

**United States Department of the Interior
National Park Service**

For NPS use only

**National Register of Historic Places
Inventory—Nomination Form**

received APR 10 1985

date entered MAY 24 1985

See instructions in *How to Complete National Register Forms*
Type all entries—complete applicable sections

1. Name

historic Colonel Gustavius A. Palmer House

and/or common Colonel Palmer House

2. Location

street & number 5516 Terra Cotta Road (Illinois Route 176) not for publication

city, town Crystal Lake vicinity of Congressional District 13

state Illinois code 012 county McHenry code 111

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input type="checkbox"/> occupied	<input checked="" type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input type="checkbox"/> private	<input checked="" type="checkbox"/> unoccupied	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input checked="" type="checkbox"/> work in progress	<input type="checkbox"/> private residence
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> transportation
		<input type="checkbox"/> no	<input checked="" type="checkbox"/> other: Cultural Arts Cent

4. Owner of Property

Preservation plan implementation

name City of Crystal Lake

street & number 121 North Main Street, P.O. Box 597

city, town Crystal Lake vicinity of state Illinois 60014

5. Location of Legal Description

courthouse, registry of deeds, etc. McHenry County Courthouse

street & number 2200 North Seminary Avenue

city, town Woodstock state Illinois 60098

6. Representation in Existing Surveys -- Not Applicable

title has this property been determined eligible? yes no

date federal state county local

depository for survey records

city, town state

7. Description

Condition		Check one	Check one
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input checked="" type="checkbox"/> fair	<input type="checkbox"/> unexposed		

Describe the present and original (if known) physical appearance

The Colonel Palmer House was originally constructed in 1858 ca. as a single family detached dwelling by stone mason and architect Andrew Jackson Simon for Colonel Gustavus A. Palmer and his wife Henrietta. The Palmer family relocated to Nunda Township in McHenry County, Illinois in 1840 (approximately) from Livingston County, New York. Mr. Simon also relocated to the above area in 1848 from LeRoy, New York.

The House typifies the design style of homes built during the second quarter of the nineteenth century in the northern midwest region and is derivative of the Neo-Classical Revival style; comprising elements of both the Federal and Greek Revival styles of architecture. Constructed of brick, the House consists of a rectangular two-story front section with a smaller rectangular one-and-a-half-story section to the rear. Please see photographs numbers one (1), two (2), three (3), and four (4).

Characteristic of the Federal style, the roof has both broken pediment and a low-pitch gable design with dentilated wood cornice work. Please see photograph number one (1). Other principal Federal features include the off-center entrance and large glazed window areas. Greek Revival characteristics of construction include the entablature and heavy sills and lintels which are of dressed limestone for the doors [photograph number five (5)], windows [photograph number six (6)] and watertable [photograph number seven (7)].

The foundation of the House is representative of the New England cobblestone masonry style. The basement foundation is rubble fieldstone throughout including both the north and east above grade sections [photograph number nine (9)]. The south and west above grade elevations are finished veneer cobblestone masonry from water-rounded fieldstones of various sizes, shapes and colors. The mortar joints, both vertically and horizontally, are of a raised bead style lending the appearance of each set cobblestone to a recessed rectangle [photograph number seven (7)]. The corner quoine, as shown in photograph number eight (8), is a large rough quartered fieldstone with the cobblestones laid six courses to height.

The original first floor plan was typical of small free standing homes built during the same period; often referred to as "sidehall houses". Please refer to Exhibit A for a detailed plan of the first floor. The front main section, rectangular in form, is divided in half (approximately) from the front (south side) to the rear (north side). In turn, the first floor was quartered into two large rooms in diagonally opposite corners further creating two narrower rooms in the opposing diagonally opposite corners. The front (south side) narrow room served as the main entrance and second floor stairhall. The rear section comprised a single room with a staircase (east side) providing access to the attic and earthen floor basement.

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Item number Seven (7)

Page One (1)

This room also has two exterior doors which provide access to the east and west side of the House. The east side wall of the rear room extended from the front main section with the door opening to a wood constructed subsidiary structure or directly out-of-doors. The west side wall of the rear section is recessed from the front main section. The west side door provides access to an open air post porch.

Unlike the standardized first floor plans of the period, second floor plans were often tailored to the express requirements of the owner. Please refer to Exhibit A for detailed second floor plans. The arrangement of the House included five rooms and a hall closet. The single room (north) of the half story above the rear section was accessible by means of the hallway. Standards of the period are represented by the small square shaped room (east) at the head of the staircase, small rectangular shaped room (south) above the staircase and large square shaped room (south) directly above and approximately equivalent in dimension to the front first floor room. Unique arrangements of the Colonel Palmer House include the hall closet, rear hallway and two small rooms to the rear west portion of the second floor plan.

As mentioned earlier, the House has one (1) open air post porch on the west elevation [photograph number three (3)]. At both the front/main entrance, south elevation, and rear entrance, north elevation, there are entrance stoops; photographs numbers one (1) and eleven (11) respectively. The House has a total of thirty (30) windows. The typical window construction is illustrated in photograph number six (6) and there are twenty (20) such windows with five (5) on the south, ten (10) on the west, one (1) on the north, and four (4) on the east elevations. There are three (3) basement windows with two (2) on the west elevation and one (1) on the north elevation. Two (2) windows are located on the clapboard structure in the south and east walls and five (5) windows are located on the one-and-a-half story rear section in the north and west walls. The House has a total of three (3) access doors as shown in photographs numbers five (5), eleven (11) and three (3). There is also one (1) root cellar door on the east elevation. The House has a single, front slope, covered chimney on the east half of the roof as shown in photograph number thirteen (13).

The interior of the House has retained many of the original construction elements. The walls are all of plaster and the flooring of tongue and groove Southern Yellow Pine. All hardware fixtures, doors and flooring were imported from the East Coast. Since there were no fireplaces, the House was heated with parlor type Franklin stoves. For an in-depth perspective of the interior features, please refer to the "Site Investigation and Paint Analysis" section of the Evaluation and Plan for Rehabilitation of the Colonel Palmer House, Crystal Lake, Illinois. June 1984, labeled Exhibit A.

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With respect to other buildings and the environmental context of the nominated acreage, please refer to Exhibit B; a plat of survey prepared by the City of Crystal Lake Engineering Department. As shown by the plat legend, the House (a.) and wooden barn (b.) are still existing. The two (2) outbuildings (c.) were removed in 1979, while the foundations were backfilled and covered. The concrete foundation (d.) of a contemporary barn is located outside of the nominated acreage. Also visible on the plat of survey, accompanying photographs and slide presentation is the existing landscaping with numerous Oak and Maple trees; some existing prior to the twentieth (20th) century.

Alterations to the exterior and interior of the House have been very minimal; retaining most of its original form since built. In general, exterior alterations included several deletions of original fabric and two additions, whereas the interior received only one alteration. For more specific information relative to exterior and interior alterations, please refer to Exhibit A, sections on "Altered Conditions-- Exterior" and "Altered Conditions -- Interior" with subsequent first and second floor plans detailing both original and altered conditions. The identification of alterations was accomplished through several on-site inspections of the structure and a systematic paint analysis as found in Exhibit A.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input checked="" type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

Specific dates 1858 **Builder/Architect** Andrew Jackson Simon

Statement of Significance (in one paragraph)

The Colonel Gustavius A. Palmer House, built one hundred and twenty seven (127) years ago in 1858 ca., stands as a significant contribution to the local heritage, architecture and history of the City of Crystal Lake. Since obtaining the House in 1979, the City and Colonel Palmer House Restoration Association, a not-for-profit organization, have worked diligently to preserve the House and develop plans for its future disposition in lieu of its local historical significance. As shown by Exhibit A, plans for the Colonel Palmer House involve restoration as both a proposed historical museum and local cultural arts center. These uses were identified in a survey mailed to Crystal Lake residents in January 1984 in an effort to gain and determine community support and interest.

Gustavius A. Palmer and his wife Henrietta were among the earliest settlers in Nunda Township. The Palmers relocated to the area in 1840 ca. by journeying three weeks by covered wagon from Livingston County, New York. Gustavius A. Palmer was born in Nunda, New York in 1805, where he was later commissioned as Colonel of the 205th New York Infantry. As an Infantry Colonel, he participated in the Patriots War of 1837-38 following which the U.S. Government granted him bounty lands in McHenry County, Illinois of eighty (80) acres (approximately) by land patent on June 1, 1845. As the Palmers continued to acquire more than three hundred (300) acres in Nunda Township, the acreage came to be known as Palmer's Corners.

Colonel Palmer was also a civic minded individual active in local community affairs. He was the first Postmaster of the Town of Nunda and was appointed Judge of Elections for Nunda Township on June 5, 1850. On September 24, 1914, the Town of Nunda (previously known as Dearborn Village and later as the Village of North Crystal Lake) and Village of Crystal Lake incorporated to form the City of Crystal Lake with a population of 2,000 (estimated). Colonel Palmer was also an instrumental founding member of the Nunda Masonic Lodge No. 169 on October 2, 1855. The Nunda Masonic Lodge, first located at the A.H. Hale farm on Griswold Lake, was destroyed by fire in 1868. The Colonel Palmer House was utilized as a temporary meeting place for the displaced Masonic Lodge. John H. Palmer, his son, was Master of Nunda Masonic Lodge #169 from 1868-73, 1875-77, 1879-87, 1889-92, 1894, and 1998-1900. He also served on the Nunda Township Board of Supervisors in 1884. Colonel Palmer resided in Nunda Township, McHenry County, Illinois for forty three (43) years and both he and his wife died from typhoid pneumonia on December 19, 1884 and December 16, 1884 respectively. The Palmer family retained ownership of the House until 1926.

The Colonel Palmer House, originally built as a residential farm house, is a statement of local historical architecture having retained much of its original design since the time of construction. Also contributing to its significance are

9. Major Bibliographical References

- 1) An Evaluation and Plan for Rehabilitation of the Colonel Palmer House, Crystal Lake -- June 1984 (Prepared by Robert A. Furhoff for the Colonel Palmer House Restoration Association, Inc.); 2) McHenry County Historical Society -- Colonel Palmer House files; 3) City of Crystal Lake -- Colonel Palmer House Files; 4) Oral History; and 5) Original National Register of Historic Places Inventory -- Nomination Form submitted April 17, 1979.

10. Geographical Data

Acreeage of nominated property 1.22 Acres

Quadrangle name Crystal Lake, Illinois

Quadrangle scale 1:24000

UTM References

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Verbal boundary description and justification The West 220.00 feet of the South 300.00 feet of the Northwest Quarter of Section 34, Township 44 North, Range 8 East of the Third Principal Meridian, in McHenry County, State of Illinois.

List all states and counties for properties overlapping state or county boundaries Not Applicable

state code county code

state code county code

11. Form Prepared By

name/title Bogdan Vitas, Jr., Administrative Assistant to the City Manager *BVR*

organization City of Crystal Lake date January 14, 1985

street & number 121 North Main Street telephone 815-459-2020

city or town Crystal Lake state Illinois 60014

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national state local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature William O. Farnan

title Deputy, S.H.P.O. date 3/21/85

For NPS use only

I hereby certify that this property is included in the National Register

Beth Grovono date 5/29/85
Keeper of the National Register

Attest: date

Chief of Registration

**United States Department of the Interior
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Item number Eight (8)

Page One (1)

factors such as building materials utilized and the architect Andrew Jackson Simon who designed and built the House; one of the first known local architects. As discussed earlier in Section 7, the House consists of both Federal and Greek Revival styles of architecture generally referred to as the Neo-Classical Revival style. With respect to the restoration of critical design elements and the effect of interior and exterior alterations upon the significance of the House, Exhibit A evidences the current efforts proposed to maintain the architectural integrity of the House throughout the restoration process. Exhibit A also identifies known interior and exterior alterations and their significance upon the property.

Several unique features of local architectural significance pertain to the building materials. Cobblestones for the foundation were obtained from the shores of Lake Michigan near Waukegan, Illinois. Ruble fieldstone for the foundation was obtained locally. As for the limestone sills, lintels, watertable and fieldstone corner quoines, these materials were probably obtained locally at a stone quarry in Marengo, Illinois. The bricks, similar to the Williamsburg Brick style, were manufactured of local clay at a factory previously located approximately one (1) mile west of the Colonel Palmer House on Terra Cotta Avenue. As mentioned earlier, the hardware fixtures, doors and floors of tongue and groove Southern Yellow Pine were obtained from the East Coast. The windows are characteristic of the period in the traditional six light style and were constructed from handblown glass panels.

" EXHIBIT A "

An evaluation and plan for rehabilitation

COLONEL PALMER HOUSE ca 1858

Crystal Lake Illinois

Col. Palmer House Restoration Association, Inc.

