Seattle had large buildings where manufacturers could display and distribute their goods quickly to retailers. Merchandise that normally would be found in retail stores would be displayed in the Buyers Building by manufacturers and wholesalers. Public use of the building would be minimal if at all, as retail buyers would primarily come to the building, buy merchandise and have the goods delivered from the building; making it more convenient for the buyer and the seller and save shipping and ordering time.

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With the Buyers Building, the first two floors were intended for retail--reflecting the retail growth of Alder Street corridor. Tenants of the upper floors were allowed to design their own space with partitions, so when constructed the floors were open and not separated into offices. Corridors featured plate glass for interior display. The third floor featured a central reception area, to allow jobbers a comfortable place to meet with clients. It also featured a central office to assist jobbers when they were absent.

CLAUSSEN & CLAUSSEN

H. Fred Claussen, with his brother William E. Claussen, practiced architecture in Portland from 1908 to 1942. He was born in Chicago about 1880 and was educated there. In 1908, he came to Portland with his William and established the firm of Claussen and Claussen in the Macleay Building. The firm relocated after completion of the Buyers Building and remained until William Claussen's death. Fred Claussen received license number 45 under the "grandfather" clause when Oregon began licensing architects in 1919. He was a member of the Portland Architectural Club in 1909 and 1910. Fred Claussen died in 1942.

William E. Claussen continued to practice architecture after his brother's death. He received license number 46 under the "grandfather" clause in 1919. William Claussen died in 1953.

This building was first proposed by its owner in 1922 for the same site. Claussen & Claussen designed an 8 story building which had essentially the same appearance as the 12 story Buyers Building as built, except for the lesser height and a much heavier appearing cornice at the roof line in the original design. As first designed in 1922, this building was an early major commercial project for Claussen & Claussen, which up to that point had focused heavily on apartment buildings.

Claussen & Claussen had a busy practice and were architects for a number of important downtown Portland buildings, including the Roosevelt Hotel (1925), the Old Heathman Hotel (1926), the Alderway Building (1928) and the Buyers Building (1928). There were also architects for the Laurelhurst School, Holman Transfer Company Warehouse, the Bretnor Apartments (1912), the Wilman Apartments (1916), the Brown Apartments (1916).

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Longtime prominent contractor, Guy Jollivette of Reimers and Jollivette said that Claussen & Claussen were very proud of their details, and that if you wanted to please them you would carry out the details exactly as shown.

L. H. HOFFMAN

L. H. Hoffman Company built the Buyers Building.

Born on May 20, 1884, L. Hawley Hoffman was the son of Lee Hoffman, an early Portland developer and bridge builder. His father died in 1885 and his widow moved east. He was educated at Noble Greenough School in Boston and Harvard. In 1906, Hoffman graduated with a degree in architecture, although his love was landscape architecture.

In 1908 he returned to Portland. His first job was as architect for the firm, Whitehouse and Honeyman. Among his projects, he supervised construction of the Public Auditorium, Lincoln and Jefferson High Schools. In 1910, he married Caroline Burns.

In 1922, he started his own construction firm. His first independent job was the Hoyt-Glisan Apartments. For the first three years, most of his work was garages and apartment buildings--mostly in the Nob Hill neighborhood. His first major commercial contract was the Terminal Sales Building of 1927. Within the next year, his business boomed, with contracts for the Heathman Hotel, Portland Theater, Public Service Building and the Buyers. With the help of his sons, L. H. Hoffman Construction is one of the largest construction companies in the northwest.

PACIFIC STATES INVESTMENT COMPANY

Pacific States was a short-lived venture, the brain-child of Isidore Holsman. Holsman was a wholesale and retail jeweler by trade. He first appears in the city directories in 1907 with an establishment at 315 Washington. In 1915, he hires Paul C. Harbaugh as a salesman. After working together for five years, Harbaugh becomes manager of the General Novelty Company, located next door to Holsman's wholesale jewelry business in the Phoenix Building. In 1920, Holsman purchases the Masonic Building. In 1922, he announces plans

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to construct a specialty retail store on the site. In 1923, Holsman is gone from Portland and Harbaugh is back in the jewelry business. In 1927, Harbaugh became a bookkeeper for Insurance Service Company located at 347 Oak.

By the end of 1927, Harbaugh is President of Pacific States with offices at 281 Oak Street. His wife, Pearl, served as the company's secretary-treasurer. By 1928, also located in the office was Isidore Holsman. By 1929, Holsman had become President of Pacific States and Harbaugh was now the secretary treasurer. In that year, the company moved its offices to the Buyers Building.

In 1930, presumably after the sale of the Buyers, Harbaugh left Pacific. He had some other business affairs that had gone awry. He was managing director of a jewelry store, Miller & Harbaugh. However, that store failed on September 9, 1929. A year later, Harbaugh faced jail when the court had found he had \$6933 in diamonds and jewelry in his possession when the company failed. Yet, by January, 1931, Harbaugh could not produce the goods, but did not serve any jail time. Harbaugh subsequently dabbled through the depression by becoming district manager for Peoria Life Insurance, a sales agent for Missouri State Life, a private accountant, and an insurance adjustor. Finally, in 1935, he went to work at Liberty Fuel and Ice, eventually becoming President. He then became president of Zeero Ice Company until his retirement in 1965. He died in April 8, 1977.

The year after the sale, 1931, Pacific States ceased existence. However, by the end of year, Holsman had returned to manage the Guardian Building. In 1932, he moved to the American Apartments in Nob Hill. In 1934, he disappears from the historical record, presumably to have left the city.

The Buyers Building is the only known venture of Pacific States Investment.

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GUARDIAN BUILDING AND LOAN

The Guardian Building and Loan Company had a short, but lively history. It was formed in 1927, headed by Walter Kendall with offices in the Pacific Building. The next year, Homer Carpenter took over the building and loan and immediately fell into trouble with the Oregon State Corporation Commissioner. Its growth was rapid, to \$100,000 in deposits, but according to the Commissioner, its growth was due to unscrupulous sales practices. He suspended Guardian's permit to operate. The issue was shortly resolved and Guardian once again began operations.

Within three years, Guardian had grown to assets of \$1,700,000 and it had purchased the Buyers Building as its headquarters. Shortly thereafter, in June of 1931, the State Corporation Commissioner took control of Guardian. He claimed that Guardian's directors, Earl Fitzwater and Jay Moltzner, illegally syphoned \$500,000 from Guardian to its parent holding company. Specifically, the Commissioner claimed that they used funds from Guardian Building and Loan Association to purchase the Guardian Building, but that the title was placed in the name of the holding company, Mortgage Investment. Further, the Commission charged that Mortgage Investment also charged Guardian rent. The Commissioner additionally charged that Fitzwater and Moltzner syphoned additional funds to further real estate speculation in Seattle.

In the ensuing trials, both Fitzwater and Moltzner were found guilty. Moltzner received a maximum penalty of two year in jail. Fitzwater was fined \$500 and paroled for cooperating with the state.

On July 10, 1932 the state began liquidation procedures.

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DEAN VINCENT

From sometime in the early 1930s to 1945, the Guardian Building came under the direct management of Dean Vincent, Inc. Vincent came to Portland in 1904 and by 1909 had opened a real estate business. In the first ten years that he operated the business, Vincent was named president of the Board of Realtors (1913-14), prime minister of the Royal Rosarians (1919-20), vice president of the National Association of Real Estate Boards (1914), director of the Portland Chamber of Commerce (1915), director of the Rose Festival Association (1915) and chairman of the Multnomah Stadium Building Committee.

In 1919, he became President of the Portland Trust and Savings Bank. He remained in that position until 1937, when he left to devote his full time energies to Dean Vincent, Inc.

He died on December 29, 1963, survived by his widow Gertrude and two sons, daughter and twelve grandchildren.

HARRY A. HERZOG

Harry Albert Herzog practiced in Portland for some 50 years. He was born on January 9, 1893 in Tyler, Texas where his father had a general mercantile business. When Harry was 15 months old, the family moved to Chicago. When he was seven, the family moved again, this time to Seattle. In Seattle, he attended Pacific Grammar School.