3152 NORTH CAMBRIDGE AVENUE
CHICAGO, ILLINOIS 60657
312. 472 8105

ROBERT A. FURHOFF

RESTORATION of INTERIORS
- SITE INVESTIGATION - PAINT ANALYSIS -

COL. PALMER HOUSE

JUNE 1984

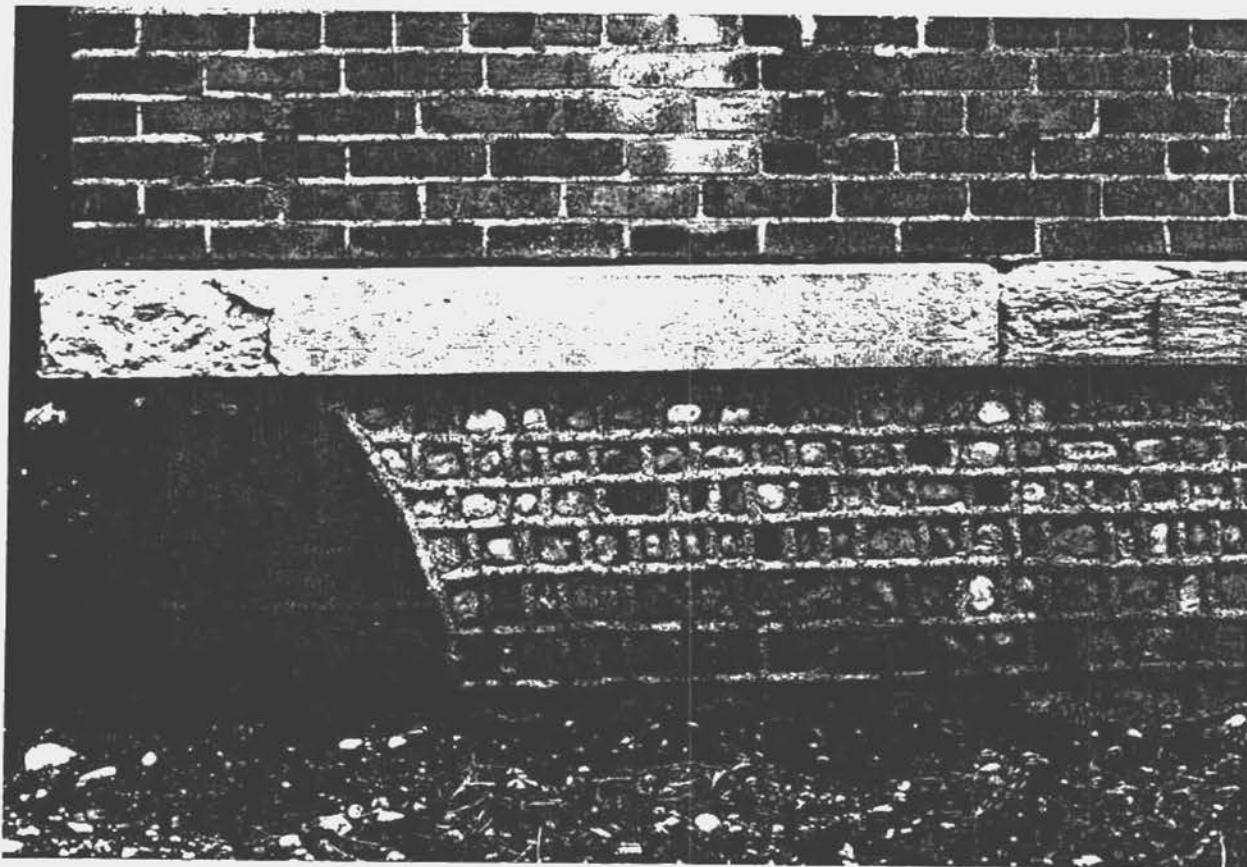
INTRODUCTION

The following report concerns itself with the present architectural condition and the steps that should be taken to preserve the structure as a useful building; serving as a community meeting center and part of Crystal Lake's heritage.

The discussions found herein are based on information gathered during on-site investigation of the building. This inspection was brief and was more of a general survey of the building than an in-depth study of any one aspect of the building. With this in mind, it must be recognized that the conclusions drawn and the recommendations made in this report are subject to further study and possible change as more information is gathered. This report should be viewed as a working document as opposed to a definitive statement. Its intention is to identify original and altered conditions, review program of intended use as a public meeting center and identify problems and issues of concern regarding the preservation of the Col. Palmer House.

COL. PALMER HOUSE

JUNE 1984



COBBLESTONE MASONRY - SOUTH ELEVATION

HISTORICAL AND STYLISTIC REVIEW

Constructed in 1858 by stone mason Andrew Jackson Simon for Col. Gustavus A. Palmer. Col. Palmer and his wife Henrietta came to Nunda Township in McHenry County about 1840 from Livingston County, New York.

Derivative of the neo-classical revival style, the house is a typical example of straightforward, simple design being built throughout the northern midwest during the second quarter of the nineteenth century.

Constructed of brick the house consists of a rectangular two-story front section and a smaller rectangular story-and-a-half wing to the back. The roof has a dentilated wood cornice. The sill and lintel of the doors and windows, and the watertable are of dressed limestone.

The basement foundation is rubble fieldstone with the above grade section on the south and west elevations finished by a veneer of cobblestone masonry. The cobblestones are water-rounded fieldstones of various sizes, shapes and colors, laid six courses to height of the corner quoine. The horizontal and vertical mortar joints are a raised bead giving the appearance of each cobblestone set in a recessed rectangle. The corner quoine is a large rough quartered fieldstone.

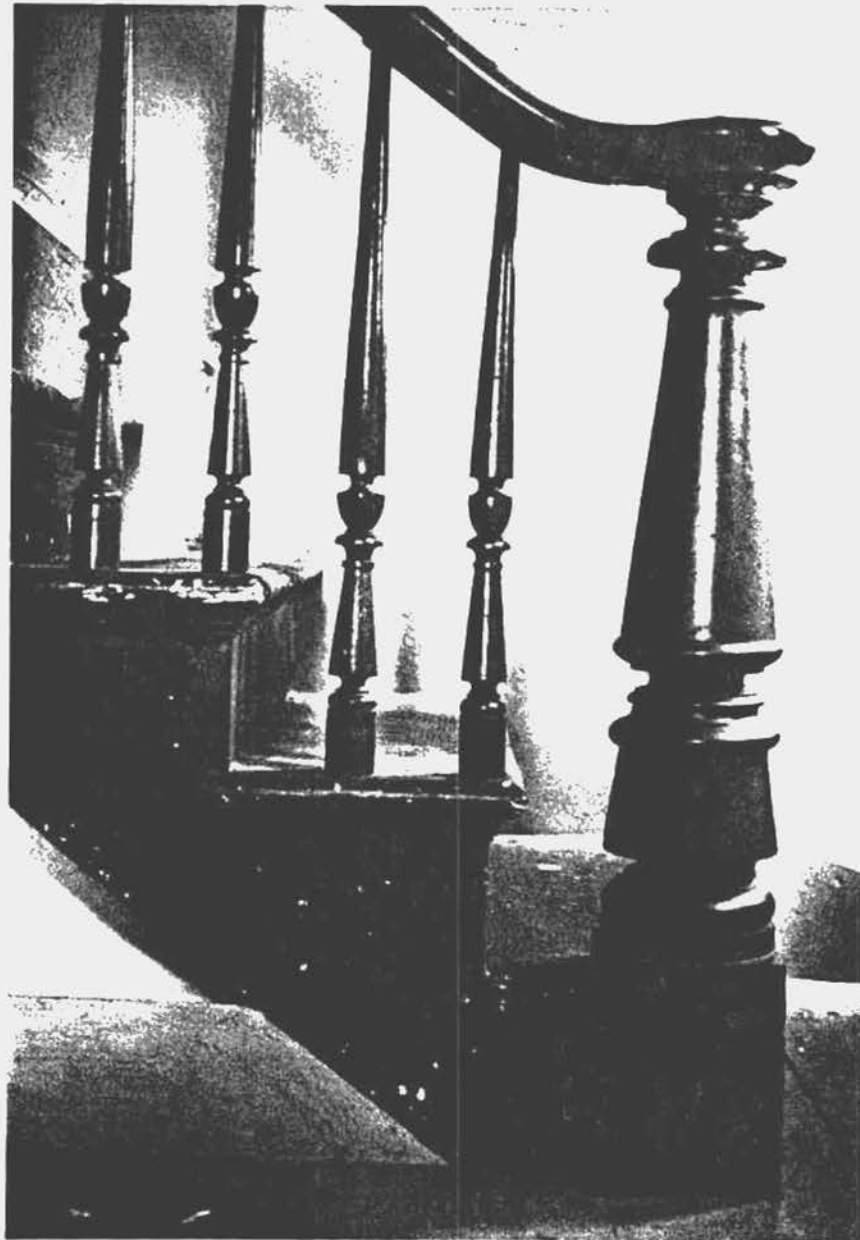
ORIGINAL FLOOR PLAN

The first floor plan is also typical of the period for small free standing, sidehall houses. The rectangular form of the main section being divided approximately in half front to back, then quartered making two large rooms in the diagonally opposite corners and two narrow rooms in the other diagonally opposite corners. The front narrow room being the entrance and stairhall. The back section was one room with stairs to the attic and basement, and two exterior doors opening to each side of the house. The east side of the back wing is flush with the main section and this door may have opened directly to the outside or to a wooden subsidiary structure. The west side of the back wing is recessed back from the main section and this door opened on to an open porch.

The second floor plans of this period were less standardized and varied greatly from building to building depending on the needs of the owner. The Col. Palmer house included five rooms a hallcloset and a hallway that extended to the single room of the half story back wing. The small room at the head of the stairs, a small front room over the stairs and a large front room over and almost equal in size to the front first floor room is a typical arrangement; with the hallcloset, backhall and two small rooms to the back west half of the floor being a independent arrangement.

COL. PALMER HOUSE

JUNE 1984



FRONT STAIR BALUSTRADE

ALTERED CONDITIONS - EXTERIOR

The Col. Palmer house survives very much in its original form. Alterations include only a few deletions of original elements and two additions.

Original material lost include some window sash; the main entrance architrave, door and porch; and four chimneys of the main front section. The window sash and front entrance have been restored prior to this report. The back wing has lost its original exterior doors and the west porch.

The clapboard structure on the east side of the back wing has not been determined as to age. Original or an addition, it is consistant in style and form of subsidiary wings attached to houses in the nineteenth century and does not distract from the period appearance of the Col. Palmer House.

The major alteration to the house was the rising of the back wing to two full stories. This addition occured about the 1950s when the second floor was converted to an apartment. The clapboard siding and fenestration of this alteration cause it to contrast with and distract from the quality and appearance of the original structure.

The replacement porches are poured concrete and the west porch, though simple in design, is neither historical correct or sympathetic to the style of the house.

ALTERED CONDITIONS - INTERIOR

The interior of the house also remains much as originally built, receiving only one alteration prior to the apartment conversion.

The first alteration was a change to the first floor, floor plan. This involved removing a wall between the two back rooms of the main front section and adding a double door between the front parlor and the newly created large middle room. As indicated by the paint analysis this alteration occured at paint sequence three, about the late 1870s to mid 1880s.

The only other alteration to the original floor plan occured on the second floor, front section at the time of the apartment conversion. This change was the removal of a wall between the two small back west rooms and closing up the north door of the two original doorways. Other minor alterations (additions) to the front section during the conversion had been removed prior to this report.

The first floor of the back wing also received minor alteration during the conversion that are still in place. These changes include the addition of a wall and door to seperate the kitchen and second floor stairs; and creating a door between the kitchen and added bathroom in the clapboard wing.

The second floor of the back wing is an entirely new space.

COL. PALMER HOUSE

JUNE 1984



SOUTH ELEVATION

COL. PALMER HOUSE

JUNE 1984



WEST ELEVATION

COL. PALMER HOUSE

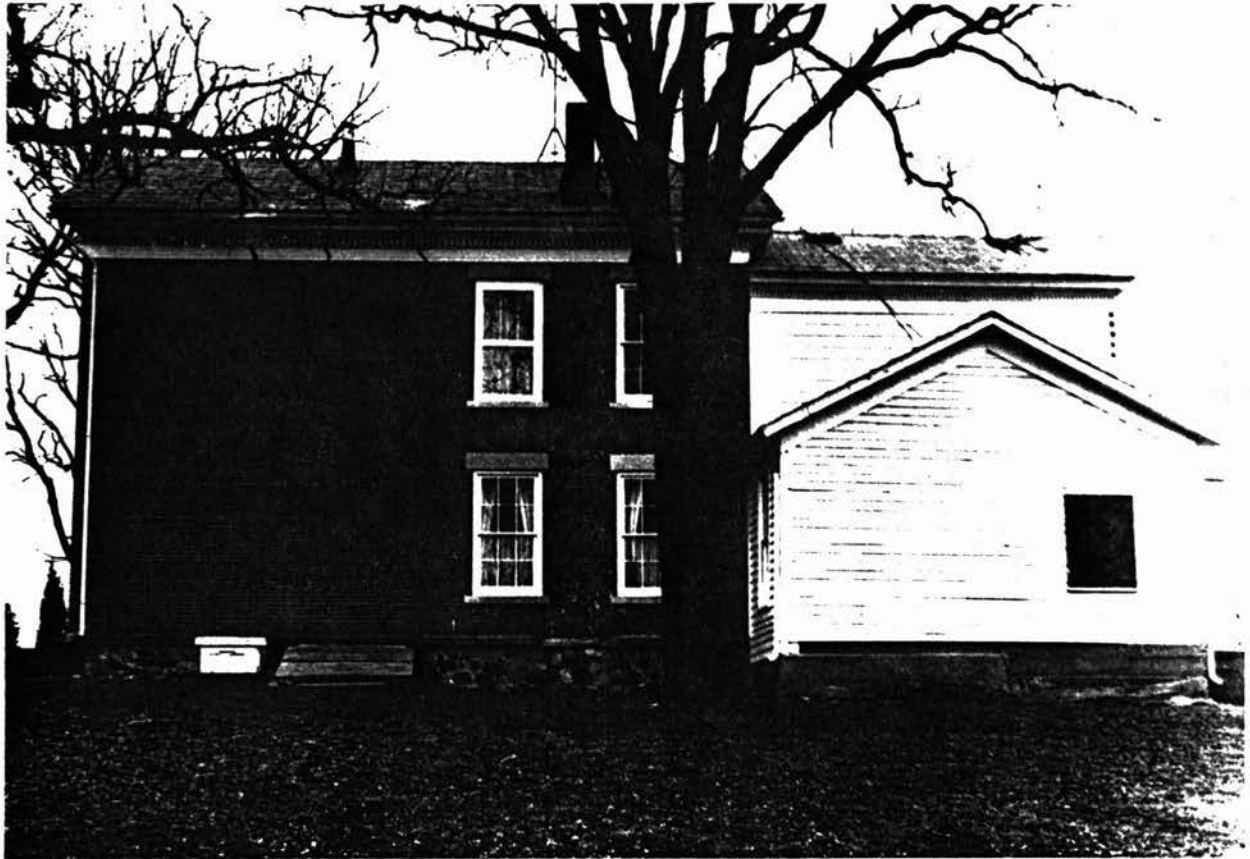
JUNE 1984



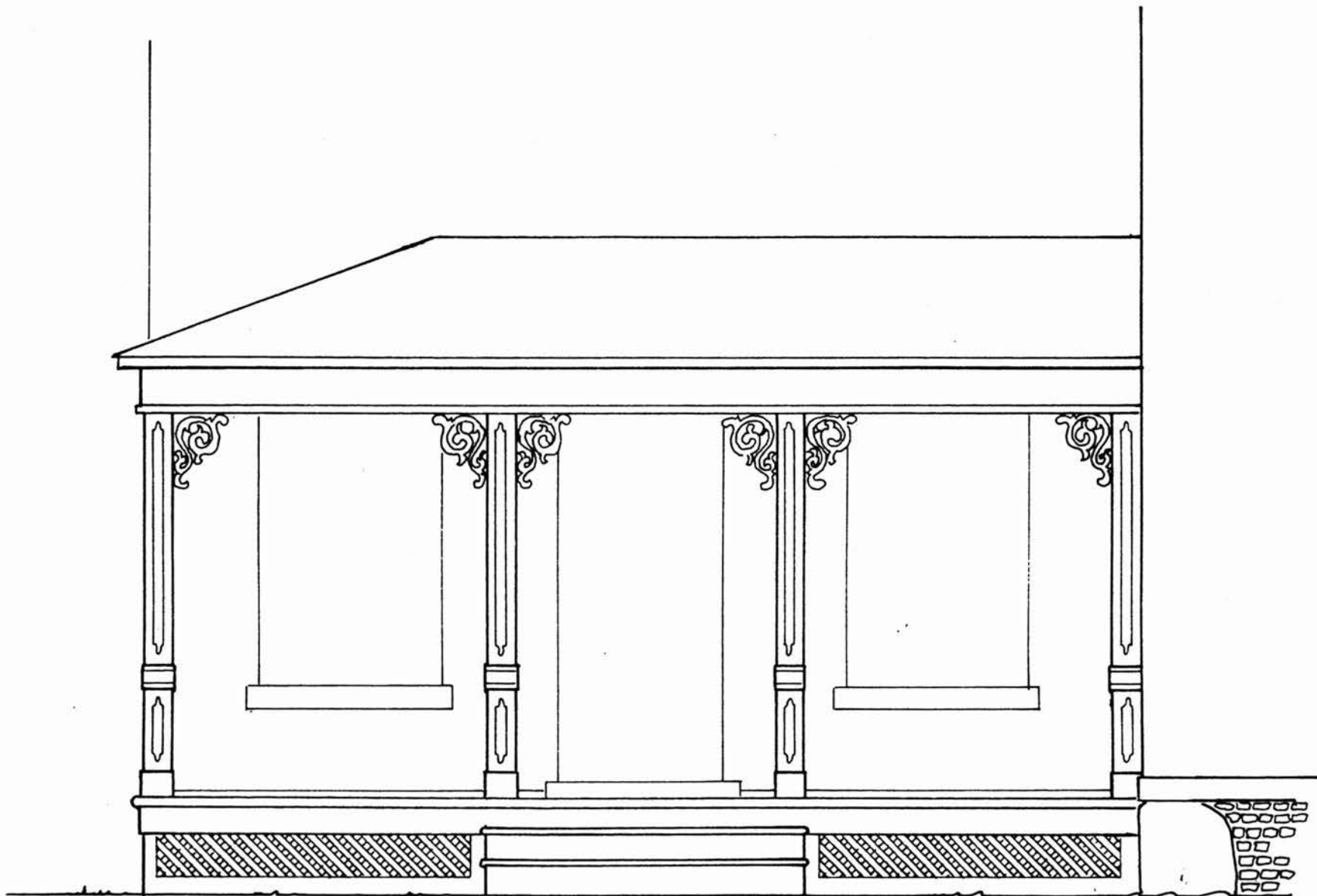
NORTH ELEVATION

COL. PALMER HOUSE

JUNE 1984



EAST ELEVATION



COL PALMER HOUSE
west porch

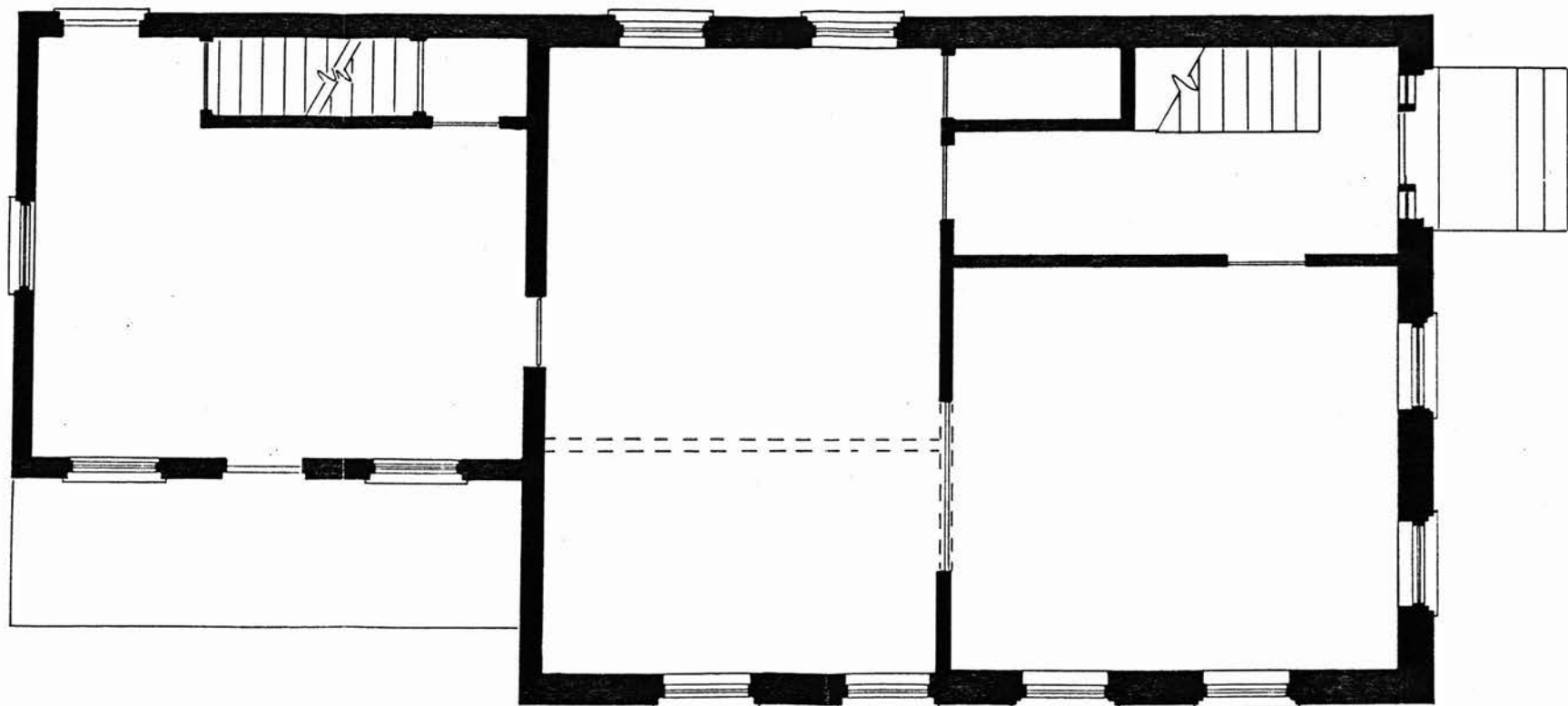
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COL. PALMER HOUSE

JUNE 1984



SCROLL BRACKET ORIGINALLY ON WEST PORCH



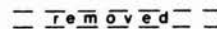
COL PALMER HOUSE
CRYSTAL LAKE, IL.
FIRST FLOOR PLAN

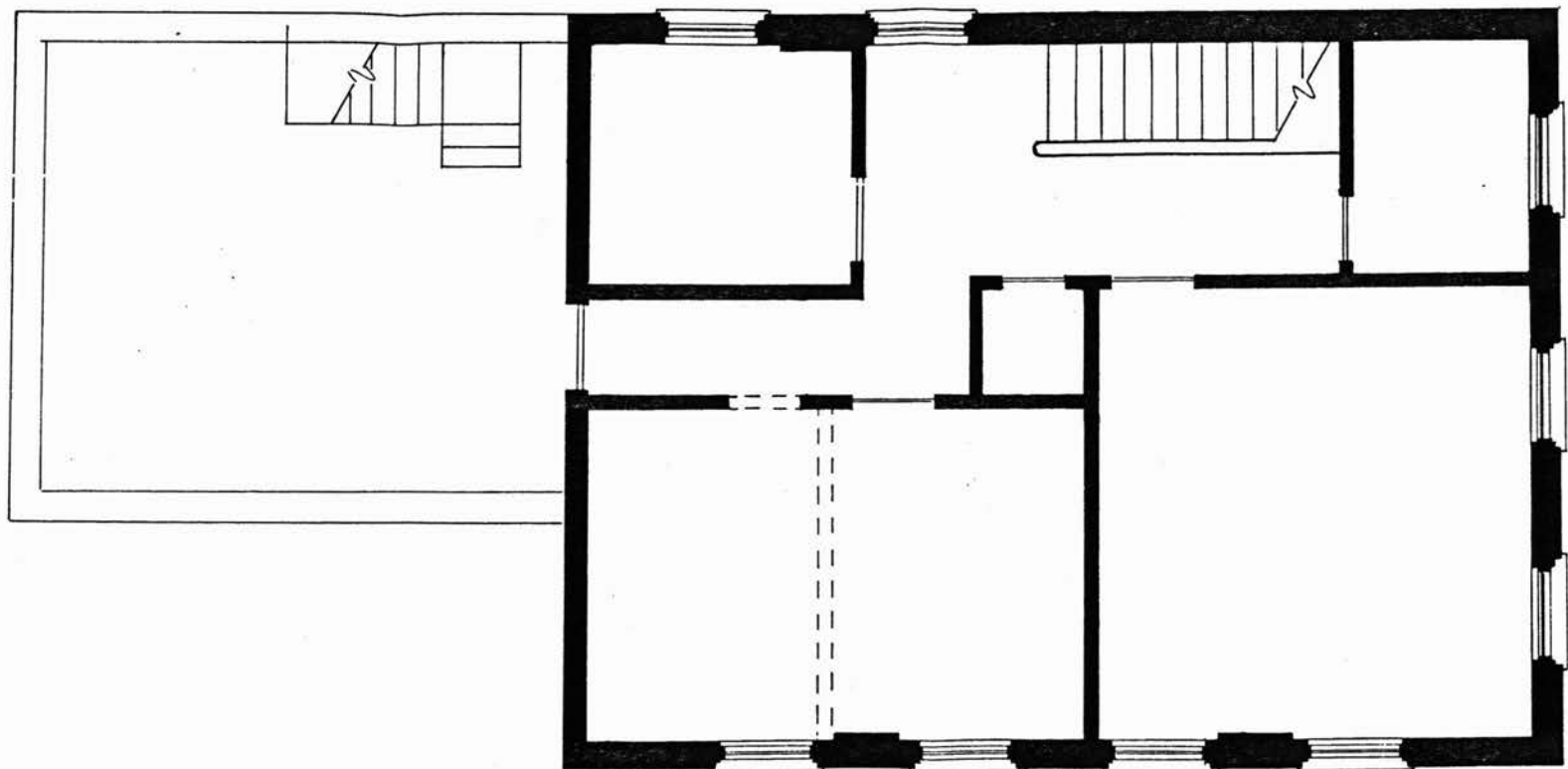
CA 1858



original

altered condition





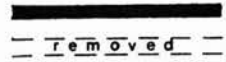
COL PALMER HOUSE
CRYSTAL LAKE, IL.
SECOND FLOOR PLAN

CA 1858



original

altered condition



SITE INVESTIGATION AND PAINT ANALYSIS

The above mentioned original and altered conditions were determined by an on site inspection of the structure and conducting a systematic paint analysis.

The original height of the back wing and existence of the west porch can be identified by scarring to the exterior brick wall. A comparative study between a fragment of porch post found in the barn with two scroll brackets on the clapboard wing and the marks on the brick wall, confirm the appearance of the west porch.

Also located in the barn were three sections of jamb trim to the original main entrance architrave. These can be identified as original to the house, by the extant interior paint layers. The side surface of jamb also contain profiles for other missing details.

Interior conditions were identified thru paint analysis, by the existence or absence of paint layers with in a paint layering sequence.

METHOD OF PAINT INVESTIGATION

Investigation was conducted by removing representative samples from different painted surfaces for microscopic inspection. The instrument used was a binocular microscopic with magnification from 10X to 80X. The location and number of samples selected was determined by architectural features and varying surface area that may contain variation to a general scheme of decoration. After establishing a paint sequence additional site testing was conducted, by dry scraping with a scalpel, to varify architectural conditions. Also two samples of decorative woodgraining were exposed by chemical removal of subsequent paint layers.

IDENTIFICATION OF PAINT COLORS

A small area, of the colors identified in this report, was cleaned of subsequent paint layering by scalpel, under the microscope. No chemicals were used. Color matching was done under natural (sky) light and controlled color corrected artificial light (1). Color identification was by visually matching samples to the Munsell Color system (2). General decriptive reference of colors are named according to the National Bureau of Standards color names (3).

SEQUENCE OF EXTERIOR PAINT LAYERS

GENERAL: Paint samples were collected from the original door jamb, a window jamb and window sash on the south front elevation. The door jamb sample came from a sheltered area and provided a good sample of layering. Samples were also collected from a porch post and an ornamental scroll bracket.

WOOD TRIM

ORIGINAL PAINT LAYER

yellowish white	Same color and appearance as first
oil paint	paint layer used inside the house.
semi gloss finish	
Munsell Color	

SECOND PAINT LAYER

white	Same color and appearance as second
oil paint	paint layer used inside the house.
semi gloss finish	
Munsell Color	
$\frac{10 Y}{9/1}$	

THIRD PAINT LAYER

reddish brown	Door and window jambs only.
oil paint	No original exterior doors survived.
low gloss finish	This color is very typical of the 1870s.
Munsell Color	Window sash continued to be white.
$\frac{2.5 YR}{2/4}$	

FOURTH AND SUBSEQUENT LAYERS

white	Total of ten additional paint layers over the above sequences.
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COL. PALMER HOUSE

SITE INVESTIGATION

JUNE 1984

SEQUENCE OF EXTERIOR PAINT LAYERS

KITCHEN PORCH

FIRST PAINT LAYER

yellowish white

Very thin and deteriorated, not possible to determine if is same as original paint layer on main house or a prime coat for next paint layer.

SECOND PAINT LAYER

white

Is thicker than above layer but also deteriorated with very strong soiling. Same on both porch post and scroll bracket.

THIRD PAINT LAYER

medium gray

Scroll bracket only,

white

Porch post only.

FOURTH AND SUBSEQUENT LAYERS

white

Total of seven additional paint layers over the above sequences.

SEQUENCE OF INTERIOR DECORATIVE FINISHES

WOODWORK

GENERAL: All woodwork contains at least ten or more layers of paint. The objective of this paint investigation is to identify structural alterations and early decorative schemes. Therefore, a complete listing of all paint layers in all spaces is not part of this report.