In 1905, the family moved to Portland where Harry attended D. P. Thompson Grammar School and the old Washington High School. He worked while in high school as a newspaper boy for the Oregonian and giving violin lessons. Graduating from high school in 1912, he went to work as a draftsman for Bennes & Hendricks, staying there three years. In 1915, he entered the University of Pennsylvania School of Architecture, graduating in 1917.

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Returning to Portland in 1917, Herzog worked for the Northwest Engineering Company, which was constructing ships for the war effort. In 1919, he went east where he worked in architects' offices in New York and Philadelphia until 1922. Back in Portland in 1922, he went to work for John V. Bennes, and in 1926, became a partner in Bennes & Herzog. The firm continued until 1931. The next year, Herzog went into solo practice which continued until 1948 when he took into partnership his long-time employee Holman J. Barnes. For the next four years, he practiced as Herzog & Barnes. In 1952, Herzog went back to solo practice until retiring.

Harry Herzog died in Portland on August 27, 1979 at the age of 86. He was survived by his wife, Bertha, two daughters and a son.

Herzog joined the Oregon chapter of the American Institute of Architects in 1922, serving as treasurer in 1931-32 and vice president in 1941-42.

With architects Morris H. Whitehouse and Herman S. Brookman, Herzog participated in the design and construction of the Temple Beth Israel (1926-28) in Portland. He was also supervising architect during construction. In the 1920's and 1930s, Herzog designed many works in the Art Deco style, notably the Jeanne Manor and Parkway Manor Apartments on the south Park blocks in Portland, both constructed in 1931. He also designed the Regent Apartments and the Stone-Margulis jewelry store in 1937.

With Bennes, he was also involved in the design the Hollywood, United Artists and Liberty Theaters.

In the 1930s, as the economy revived, many of the downtown structures received a face-lift. The Guardian was typical, with a new doorway and lobby area. In this period, Herzog received over 40 commissions for this type of work, including the Selling Building revamped the same time as the Guardian.

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MELVIN MARK

In 1945, on the advice of the Metropolitan Life Insurance Company, Melvin Mark ventured by train to Portland from New York to look at property investment opportunities. According to his son, "My dad fell in love with the Loyalty Building (at Southwest Third Avenue and Alder Street) -- and the town. He recognized the great potential of the area." With partners including the Pritzker family of Chicago, the senior Mark purchased the Guardian Building (as it was then called). Born in Philadelphia, Mark operated the Louis Mark Shoe Store chain in his early career. He later went into real estate, building stores across the country for J. C. Penney and Woolworths. Some he built and leased back to the stores; others he sold outright.

The Guardian was his first of many purchases in the city. Two years later, he bought the Morgan Building. Others include the Hamilton, Yeon, Cascade, Oregon Pioneer, and the Failing building. The firm grew by acquiring, renovating, managing and leasing existing office buildings for its own account--mostly along the Alder Street retail corridor. In the 1960's, the firm began its successful development activities. Major projects in Portland include Central Plaza Parking, Crown Plaza, Columbia Square and the Robert Duncan Plaza.

He died in New York City on August 25, 1965. At the time, he was senior partner in Melvin Mark Properties. His firm has holdings in several U.S. cities, including Philadelphia, Kansas City, Denver, Salem and Olympia. He was survived by his widow in New York, a daughter in St. Louis, and son in Portland.

Six years after his father first came to Portland, his son Melvin "Pete" Mark, Jr. came to Portland on his honeymoon. The newlyweds fell in love with the city and moved here to manage the family investments. Since his father death, Mr. Mark's son has headed Melvin Mark Properties. Into the 1990s, the firm has continued to broaden its real estate focus. Today, it manages and leases one million square feet of office buildings owned by the Mark

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family. In 1981, Melvin Mark Brokerage was established as a full service commercial real estate firm. Today, the brokerage firm manages and leases over two million square feet of office and retail space. Melvin Mark Construction company was established in 1984. This firm specializes in building out tenant spaces in buildings managed by Melvin Mark Companies. Melvin Mark Development Company was formed in 1988 to do joint venture and fee development projects. Its first project was a joint venture with Schnitzer Investment Corporation, the Robert Duncan Plaza, which serves as the Northwest headquarters for the US Forest Service and US Army Corp of Engineers.

In addition, "Pete" Mark has participated actively in the affairs of the city. He has been past president of the Portland Association of Building Owners and Managers, a board member of Good Samaritan Hospital and the Portland Chamber of Commerce. He also paid for half of the cost of lighting Portlandia to accent what he termed "the Statue of Liberty of the Northwest". In 1989, "Pete" Mark was named Portland's First Citizen.

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Section number 9 Page 4

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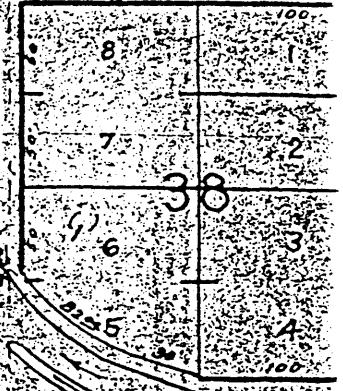
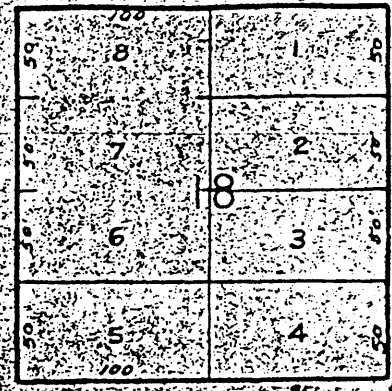
Section number 10 Page 2

VERBAL BOUNDARY DESCRIPTION

The Buyers Building is located on lot 4, block 48, Portland Addition, Portland, Multnomah County, Oregon.