ORIGINAL PAINT LAYER

- A. yellowish white
oil paint
semi gloss finish
Munsell Color

$$\frac{2.5 Y}{8/2}$$

The same paint on all woodwork in all rooms of the house except the first floor room of the back wing. Characteristics of this layer are the retention of brush marks and a grainy appearance within the layer. In the first floor hallway and front parlor this layer appears to have been sanded down in preparation for paint layer two.

The front stair balusterade is a clear finish on natural wood.

- B. bluish gray
oil paint
semi gloss finish
Munsell Color

$$\frac{5 B}{6/1}$$

Used on all woodwork in the first floor of the back wing - kitchen, including door of the basement and second floor stairs, the built in wall cabinet on the south wall and wall mounted board between the west door and right hand west window.

SEQUENCE OF INTERIOR DECORATIVE FINISHES

WOODWORK CONTINUED

SECOND PAINT SEQUENCE

- A. white
oil paint
glossy resin finish
notation of paint
without resin
finish
Munsell Color
 $\frac{10 Y}{9/1}$
- Only the first floor hallway and front parlor received this combination of paint and glaze treatment. All rooms of the second floor received only the painted finish.
- The first floor middle west room and the second floor hallway and back wing room were not painted at this sequence.

- B. yellowish white
base paint for
imitation oak
wood graining
- Used on all woodwork in the first floor middle east room and back wing kitchen.

THIRD PAINT SEQUENCE - FIRST FLOOR

- pinkish orange
base paint for
imitation walnut
wood graining and
burled door panels
- The same treatment on all woodwork in all first floor rooms.
- Prior to this painting, the wall between the east and west middle rooms was removed and the double doors added between the front parlor and this new enlarged middle room. The popular fashion for these woods would place this alteration from about the late 1870s to mid 1880s.

FOURTH PAINT SEQUENCE - FIRST FLOOR

- purplish red
glossy resin finish
- The same treatment on all woodwork in all first floor rooms.

FIFTH PAINT SEQUENCE - FIRST FLOOR

First sequence of twentieth century paints. The front stair balustrad received the existing brown paint at this time.

SEQUENCE OF INTERIOR DECORATIVE FINISHES

WOODWORK CONTINUED

THIRD PAINT SEQUENCE - SECOND FLOOR

- A. yellowish pink The same treatment on all woodwork
oil paint in all rooms except hallway.
low gloss finish Is a very thin paint layer.
Munsell Color
 $\frac{10 \text{ YR}}{8/4}$

- B. yellowish white All woodwork of hallway.
oil paint Is a very thin paint layer.
low gloss finish
Munsell Color
 $\frac{5 \text{ Y}}{8.5/2}$

Line of soil, causing easy separation
of this paint layer and the next paint
layer.

FOURTH PAINT SEQUENCE - SECOND FLOOR

- yellowish pink The same treatment on all woodwork
oil paint in all rooms except hallway. Is a
low gloss finish very thin paint layer and same color
as third sequence A.

The hallway did not receive any treatment.

NOTE: The first floor and second floor, third and fourth paint
sequences can not be correlated as to occurring within the
same time periods.

FIFTH PAINT SEQUENCE - SECOND FLOOR

- white First sequence of twentieth century paints.
The wall between the middle west and back
west rooms and one door was removed at
this time, when the second floor was made
in to an apartment.

SEQUENCE OF INTERIOR DECORATIVE FINISHES

WALLS

GENERAL: All spaces contain several layers of paint directly on the plaster surface. These paints also cover the electrical switch plates but do not occur behind the plates. The wall surface behind the plates does have two to three layers of wallpaper directly on unpainted plaster. Therefore it can be assumed that the rooms of the Col. Palmer House were originally and subsequently decorated with wallpapers.

An accumulation of wallpapers also survives in two other areas; the builtin kitchen wall cabinet and the second floor hallway closet.

The papers in the wall cabinet covers the early woodwork paint colors.

Of the three wallpapers in the closet, the top paper has been painted over. The middle layer is a tan and brown, figured vertical stripe. The bottom layer is a yellow and gold scroll pattern, which is stylistic of papers popular during the late 1880s and 1890s. These two lower layers were the same patterns as found behind the electrical switch plate of the first floor hallway.

FOOTNOTES:

1. Artificial light sources assist in refining color matching of paint sample to color system color chips, by observing for any effect of metamerism under changes of illumination. Lamps are General Electric Chroma 75 for general lab illumination; and quartz halogen fiber-optic illuminator, with blue daylight filter attached to the microscope, for matching samples under magnification.
2. MUNSELL COLOR CO., 2441 N. Calvert St., Baltimore, Maryland 21218. Consists of 1568 different colors of opaque pigmented films on cast-coated paper. The Munsell Color System identifies color in terms of three attributes - hue, value and chroma $\frac{h}{v/c}$.
3. The Inter-Society Color Council (ISCC) and the National Bureau of Standards (NBS) developed the ISCC-NBS method of designating colors and a dictionary of color names; COLOR, Universal Language and Dictionary of Names, U.S. Dept. of Commerce, NBS Special Publication 440.

PROGRAM OF INTENDED USE

The objective of the Col. Palmer House Restoration Association, Inc. is to preserve the Col. Palmer house, not as a house museum, but as a functioning community center for public organizations of the Crystal Lake area.

This rehabilitation approach will require a program that respects the limits of the existing structure to meet public needs for assembly, without necessitating alteration that would detract or alter the historic character of the building.

As a building in which to schedule an activity, the interest of the potential user will be the available space and occupancy limit. The attached feasibility studies of room occupancy show a variety of potential meeting conditions.

The interior of the building, as it currently exists, can accommodate four separate activities at one time. I do not recommend restoring the missing walls in the front section because the resulting spaces would diminish the usefulness of the building.

The first floor can accommodate activities involving groups up to approximately 54 people seated. This would include conference table seating up to 18 people. Cards or luncheon at small tables up to 32 people. Lecture with slide presentation up to 30 people. Lecture or public forum up to 54 people.

In addition to meetings the first floor front room has the potential as serving as a temporary exhibit space. The advantage of an organization to place an exhibit at the house would be twofold. One, the activities at the house would provide an audience for the organization. Secondly, it would provide a opportunity for individuals not associated with a group, to visit and enjoy the historic house. The first floor front room is the preferred space for an exhibit because of accessibility and that it can be secured if need during other scheduled events.

The second floor accessibility can be an obstacle for some people, therefore its use is somewhat limited. For this reason and in preference for accurate exterior restoration, I do not recommend retaining the back wing second floor addition.

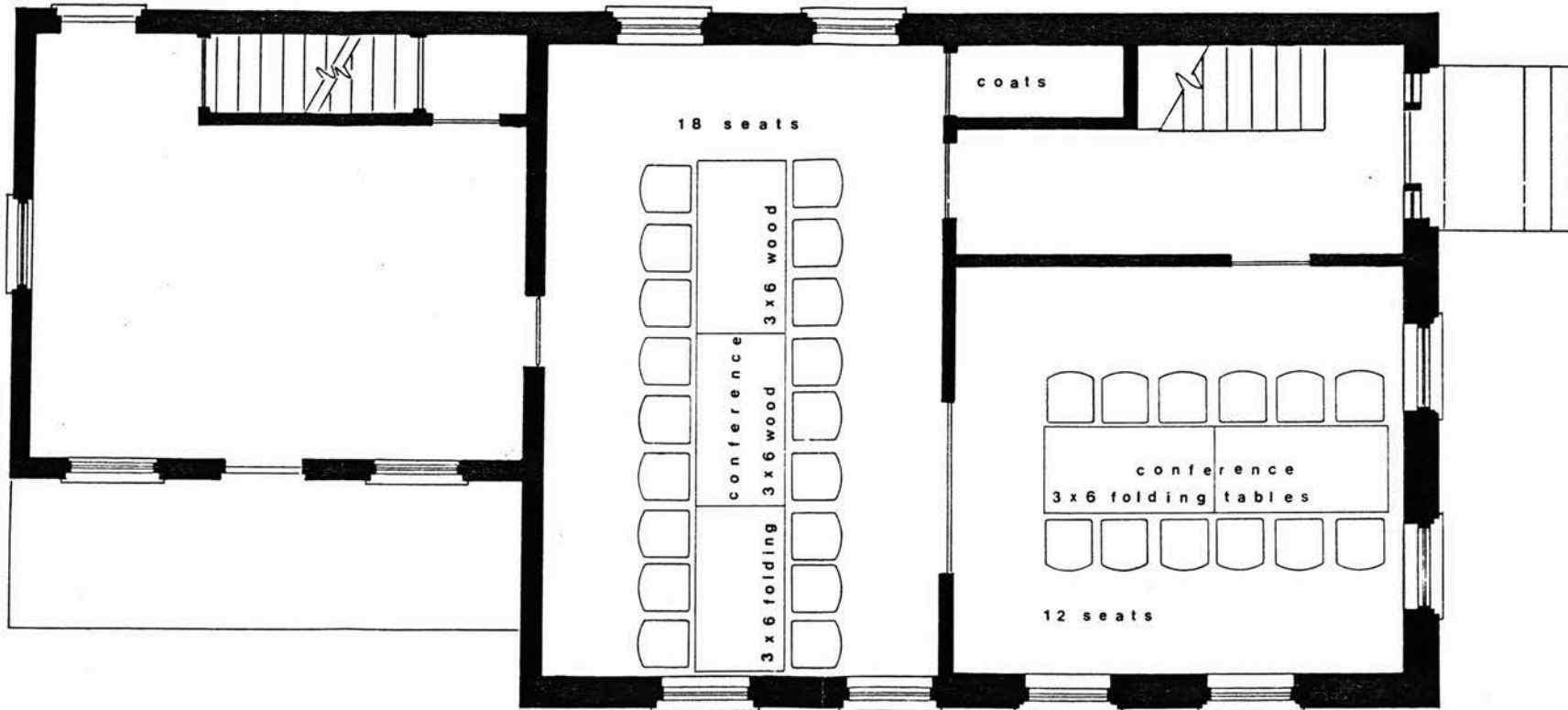
The room arrangement as it currently exists lends itself to small group meetings of up to 8 people and long term occupancy. The small room at the top of the stairs will be an excellent office from which to coordinate scheduling of house activities. The two larger rooms can serve as conference/work rooms which could be available on a long term arrangement to organizations that need a space in which to coordinate an annual affair or project.

PROGRAM OF INTENDED USE

The restored back wing half story will still function to the benefit of the house. A utility sink could be provided to support the potential group work projects. Open or secured storage would be available to all user organizations. Importantly, it would provide access to the first floor services without interference with first floor activities.

One option for utilization of the second floor is continuing to provide living quarters for a caretaker. This has been evaluated and decided as not practical by the Association. Having conducted this site and program evaluation, I am also of the opinion that maintaining an apartment is not advantageous to the intended use or preservation of the Col. Palmer House.

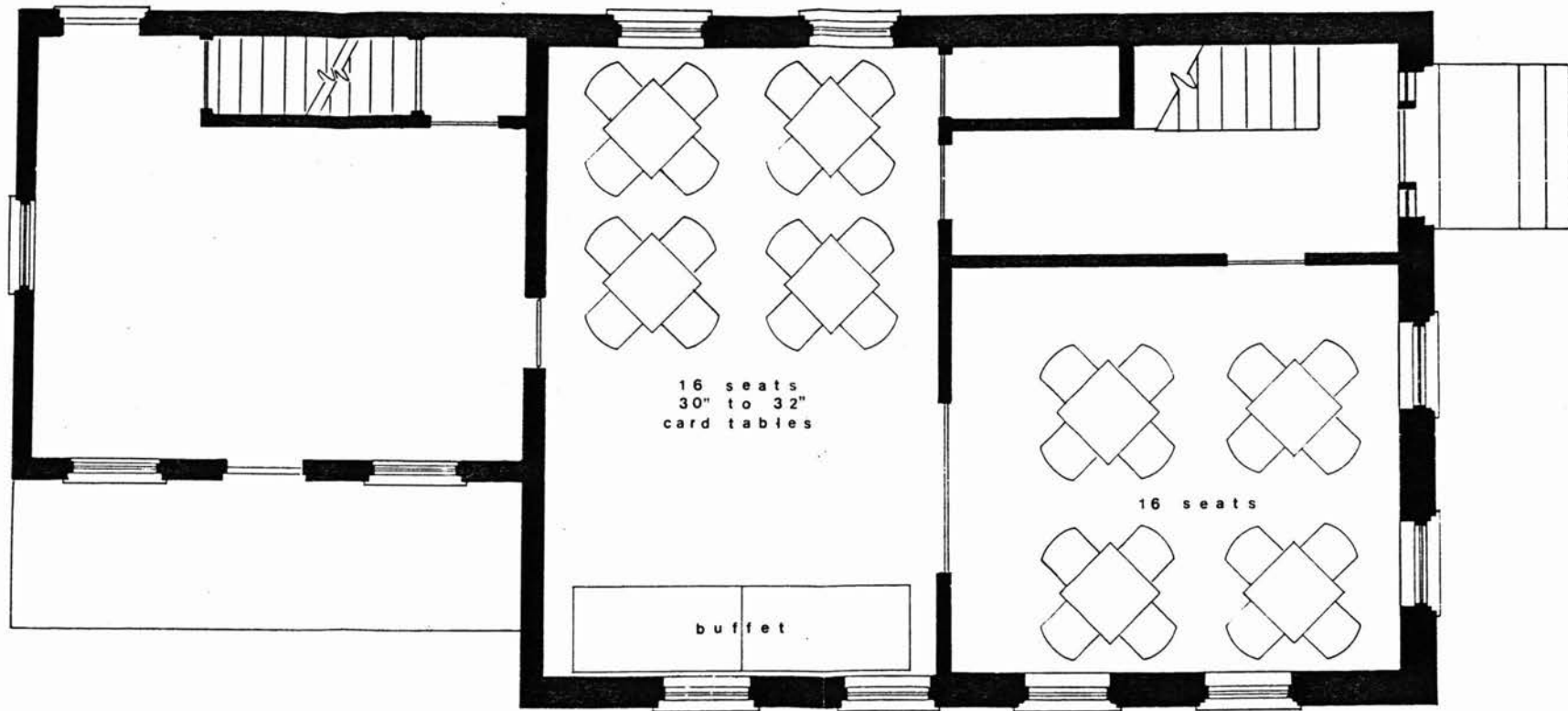
Outdoor activities are also part of the intended program. The house can not be expected to provide the support facilities necessary for these large groups. Therefore I recommend the restoration of the existing barn. This rehabilitated structure would provide shelter and demonstration space and could be fitted with food preparation and restroom facilities.