BOUNDARY JUSTIFICATION

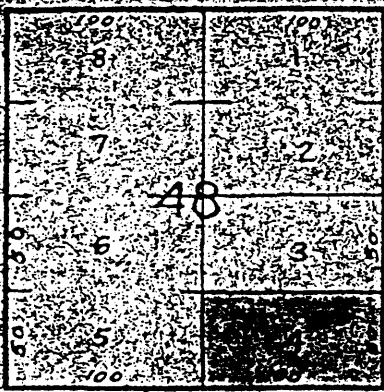
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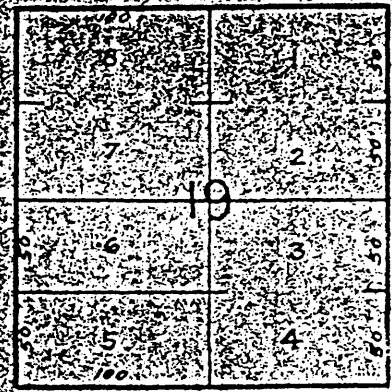
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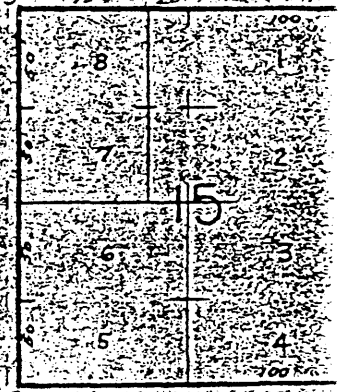
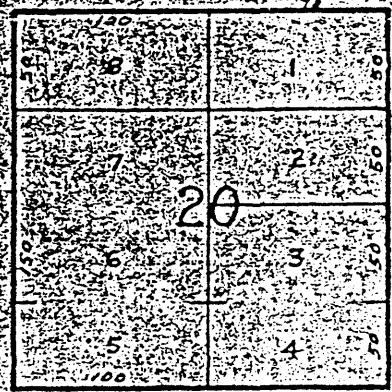
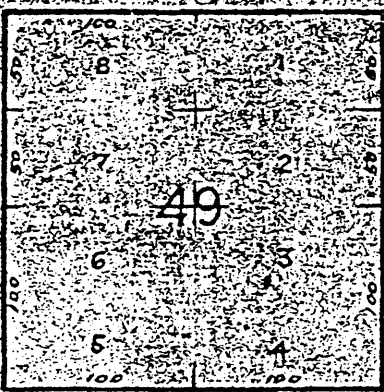
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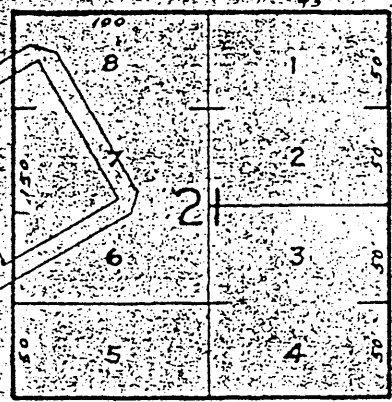
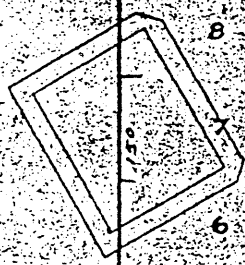
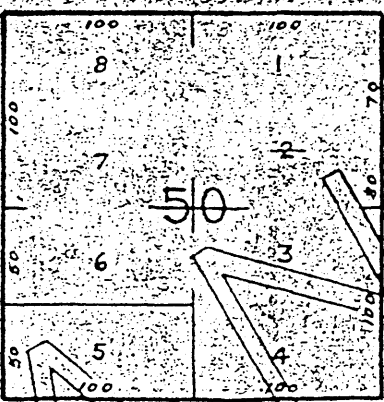
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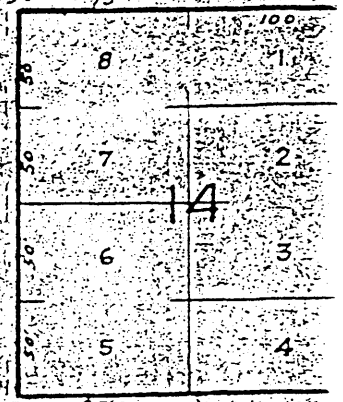
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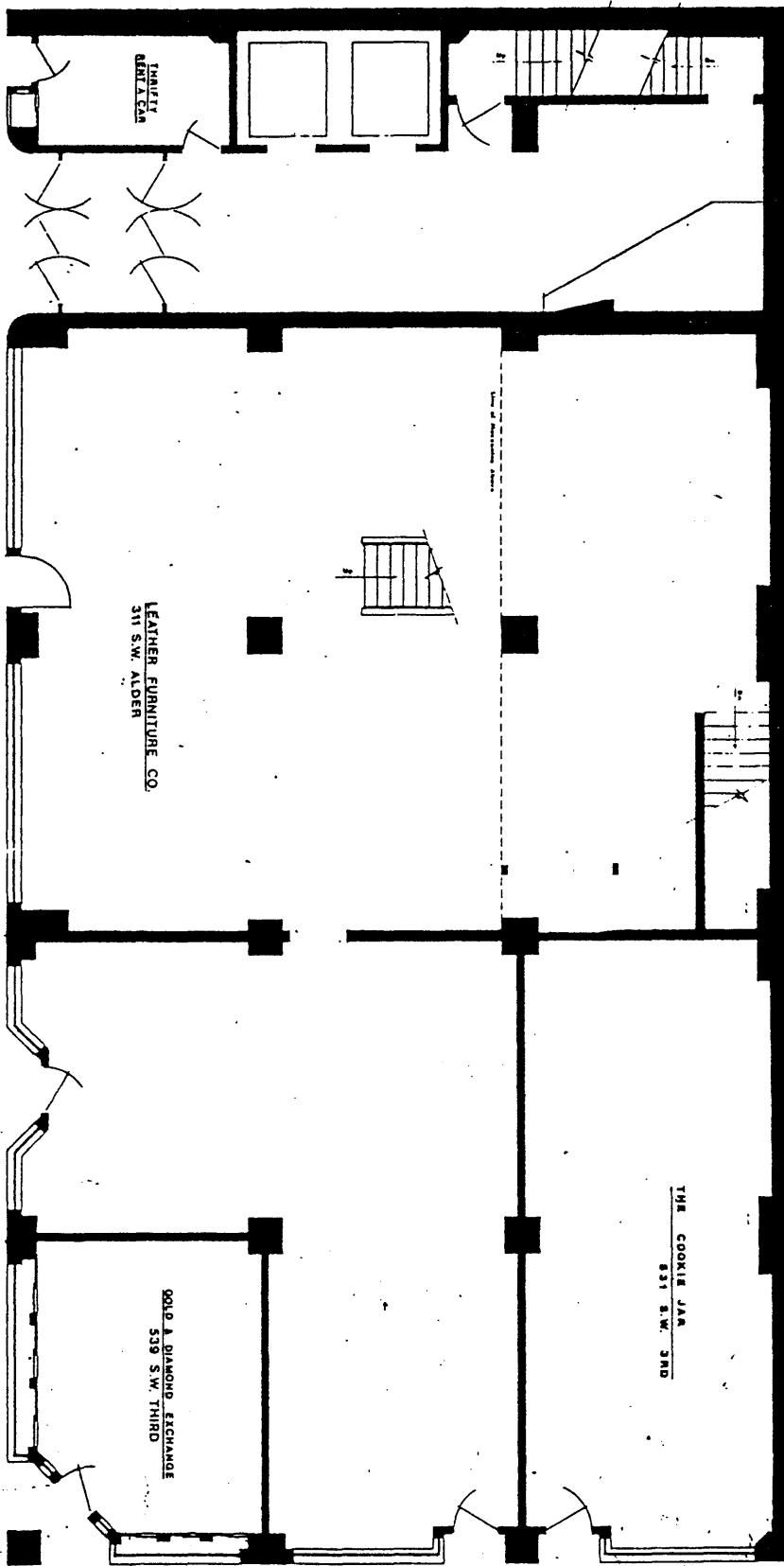
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Map # 30-29.5

MELVIN MARK PROPERTIES



FLOOR PLAN - LOYALTY BUILDING

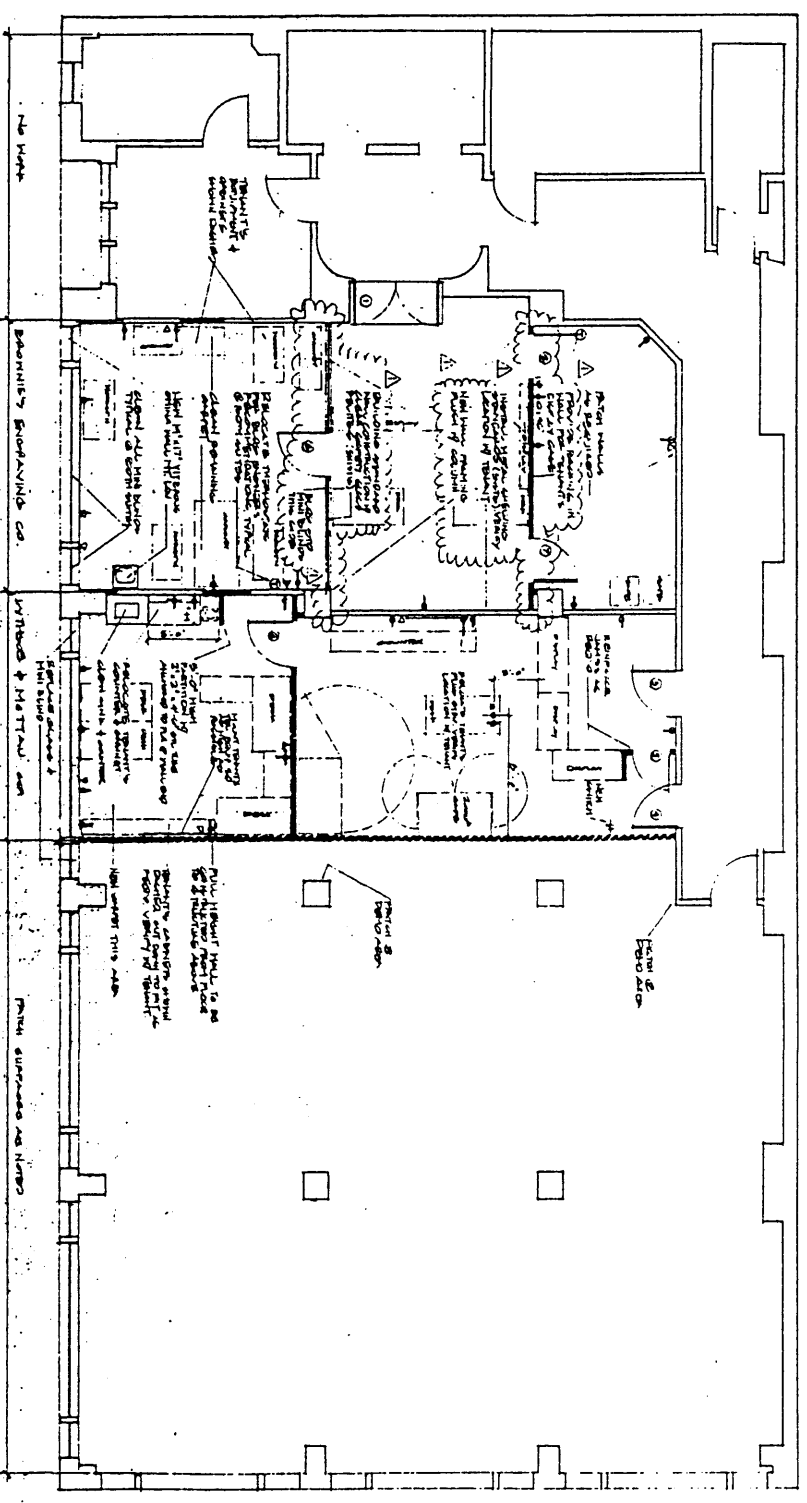
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S.W. THIRD