COL PALMER HOUSE
 CRYSTAL LAKE, ILL.
 FIRST FLOOR PLAN

CA 1858

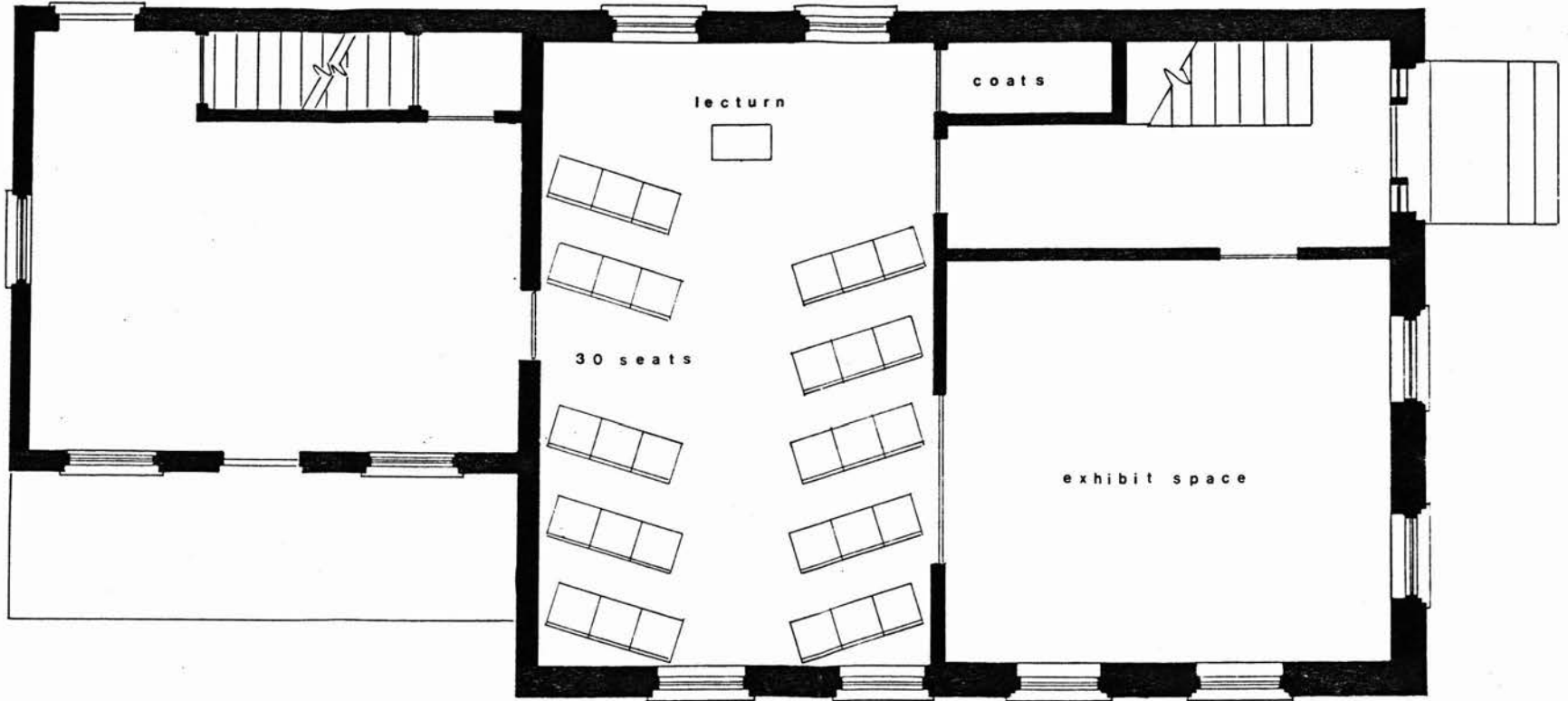




COL PALMER HOUSE
CRYSTAL LAKE, IL.
FIRST FLOOR PLAN

CA 1858



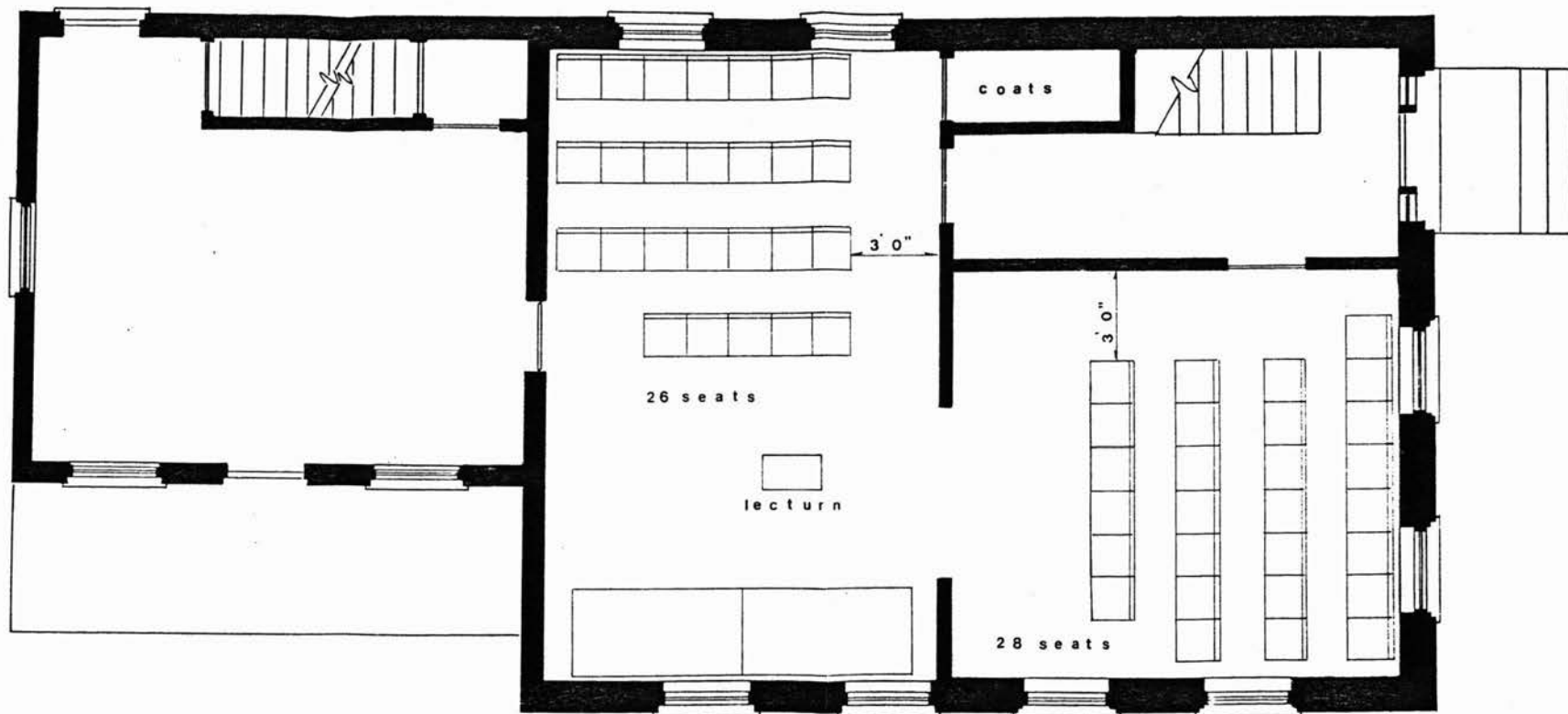


COL PALMER HOUSE
CRYSTAL LAKE, IL.
FIRST FLOOR PLAN

CA 1858



small group meeting

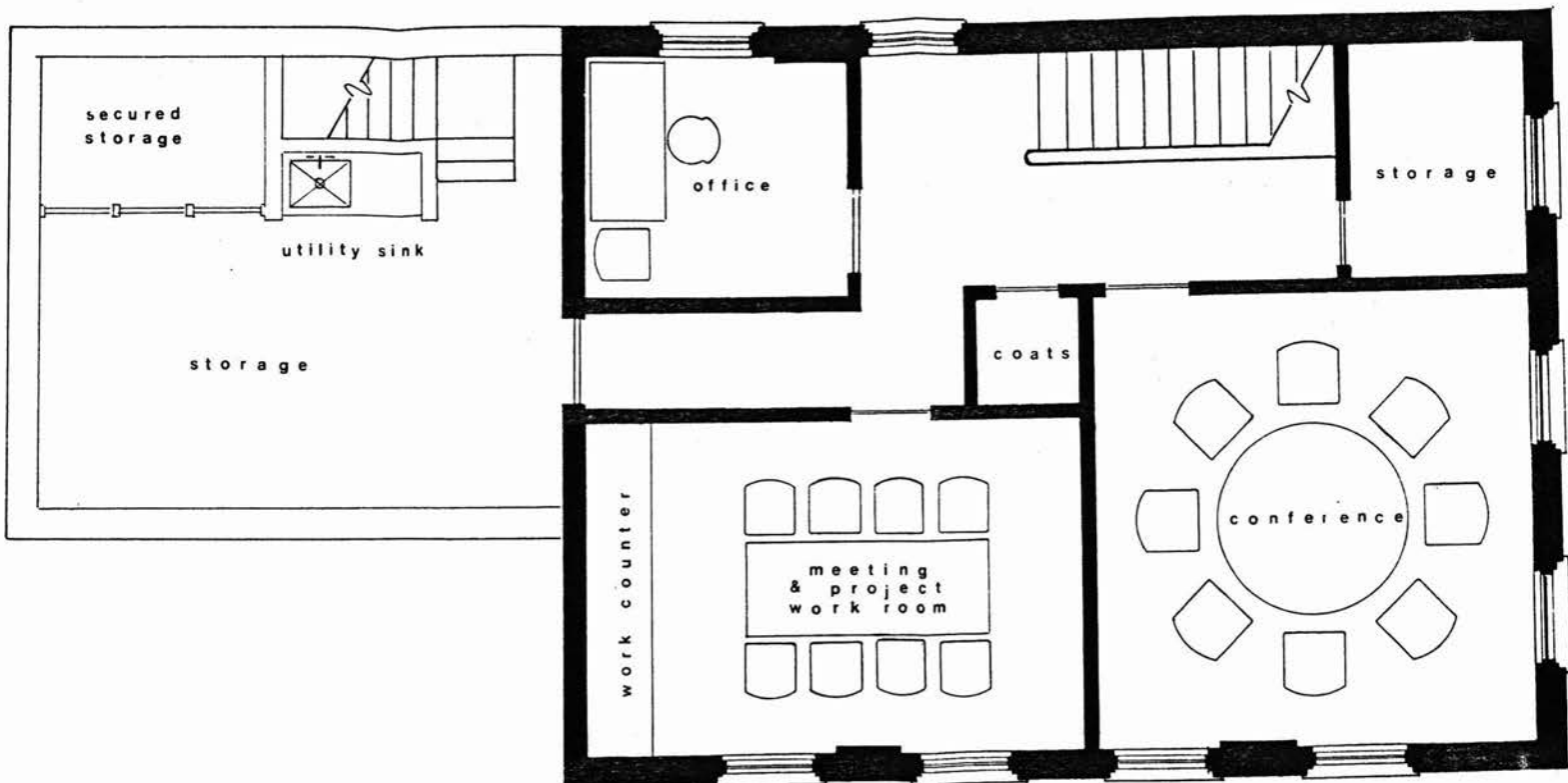


COL PALMER HOUSE
 CRYSTAL LAKE, IL.
 FIRST FLOOR PLAN

CA 1858



large group meeting



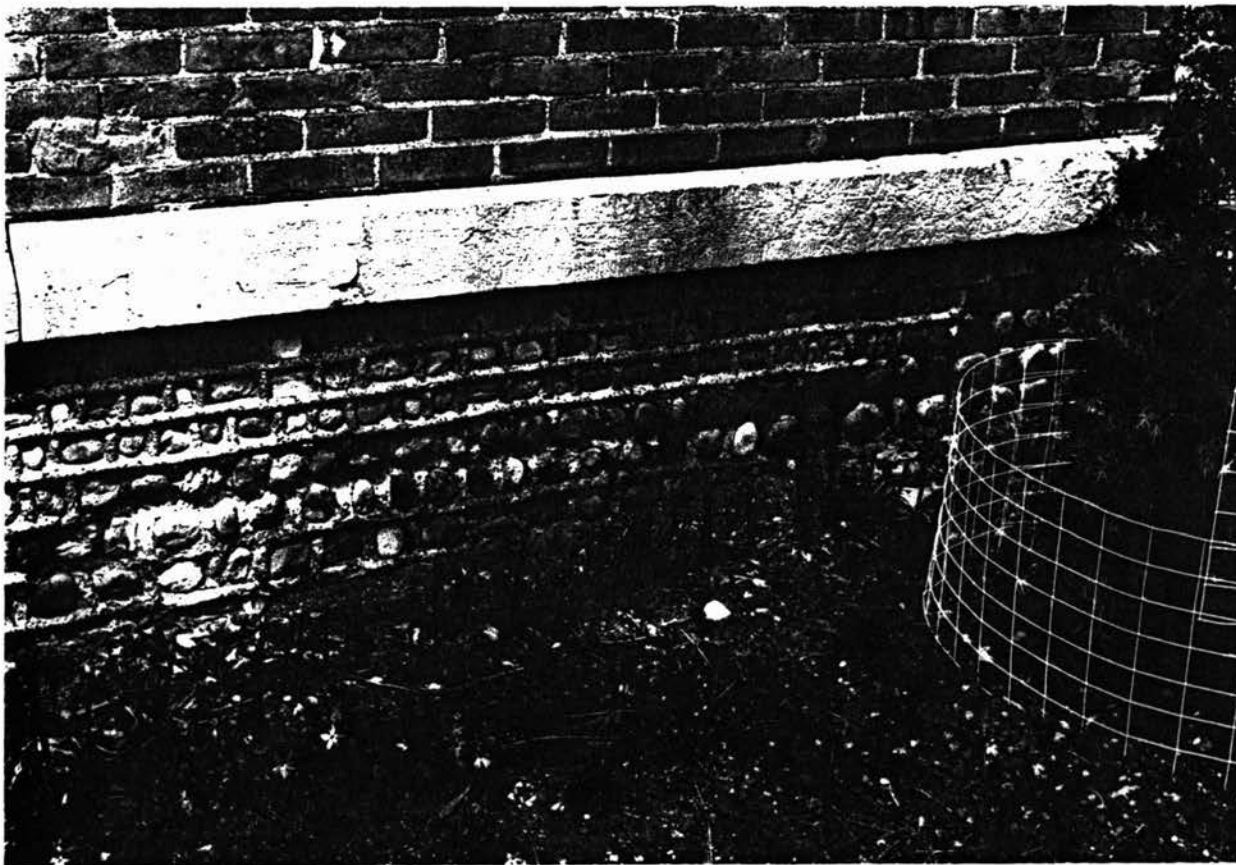
COL PALMER HOUSE
 CRYSTAL LAKE, IL.
 SECOND FLOOR PLAN

CA 1858



COL. PALMER HOUSE

JUNE 1984



COBBLESTONE MASONRY - SOUTH ELEVATION - DETERIORATION

RECOMMENDATIONS AND PROPOSED PLAN OF ACTION FOR THE
REHABILITATION OF THE COL. PALMER HOUSEGENERAL

The building is structurally sound and in stable condition, requiring no immediate work to prevent deterioration, except as listed under Exterior Priority. The major priority should be set on the necessary requirements to get the first floor functional as a meeting center with regularly scheduled activities, Phase I. Remaining work and restoration, Phases II, III and IV, can proceed when funding is available.

ADDITIONAL PLANNING

1. Obtain a brick and mortar analysis for specification of masonry restoration work and future maintenance.
This information is essential so that, when ever any repair, restoration or repointing is required, the new mortar has the same appearance, prosity and coefficient of expansion as the old mortar and is compatible with the old brick. This will avoid damage to the old brick and structure.
2. A detailed site investigation, involving removal of modern materials and selective demolition, to determine the original condition of the back wing second floor and the age and condition of the clapboard wing. The existing roof line of the clapboard wing has to be reviewed as to its relationship to the future restored back wing.
3. Prepare a detailed program to coordinate the different phases of work and the overlap between phases. This would require architectural plans for mechanical systems of heating, electrical, telephone and alarm systems for both security and fire.

EXTERIOR PRIORITY

1. After mortar analysis, restore the raised bead mortar detail on south elevation foundation wall.
2. Repair south elevation, southeast corner of roof cornice. If shaped moldings are missing, replacement should match original trim. Repair could be temporary until phase two or phase three when additional reproduction trim will be needed.

FRONT ENTRANCE

The existing architrive and door have been restored incorrectly. This is apparent in the style of the four panel door and by comparison with the surviving original jamb molding. At some time in the future the entrance should be redone more accurately. For missing details and style of door, a survey should be made of other houses in the Crystal Lake area constructed at the same time and the houses build by Andrew Jackson Simon.

RECOMMENDATIONS AND PROPOSED PLAN OF ACTION CONTINUED

PHASE I

Rehabilitation of the basement, first floor rooms and restrooms facilities. This is the core of the building which will allow the building to become functional.

BASEMENT

1. Reinforce the first floor, in concurrence with the City's requirements for occupancy as outlined in program of intended use.
2. Provide concrete floors in the front and back sections of the basement.
3. Restore all windows and exterior cellar door entrance.
4. Remove all old non functioning mechanical systems.
5. Install new furnace to heat first floor, new restrooms and future restored back wing second floor. New furnace should be of the efficient combustion type that can be vented to the outside at the basement level. This will allow the removal of the modern chimney that passes through the interior of the house.
6. Enclose stairs to kitchen and repair furnace room to meet City requirements for fire safety.
7. Install new electrical wiring for basement and first floor as required and supply to future restored back wing second floor. Install security system for entire house.
8. Install new plumbing as required for new restrooms, new sink location on first floor and future sink on second floor.
9. Related work. I would recommend that all utilities be supplied to the house below ground and all meters be installed in the basement or on the east elevation of the exterior out of general view.

RECOMMENDATIONS AND PROPOSED PLAN OF ACTION CONTINUED

PHASE INEW RESTROOMS

Two conceptual plans are submitted for restroom facilities.

Sketch R-2 is advantageous to preserving the existing clapboard wing if it proves to be original or an early addition.

Its rehabilitation will be extensive; requiring gutting, new floor, plumbing, electrical, insulation, interior finishes and eventually a new roof consistent with the main roof when restored.

Sketch R-3 is advantageous to the new intended function of the house and provide more convenience for the public attendance, which at times will exceed 60 people.

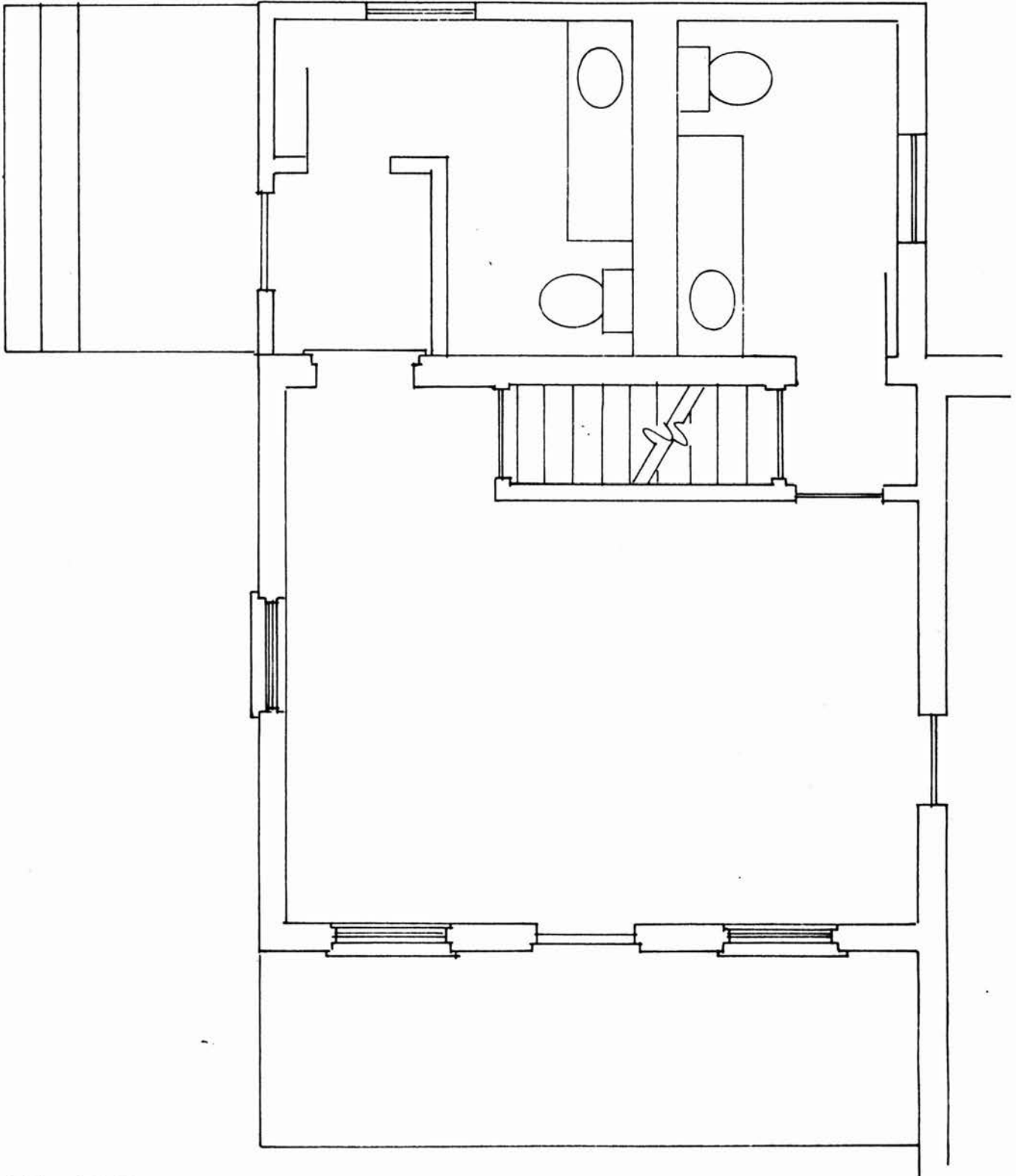
The new structure would have the same appearance as the old but be larger in one dimension. It would utilize the existing window sash.

Both plans will require a new porch.

Comparison between the cost of the two plans may indicate that a new and enlarged facility would be more beneficial to the house in return for the money spent.

FIRST FLOOR INTERIOR

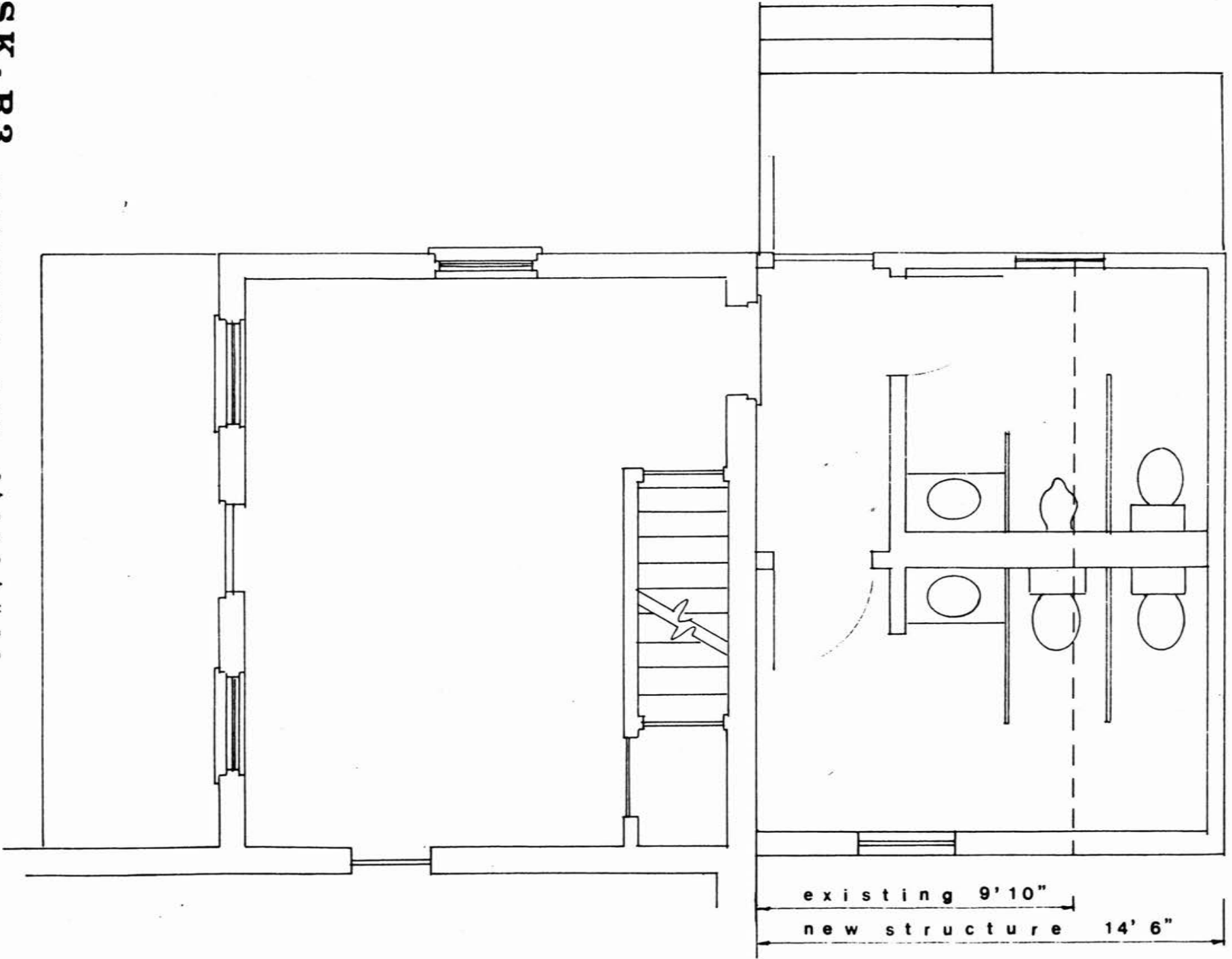
1. Remove all modern additions and materials from the kitchen and restore plaster and wood surfaces.
2. Millwork
 - a. Repair front stair hand rail and other damaged wood trim.
 - b. Reproduce and replace missing doors in the front parlor, kitchen east exterior door, foot of back second floor stairs, kitchen west exterior door, second floor hallcloset and second floor back west room.
 - c. Install new wood trim, matching original where missing, front entrance door frame, new restroom and possibly in kitchen.
 - d. Related work, inventory original hardware, replacing all modern door knobs, latch sets and hinges with reproduction hardware matching or similar to original.
3. Refinish woodwork and paint to match original paint colors. Special attention is required to preserve sections of the woodgraining, a portion of jamb trim, door stile and panel, that can be uncovered in the future if preservation objectives change towards an accurate museum quality restoration.
4. Install UV Plastic filter to windows of front room; if room is to be used as exhibit space.
5. Refinish hallway and kitchen floors.



SK - R2 restrooms existing structure

SK - R3

restrooms new structure



existing 9' 10"

new structure 14' 6"

RECOMMENDATIONS AND PROPOSED PLAN OF ACTION CONTINUED

PHASE II

Rehabilitation of front section roof, attic and second floor rooms.

ROOF AND ATTIC

1. Reconstruct four missing chimneys with brick and mortar visually similar to existing wall masonry.
2. Rebuild roof as necessary to replace fire damaged structural members, keeping original cornice intact. Resurface with wood shingles.
3. Restore damage or missing sections of roof cornice.
4. Ventilate attic in an unobtrusive manner on the east side of the building.
5. Install new attic furnace to heat front section of second floor. Provide cement asbestos floor and fire rated sheetrock ceiling in furnace area.
6. Install floor between attic access and furnace area.
7. Install new electrical wiring for attic and second floor; providing recessed ceiling illumination for the two meeting rooms.
8. Install new insulation above second floor ceiling and around heat ducts.

SECOND FLOOR INTERIOR

1. Remove all modern additions and materials and restore plaster surfaces. Finish installation of new front room ceiling with wire lath and finish plaster coat.
2. Refinish woodwork and paint to match original paint color.
3. Strip and refinish floors in the hallway, hallway closet, small room at top of stairs and small room at front of house.
4. Replace missing doors and hardware if not accomplished at phase one.

PHASE III

Restoration of back wing half story second floor to historic appearance with documentation resulting from further investigations.

PHASE IV

All three exterior concrete porches should be removed and restored with wooden porches. Their restoration could occur at one time or independently as part of phases one, two and three.