SECTION 1. NOTES

- 1. Building structure - see notes
- 2. Foundation - see notes
- 3. Floor finish - see notes
- 4. Wall finish - see notes
- 5. Ceiling finish - see notes
- 6. Mechanical - see notes
- 7. Electrical - see notes
- 8. Plumbing - see notes
- 9. Fire protection - see notes
- 10. Special finishes - see notes
- 11. Other notes - see notes

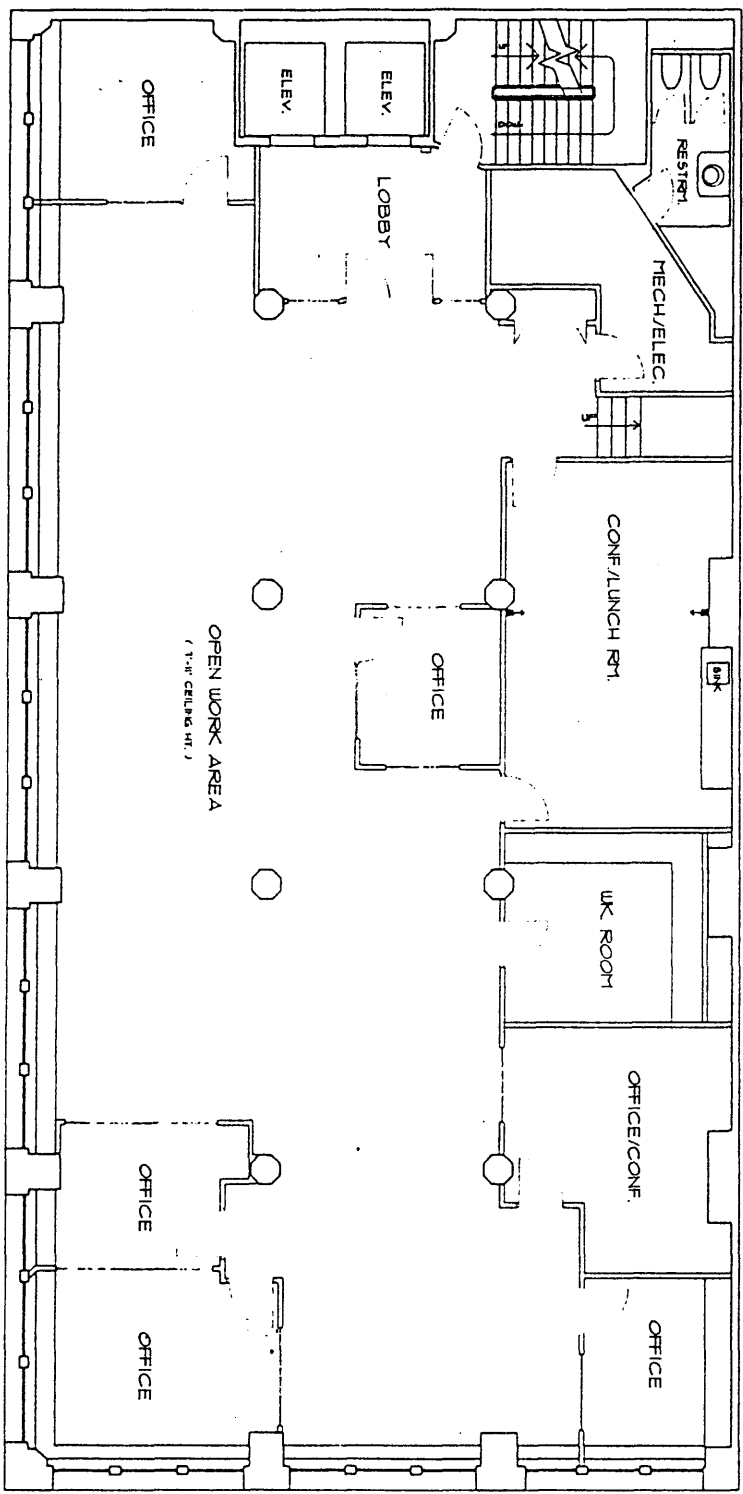
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FLOOR PLAN 3RD FLOOR