1. West porch can be reconstructed from the surviving physical evidence.
2. Porch of the clapboard wing should be reconstructed across the full width of the wing and in the same design as the west porch. This recommendation is not based on historical evidence but for appearance because the main approach to the house today is from the farm yard.
3. Front entrance porch, unless historical evidence is found, should be a simple wood stoop with stairs flanked by box plinths of flush boardsiding.

GENERAL GUIDELINE FOR DECORATING

The concept for interior decoration is not intended as a accurate reconstruction consistent with the period of the existing first floor alteration. Interpretation of this period would not be consistent with the architectural style of the house. However, the double doors and larger middle room are features that were common to earlier residential structures and would be consistent with an earlier style of decoration. The interiors should be a general interpretation of the building's earliest decade the 1860s. Not of the 1860s newest high fashion but like the architectural style, representing a continuation of previous and established popular taste and values in fashion.

RESTORATION OF WOOD SURFACES

1. Floors recommended for refinishing should be striped of paint, bleached and or stained for a even light natural pine color, sealed and finished with a low luster oil varnish. Do not use linseed oil or polyurethane.
2. Front stair balustrade should be handled with great care to retain the natural aged coloration of the wood. Remove the single existing paint layer with alcohol or gentle furniture refinisher. Do not use any paint stripper that contains bleach or waxes. Do not sand the surfaces. Wipe down with alcohol and fine steel wool. Seal with two coats of thinned orange shellac and finish with one coat of Pratt & Lambert #38 gloss varnish. Do not use linseed oil or furniture polishes.
3. will need to be stripped to remove modern paints which are filling the molding details and have poor bonding with earlier oil finishes. It is not necessary to strip to bare wood if a consistent and smooth surface can be maintained with leaving some old paint to remain. New paint should be alkyd oil paints and the color of the first paint sequence.

DECORATIVE TREATMENTS

1. Carpets, characteristic of the period and appropriate as well as advantageous to the new function of the house, should be installed wall to wall in the larger rooms of each floor and a carpet runner on the stairs. The carpeting should be a period patterned, loop pile in colors of predominate green and red.
2. Wallpapers of documented 1850s or 60s patterns of predominate a white ground for the first floor and small light colored pattern for the second floor. The top of the wall should be trimmed with strongly colored borders. The stair hall and kitchen can be either painted or wallpapered.

GENERAL GUIDELING FOR DECORATING

DECORATIVE TREATMENTS CONTINUED

3. Window treatments are not required at all or should be minimal. All windows could contain a cloth shade with painted ornamentation. Curtains should be limited to the first floor. They should be based on period design and method of fabrication and installation.
4. Light fixtures should be directly modern using fixtures that are simple and unobtrusive in design. Because of the varied use that will occur on the first floor, there should be no center ceiling fixture. General illumination can be achieved from indirect floor lamps. Historically this period was the advent of a new technology in lighting - Kerosene.
5. The house is being planned for a variety of public activities, therefore antique furniture should be limited in number and size and from a period of 1840 to 1870.

Furniture for continued placement in the room of the first and second floor should be new reproductions of mid nineteenth century designs. Additional furniture to accommodate the larger group meetings will have to modern folding furniture.

The first floor could be furnished with two large 36" x 72" mahogany or walnut wood tables and approximately twenty wood chairs. These chairs could be painted fancy chairs commonly known as Hitchcock style.

The second floor front room could be furnished as a permanent conference room, having Windsor arm chairs. The back meeting/project work room should have a utilitarian table and same chairs as used on the first floor.



A typical example of a Hitchcock Chair (slat back, bolster top with turning on front legs)



The Colonel Gustavius A. Palmer Home PLAT OF SURVEY

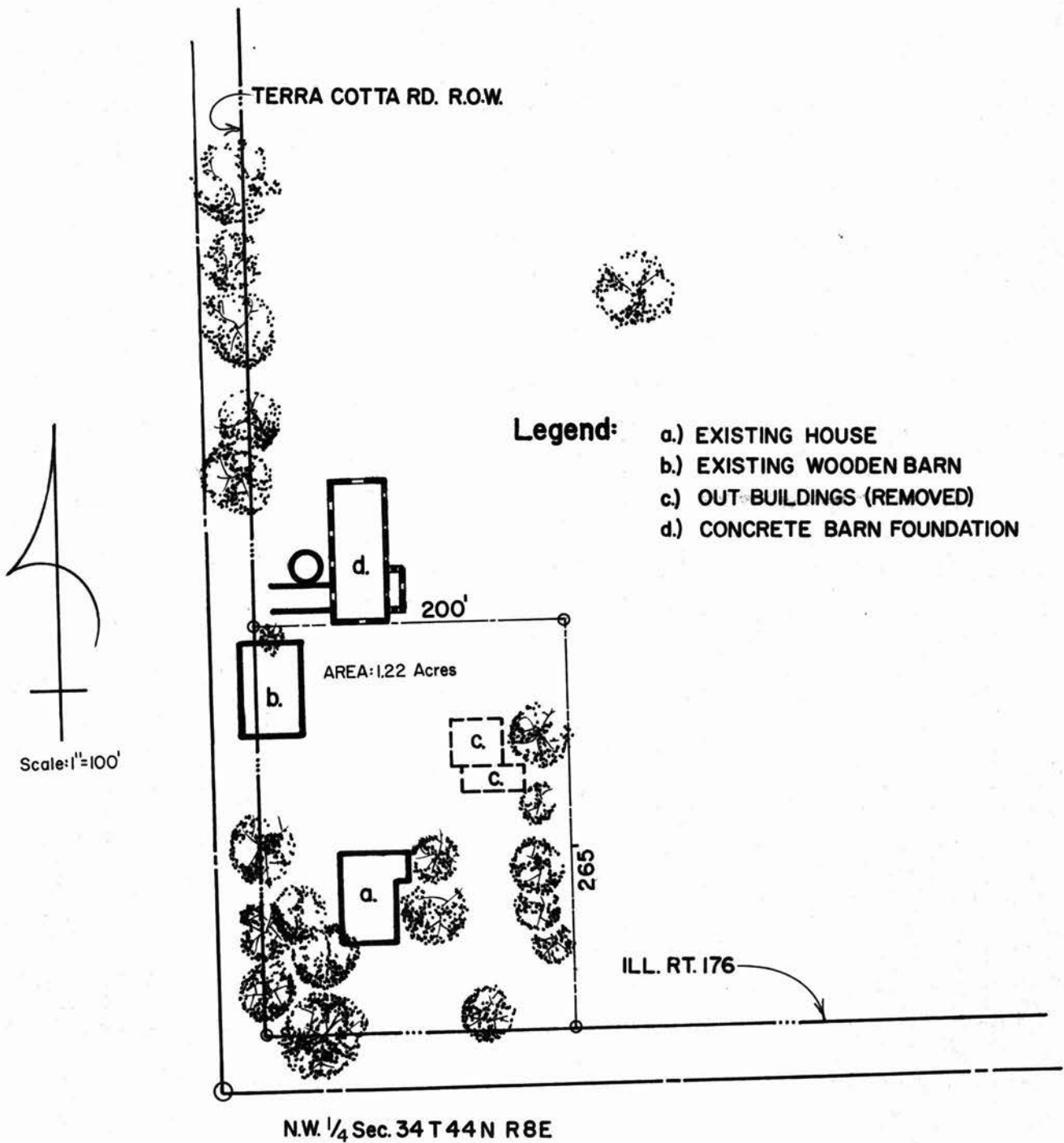


EXHIBIT B



SOUTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date of Photograph - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, IL 60014
6. South front view of the house, camera direction North.
7. Photograph No. One (1).



NORTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date of Photograph - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. North rear view of the house, camera direction Southeast.
7. Photograph No. Two (2).



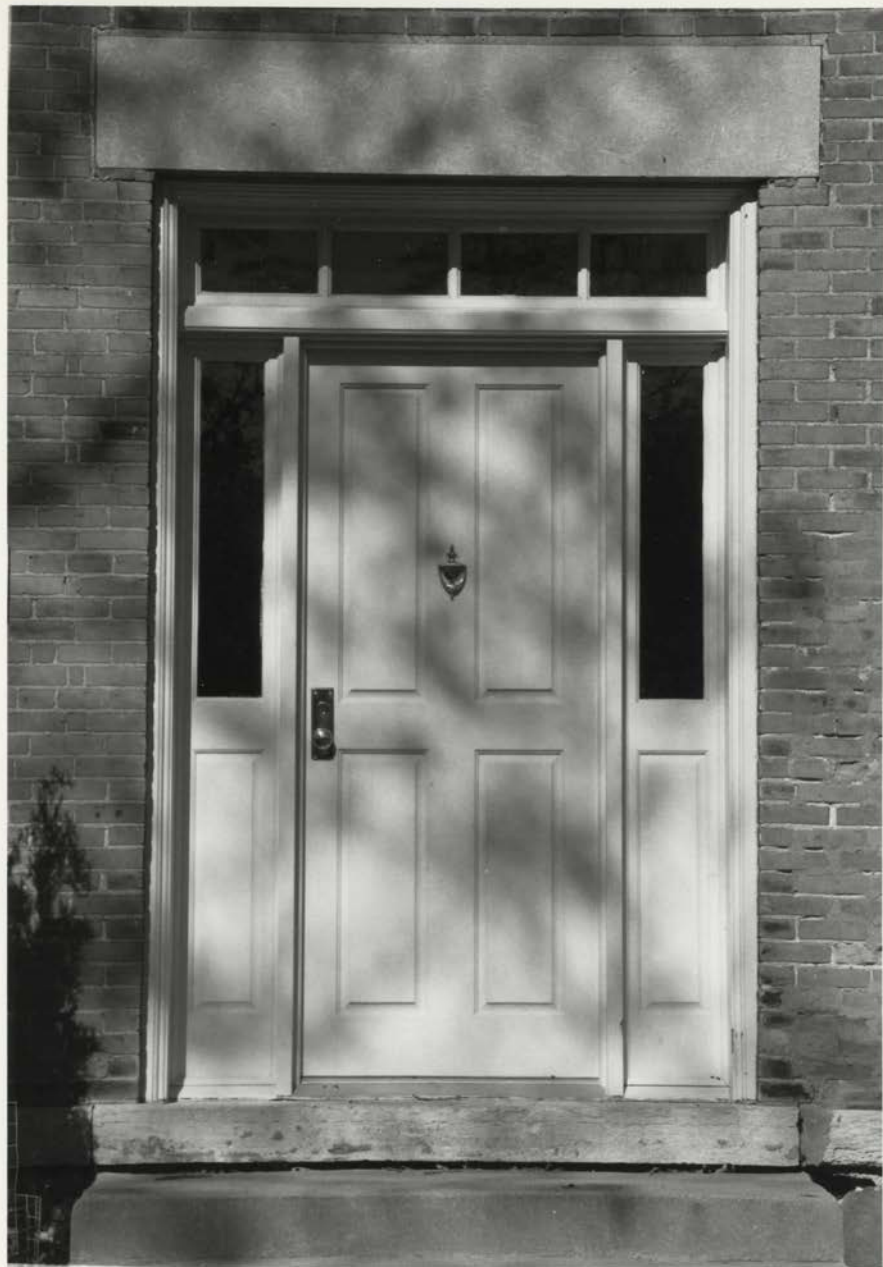
WEST ELEVATION

1. Property - Colonel Gustavius A. Palmer
House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date of Photograph - October 29, 1984
5. Negative Location - City of Crystal Lake,
City Manager's Office, 121 N. Main
Street, P.O. Box 597, Crystal Lake,
Illinois 60014
6. West side view of the house, camera
direction East
7. Photograph No. Three (3).



EAST ELEVATION

1. Property - Colonel Gustavus A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date of Photograph - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, Crystal Lake, Illinois 60014
6. East side view of the house, camera direction West.
7. Photograph No. Four (4).



SOUTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Main entrance/front door, camera direction North.
7. Photograph No. Five (5).



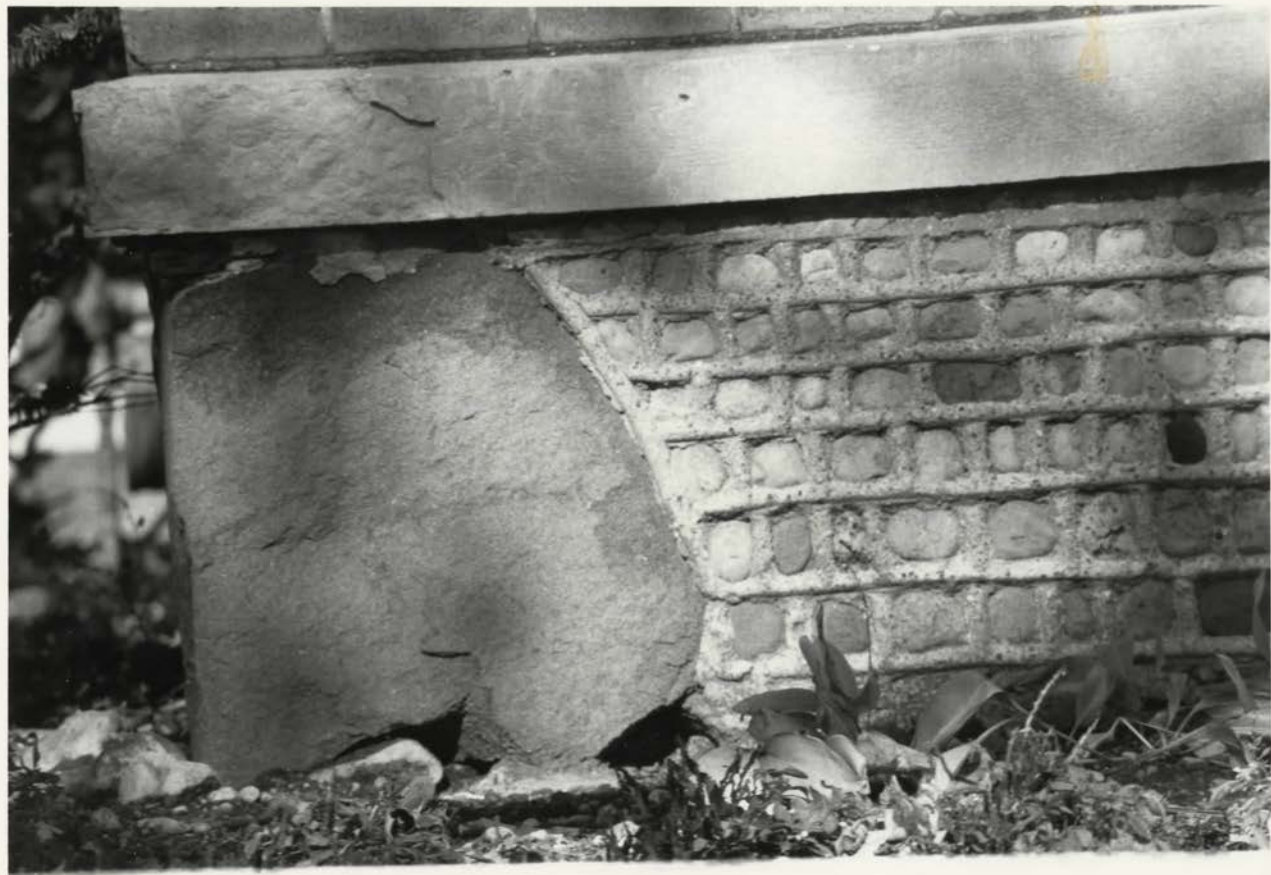
SOUTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Typical window construction, camera direction North.
7. Photograph No. Six (6).