SHEET NO. 3	DATE: 11/17/78 REVISIONS: 11/20/78 11/20/78	OFFICES FOR: LYTHGOE/BROWNE JOB NUMBER:	LOYALTY BUILDING 317 SW ALDER ST., PORTLAND, OREGON	MELVIN MARK PROPERTIES 111 SOUTHWEST COLUMBIA PORTLAND, OREGON 97201 (503) 223-4777 PLANNING DIVISION	REGISTERED ARCHITECT STATE OF OREGON
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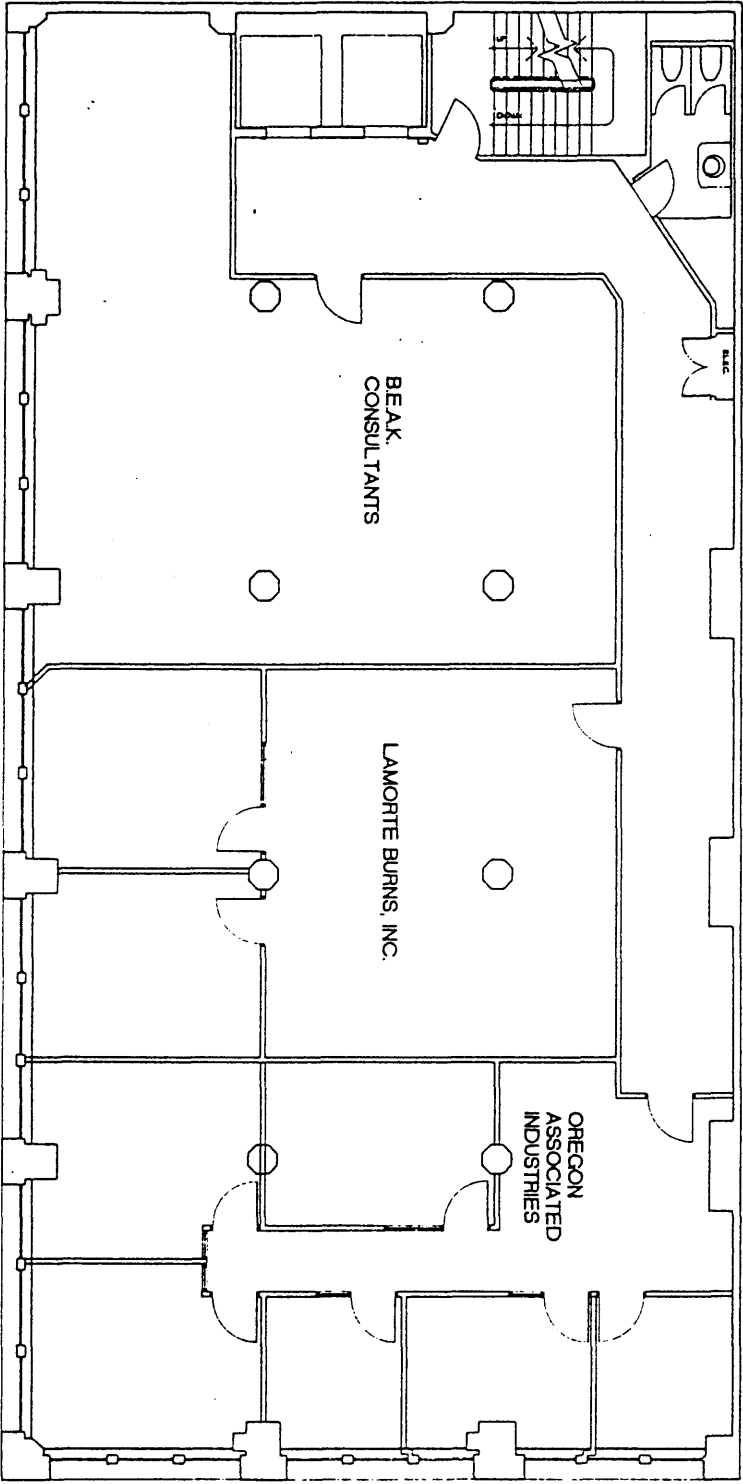
- LEGEND**
- Existing structural wall and non-load bearing partitions
 - New non-load bearing partitions
 - New 1 hour fire rated partitions in structure above
 - Sound partitions with 1/2" leaden insulation and 1/2" acoustic mineral wool in cavity and 1/2" gypsum board on both sides of partition wall
 - Walls - see notes for height and width
 - Special partitions - see notes
 - Remove existing construction
 - New masonry
 - Steel or section references
 - Insulate structure reference
 - Building standard reference
 - Notes - see notes of full
 - Building reference
 - New radiator - see existing
 - Existing 1/2" MC duct equipment to remain
 - Remove existing 1/2" MC duct equipment
 - New 1/2" MC (under model) duct equipment - See notes in Section 27.1 for details on this equipment. This equipment will be installed in the office floor under model duct equipment.
 - New 1/2" MC (under model) duct equipment
 - Existing vestibule equipment
 - New vestibule equipment
 - Remove existing vestibule equipment
 - New vestibule equipment with 1/2" MC under model duct equipment
 - Existing floor equipment with 1/2" MC under model duct equipment
 - New floor equipment with 1/2" MC under model duct equipment
 - Existing floor equipment with 1/2" MC under model duct equipment
 - Existing 2" x 2" building structural steel or structural 2" x 2" building structural light fixture
 - Emergency lighting
 - New 1 hour fire rated single gate entrance up to 7' from floor and 7' above structure level
 - New 1 hour fire rated
 - Building equipment head
 - Building equipment - see notes per building equipment & communication
 - Remove existing 1/2" MC duct equipment
 - Existing floor plate
 - New floor plate
 - Building equipment - see notes per building equipment & communication
 - New building standard 1/2" spaced wall strip building standard
 - Building strip 1/2" spaced wall strip building standard
 - Remove existing strip 1/2" spaced wall strip building standard
 - See notes





LOYALTY BUILDING THIRD FLOOR PLAN

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MELVIN MARK PROPERTIES 111 SOUTHWEST COLUMBIA PORTLAND, OREGON 97201 (503) 223-4777			

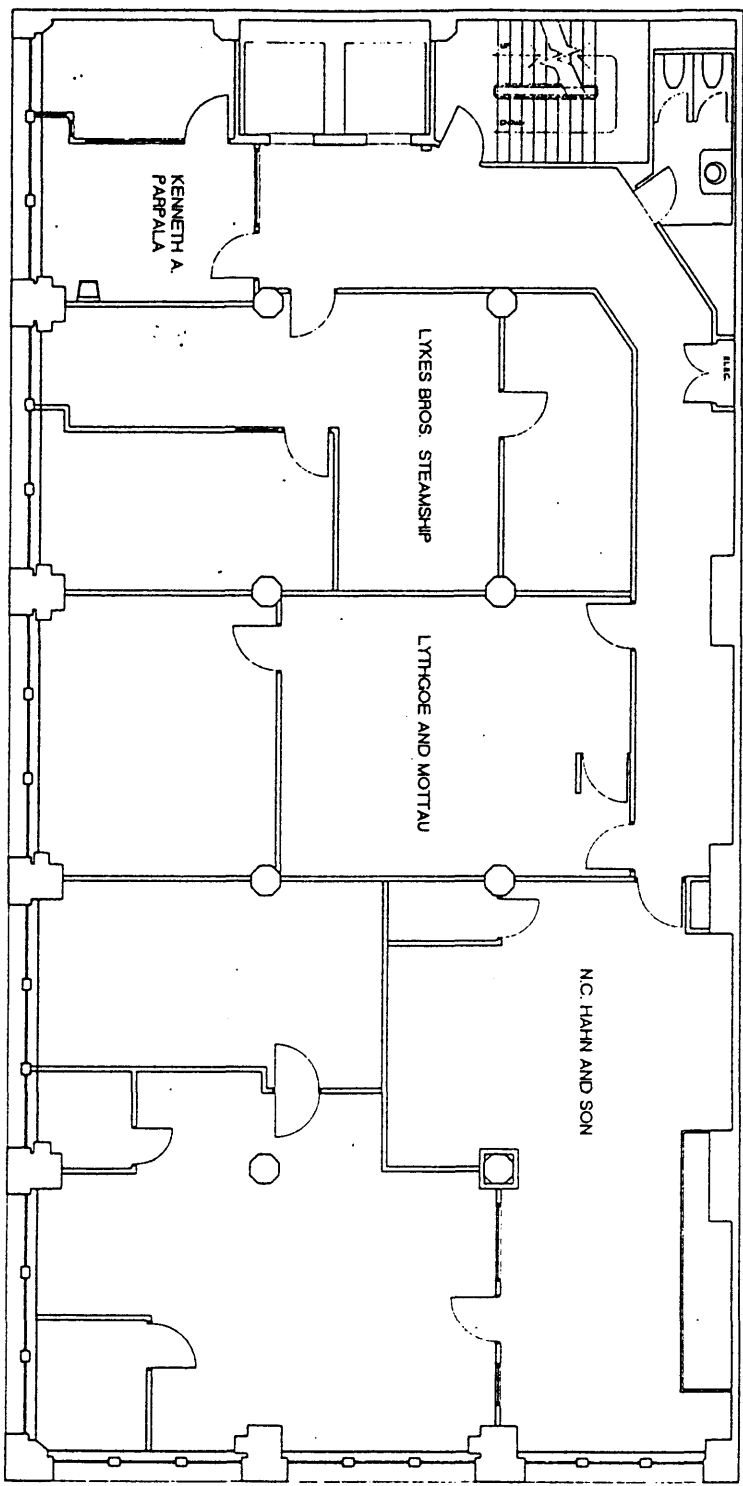
⊕ 4TH FLOOR LEASE PLAN
SCALE: 1/4" = 1'-0"





LOYALTY BLDG.
5-13-92

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	REVISIONS :	4TH FLOOR LEASE PLAN LOYALTY BUILDING			

⊕ 5th FLOOR LEASE PLAN
LOYALTY BUILDING



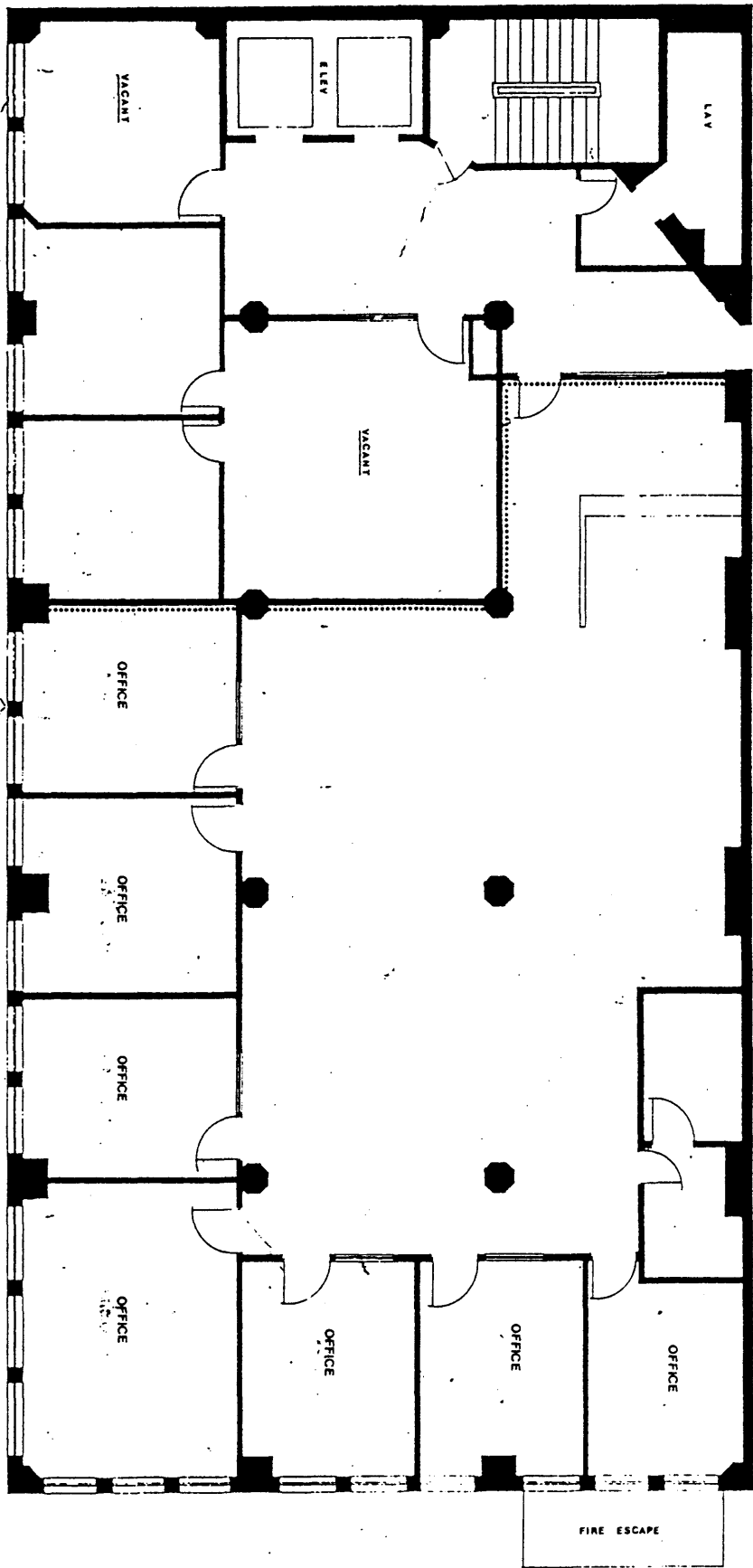
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	5th FLOOR LEASE PLAN LOYALTY BUILDING				

MELVIN MARK PROPERTIES.

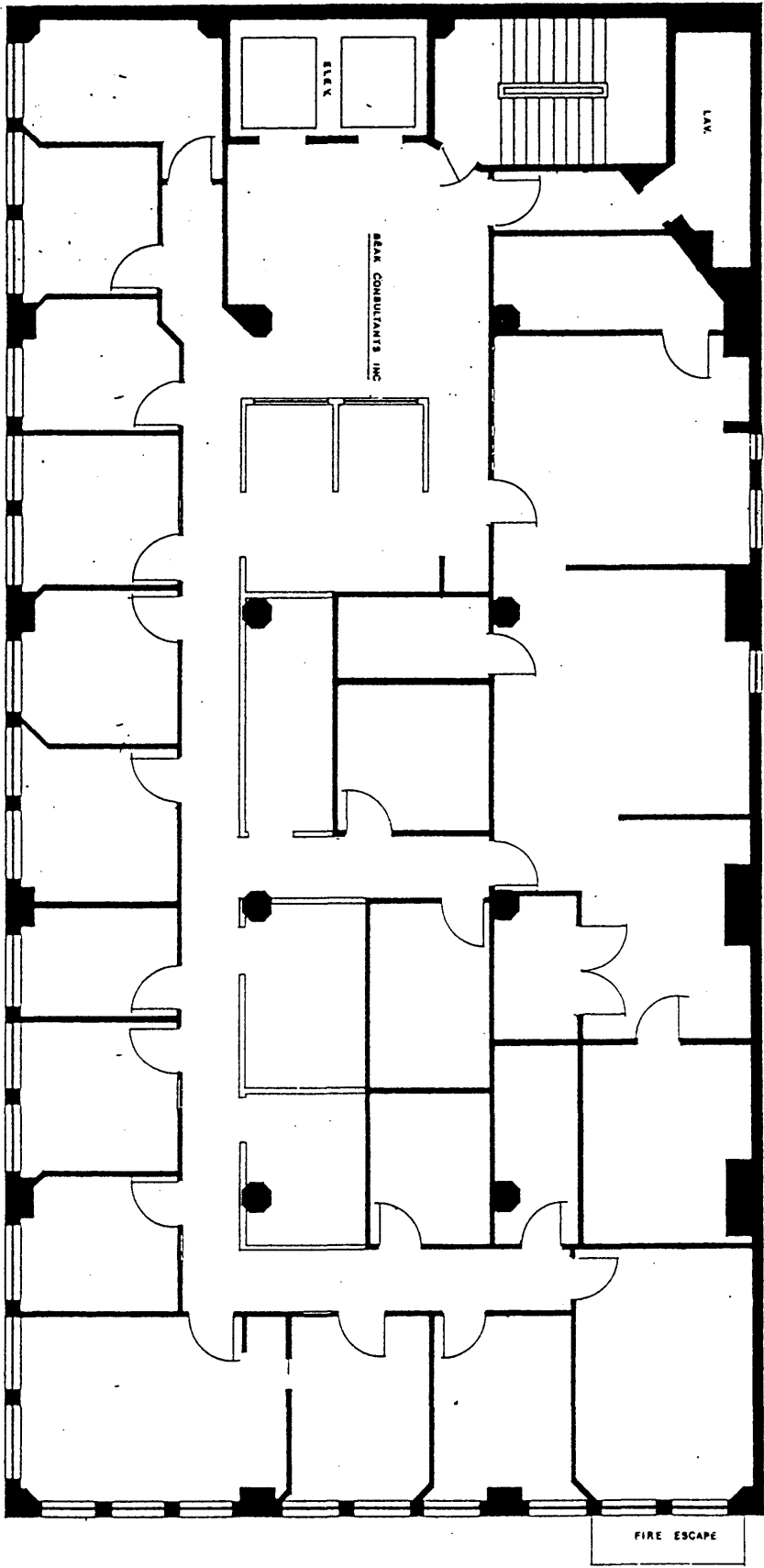
FLOOR PLAN — LOYALTY BUILDING

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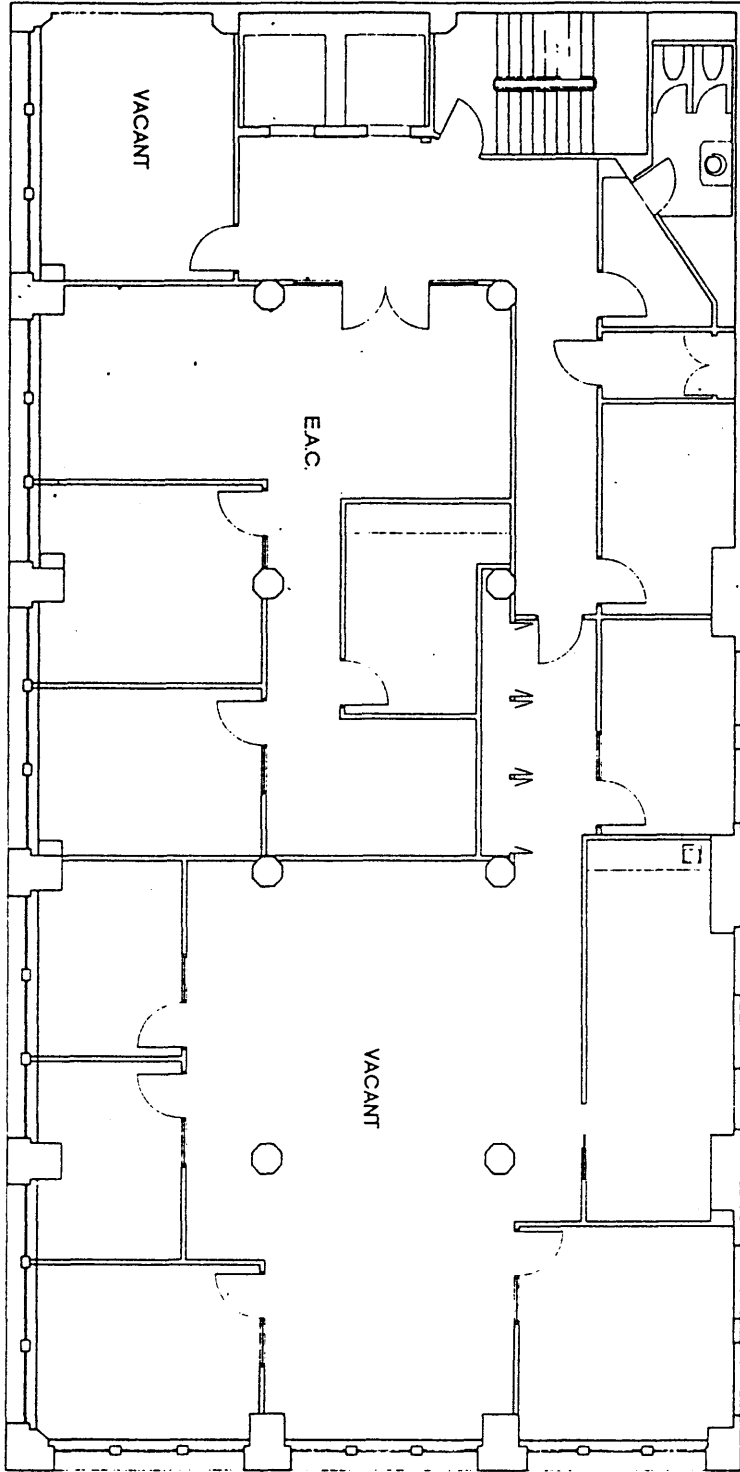
MELVIN MARK PROPERTIES

FLOOR PLAN — LOYALTY BUILDING

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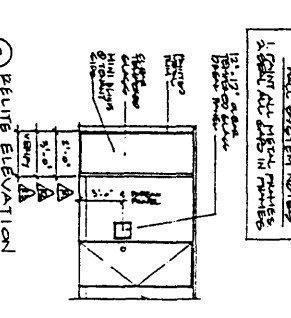
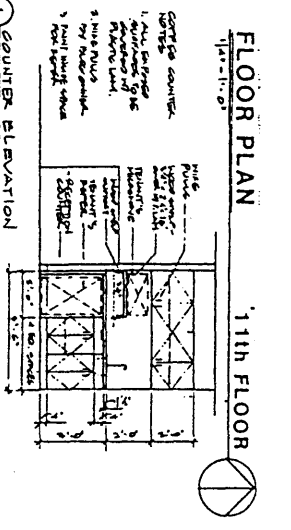



9TH FLOOR LEASE PLAN
 LOYALTY BUILDING - 317 SW ALDER ST.

SCALE: 1/8" = 1'-0"
 DATE: 11/18/11

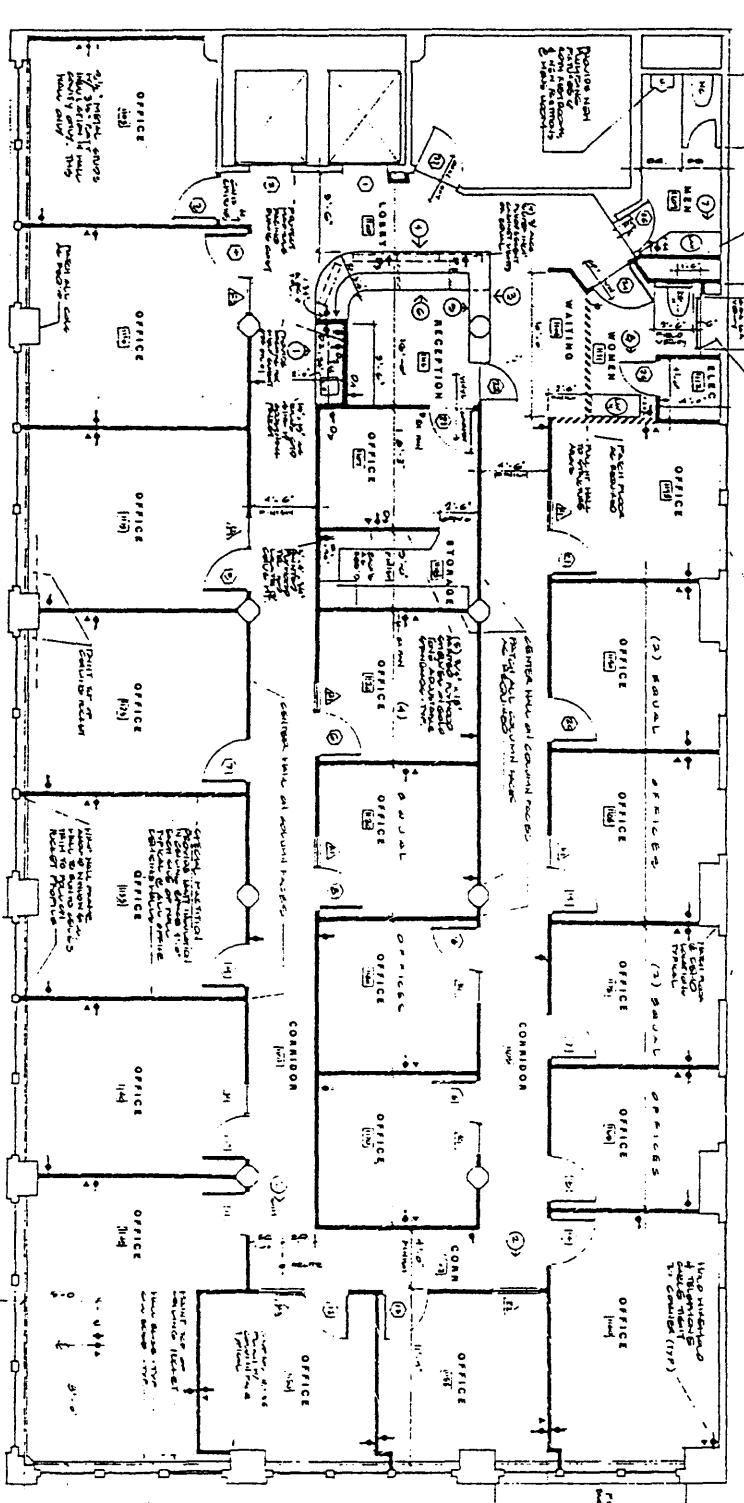
SHEET NO. 02	DATE: REVISIONS:	OFFICES FOR: 9TH FLOOR LEASE PLAN LOYALTY BUILDING - 317 SW ALDER ST.	JOB NUMBER:  MELVIN MARK PROPERTIES 111 SOUTHWEST COLUMBIA PORTLAND, OREGON 97201 503/223-4777 PLANNING DIVISION	REGISTERED ARCHITECT HENRY K. BOGERT PORTLAND STATE OF OREGON
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- 1. Existing architectural and structural drawings shall be reviewed for compliance with applicable codes and regulations.
- 2. The floor plan shall be prepared to show the layout of the building, including all rooms, corridors, and stairs.
- 3. The floor plan shall be prepared to show the location of all structural elements, including columns, beams, and walls.
- 4. The floor plan shall be prepared to show the location of all mechanical and electrical equipment, including HVAC units, elevators, and electrical panels.
- 5. The floor plan shall be prepared to show the location of all fire safety equipment, including fire extinguishers, fire alarm pull stations, and fire exits.
- 6. The floor plan shall be prepared to show the location of all accessibility features, including ramps, elevators, and accessible restrooms.
- 7. The floor plan shall be prepared to show the location of all security features, including cameras, alarms, and access control systems.
- 8. The floor plan shall be prepared to show the location of all utility services, including water, gas, and sewer.
- 9. The floor plan shall be prepared to show the location of all exterior features, including landscaping, parking, and signage.
- 10. The floor plan shall be prepared to show the location of all interior finishes, including walls, floors, and ceilings.
- 11. The floor plan shall be prepared to show the location of all furniture and fixtures, including desks, chairs, and tables.
- 12. The floor plan shall be prepared to show the location of all other building components, including stairs, elevators, and ramps.



REAR ELEVATION

NO.	DATE	DESCRIPTION
1	10/10/10	REAR ELEVATION
2	10/10/10	REAR ELEVATION
3	10/10/10	REAR ELEVATION
4	10/10/10	REAR ELEVATION
5	10/10/10	REAR ELEVATION
6	10/10/10	REAR ELEVATION
7	10/10/10	REAR ELEVATION
8	10/10/10	REAR ELEVATION
9	10/10/10	REAR ELEVATION
10	10/10/10	REAR ELEVATION
11	10/10/10	REAR ELEVATION
12	10/10/10	REAR ELEVATION
13	10/10/10	REAR ELEVATION
14	10/10/10	REAR ELEVATION
15	10/10/10	REAR ELEVATION
16	10/10/10	REAR ELEVATION
17	10/10/10	REAR ELEVATION
18	10/10/10	REAR ELEVATION
19	10/10/10	REAR ELEVATION
20	10/10/10	REAR ELEVATION

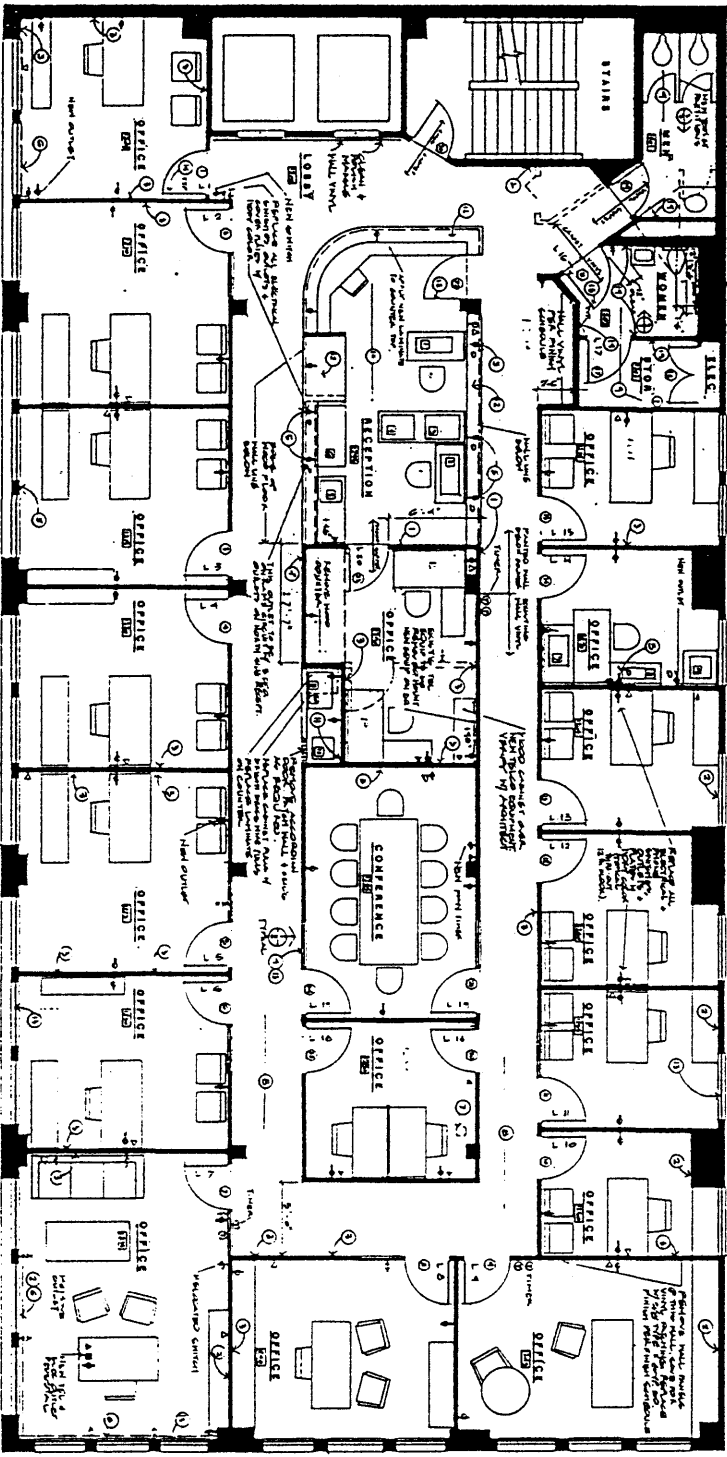


REAR ELEVATION

NO.	DATE	DESCRIPTION
1	10/10/10	REAR ELEVATION
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11	10/10/10	REAR ELEVATION
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17	10/10/10	REAR ELEVATION
18	10/10/10	REAR ELEVATION
19	10/10/10	REAR ELEVATION
20	10/10/10	REAR ELEVATION

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10/14/86	JLS	
2	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
3	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
4	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
5	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
6	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
7	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
8	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
9	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
10	REVISED PER PERMIT COMMENTS	10/14/86	JLS	

NO.	REVISION	DATE	BY	CHKD.
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9	REVISED PER PERMIT COMMENTS	10/14/86	JLS	
10	REVISED PER PERMIT COMMENTS	10/14/86	JLS	



FLOOR PLAN TWELFTH FLOOR

CONSTRUCTION NOTES

1. All construction shall be in accordance with the approved plans and specifications.
2. All work shall be completed in accordance with the approved plans and specifications.
3. All materials shall be of the highest quality and shall be approved by the architect.
4. All work shall be completed in accordance with the approved plans and specifications.
5. All work shall be completed in accordance with the approved plans and specifications.
6. All work shall be completed in accordance with the approved plans and specifications.
7. All work shall be completed in accordance with the approved plans and specifications.
8. All work shall be completed in accordance with the approved plans and specifications.
9. All work shall be completed in accordance with the approved plans and specifications.
10. All work shall be completed in accordance with the approved plans and specifications.

DOOR SCHEDULE

NO.	TYPE	FINISH	SWING	LOCATION
1	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
2	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
3	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
4	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
5	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
6	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
7	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
8	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
9	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY
10	6'0" x 2'0" SLIDING	WOOD	IN	LOBBY

EQUIPMENT SCHEDULE

NO.	DESCRIPTION	QUANTITY	LOCATION
1	DISK DRIVE	1	OFFICE 101
2	PRINTER	1	OFFICE 101
3	TELEPHONE	1	OFFICE 101
4	TELEPHONE	1	OFFICE 102
5	TELEPHONE	1	OFFICE 103
6	TELEPHONE	1	OFFICE 104
7	TELEPHONE	1	OFFICE 105
8	TELEPHONE	1	OFFICE 106
9	TELEPHONE	1	OFFICE 107
10	TELEPHONE	1	OFFICE 108

REVISIONS:

1. DATE: 10/14/86

2. REVISIONS:

1. 10/14/86

2. 10/14/86

3. 10/14/86

OFFICES FOR: BP & N OFFICE SERVICES JOB NUMBER: JLS 1887

LOYALTY BUILDING

317 SW ALDER STREET PORTLAND, OREGON

MELVIN MARK PROPERTIES

111 SOUTHWEST COLUMBIA
PORTLAND OREGON 97201
(503) 223-4777

PLANNING DIVISION