WEST ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Typical watertable construction, camera direction East.
7. Photograph No. Seven (7).



SOUTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Corner quoin and cobblestone masonry foundation, camera direction North.
7. Photograph No. Eight (8).



EAST ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Ruble fieldstone foundation, camera direction West.
7. Photograph No. Nine (9).



Colonel
Palmer
House

ACTIVITY GAY

PM ROAST Sep. 30



SOUTHWEST ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Environmental context of property, camera direction Northeast.
7. Photograph No. Ten (10).



NORTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Rear entrance to clapboard structure, camera direction south.
7. Photograph No. Eleven (11).



NORTH ELEVATION

1. Property - Colonel Gustavius A. Palmer House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake, City Manager's Office, 121 N. Main Street, P.O. Box 597, Crystal Lake, Illinois 60014
6. Scroll bracket originally located on West porch, camera direction East.
7. Photograph No. Twelve (12).



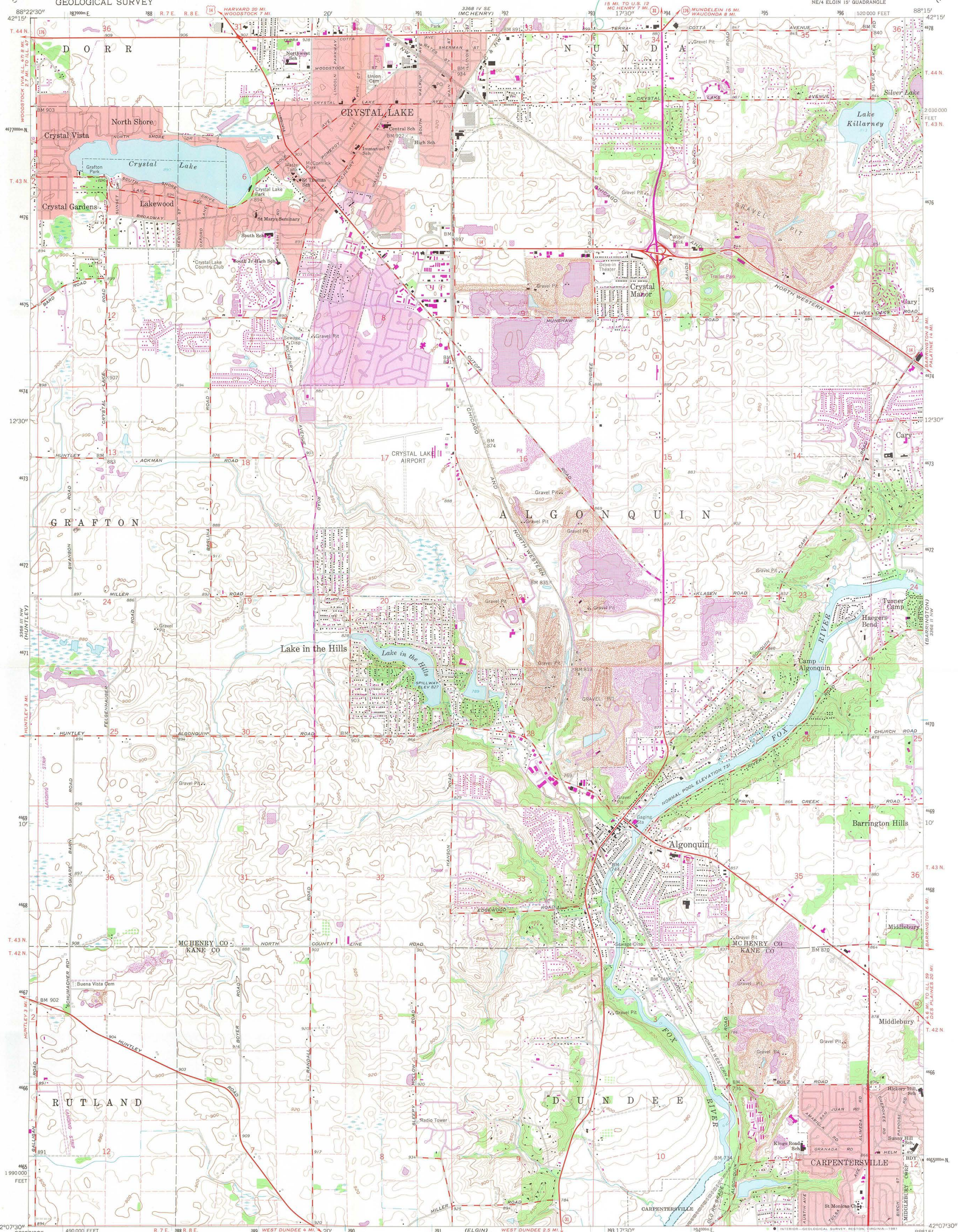
EAST ELEVATION

1. Property - Colonel Gustavius A. Palmer
House
2. Location - Crystal Lake, Illinois
3. Photographer - Bogdan Vitas, Jr.
4. Date Photographed - October 29, 1984
5. Negative Location - City of Crystal Lake,
City Manager's Office, 121 N. Main
Street, P.O. Box 597, Crystal Lake,
Illinois 60014
6. Single, front slope, covered chimney,
camera direction Northwest.
7. Photograph No. Thirteen (13).

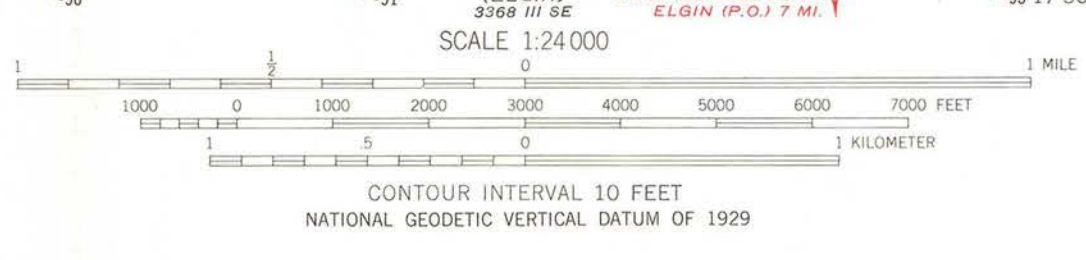
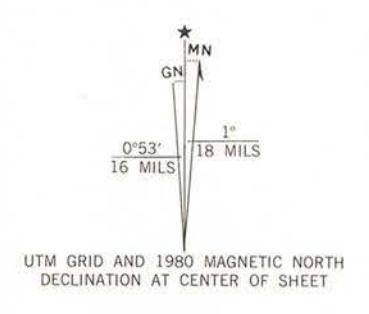
UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY

CRYSTAL LAKE QUADRANGLE
ILLINOIS
7.5 MINUTE SERIES (TOPOGRAPHIC)
NE/4 ELGIN 15' QUADRANGLE

Colonel Gustavus A. Palmer House
E 313080
N 4672000



Mapped, edited, and published by the Geological Survey
Control by USGS and USC&GS
Topography by photogrammetric methods from aerial photographs taken 1958. Field checked 1962
Polyconic projection. 1927 North American datum
10,000-foot grid based on Illinois coordinate system, east zone
1000-meter Universal Transverse Mercator grid ticks, zone 16, shown in blue
Red tint indicates areas in which only landmark buildings are shown
Fine red dashed lines indicate selected fence and field lines where generally visible on aerial photographs. This information is unchecked
To place on the predicted North American Datum 1983 move the projection lines 2 meters north and 6 meters east as shown by dashed corner ticks



ROAD CLASSIFICATION

Heavy-duty	Light-duty
Medium-duty	Unimproved dirt
U.S. Route	State Route

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U.S. GEOLOGICAL SURVEY, RESTON, VIRGINIA 22092
AND BY THE STATE GEOLOGICAL SURVEY, URBANA, ILLINOIS 61801
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

Revisions shown in purple compiled from aerial photographs taken 1972 and 1978. Map edited 1980
This information not field checked
Purple tint indicates extension of urban area

CRYSTAL LAKE, ILL.
NE/4 ELGIN 15' QUADRANGLE
N4207.5—W8815.7.5

1962
PHOTOREVISED 1972 AND 1980
DMA 3368 III NE—SERIES 9865

National Register of Historic Places

Note to the record

Additional Documentation: 2016

United States Department of the Interior
National Park Service

85001127
RECEIVED 2280
OMB No. 1024-0018

APR 22 2016

Nat. Register of Historic Places
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).

1. Name of Property

historic name Colonel Gustavus A. Palmer House

other names/site number Colonel Palmer House

Name of Multiple Property Listing _____

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

street & number 5516 Terra Cotta Road (Illinois Route 176) not for publication

city or town Crystal Lake vicinity

state Illinois county McHenry zip code 60012

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,
I hereby certify that this nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance: ___ national ___ statewide local

Applicable National Register Criteria: A ___ B C ___ D

[Signature] 4-18-16
Signature of certifying official/Title: Deputy State Historic Preservation Officer Date

Illinois Historic Preservation Agency
State or Federal agency/bureau or Tribal Government

In my opinion, the property ___ meets ___ does not meet the National Register criteria.

Signature of commenting official Date

Title State or Federal agency/bureau or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

entered in the National Register determined eligible for the National Register

determined not eligible for the National Register removed from the National Register

other (explain): Additional Documentation Approved

[Signature] 6-7-16
Signature of the Keeper Date of Action

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Colonel Gustavus A. Palmer House
Name of Property
McHenry County, IL
County and State
Name of multiple listing (if applicable)

Section number Additional Documentation

Page 2

In the original nomination, the first name of the historic homeowner is misspelled. Cemetery records indicate that the name should be Gustavus and not Gustavius.

National Register of Historic Places
Memo to File

Correspondence

The Correspondence consists of communications from (and possibly to) the nominating authority, notes from the staff of the National Register of Historic Places, and/or other material the National Register of Historic Places received associated with the property.

Correspondence may also include information from other sources, drafts of the nomination, letters of support or objection, memorandums, and ephemera which document the efforts to recognize the property.

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

Substantive Review

Palmer, Col. Gustavius A., House
McHenry County
ILLINOIS

Working No. APR 10 1985
Fed. Reg. Date: 2/4/86
Date Due: 5/19/85 - 5/25/85
Action: ACCEPT 5-24-85
 RETURN
 REJECT

- resubmission
- nomination by person or local government
- owner objection
- appeal

Federal Agency: _____

Substantive Review: sample request appeal NR decision

Reviewer's comments:

This is a poor nomination, but the house is shown to be significant under criterion C. Criteria A+B are not justified - see comments under number 8.

Recom./Criteria Revised Accept - C
Reviewer Crosby
Discipline Historic
Date 5/19/85
see continuation sheet

Nomination returned for: _____ technical corrections cited below
_____ substantive reasons discussed below

1. Name

2. Location

3. Classification

Category	Ownership	Status	Present Use
	Public Acquisition	Accessible	

4. Owner of Property

5. Location of Legal Description

6. Representation in Existing Surveys

Has this property been determined eligible? yes no

7. Description

Condition	Check one	Check one
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered
<input type="checkbox"/> good	<input type="checkbox"/> ruins	<input type="checkbox"/> altered
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed	<input type="checkbox"/> moved date _____

Describe the present and original (if known) physical appearance

- summary paragraph
- completeness
- clarity
- alterations/integrity
- dates
- boundary selection

8. Significance

Period Areas of Significance—Check and justify below → *Explor. settlement is not justified in the text*

Specific dates _____ Builder/Architect _____
Statement of Significance (in one paragraph)

summary paragraph — *does not tell why house is significant.*

completeness

clarity

applicable criteria

justification of areas checked

relating significance to the resource

context

relationship of integrity to significance

justification of exception

other

} Expl. Settlement apparently checked because of associations w/ Gustavus Palmer, but his significant achievements (as chronicled in the nomination) occurred before this house was built. Info on son is not adequate for evaluation. Therefore, neither criterion A or B has been justified by the current documentation.

9. Major Bibliographical References

10. Geographical Data

Acreage of nominated property _____

Quadrangle name _____

UTM References _____

Verbal boundary description and justification _____

11. Form Prepared By

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

___ national ___ state ___ local

State Historic Preservation Officer signature _____

title _____ date _____

13. Other

Maps

Photographs

Other *Exhibit A, referenced numerous times in the nomination, is missing. Exhibit B is also missing.*

Questions concerning this nomination may be directed to _____

Signed *[Signature]* Date *5/29/65* Phone: _____

Illinois



Department of Conservation

life and land together

LINCOLN TOWER PLAZA • 524 SOUTH SECOND STREET • SPRINGFIELD 62701-1787
CHICAGO OFFICE - ROOM 100, 160 NORTH LASALLE 60601-3184

Michael B. Witte, Director

June 17, 1985

Beth Grosvenor
National Register Services
National Register Program
Department of the Interior
Washington D.C. 20240

McHenry County

Dear Beth:

Enclosed please find exhibits A and B that you requested from Keith Sculle with regards to the Colonel Gustavus A. Palmer Home nomination form.

I hope that the delay has not caused problems with your work schedule.

Sincerely,


Kate Refine





**Illinois Historic
Preservation Agency**

One Old State Capitol Plaza • Springfield, Illinois 62701 • www.illinois-history.gov • TTY 217.524.7128

RECEIVED 2280

APR 22 2016

Nat. Register of Historic Places
National Park Service

April 18, 2016

Ms. Barbara Wyatt
National Register of Historic Places
National Park Service
1849 C Street NW Suite NC400
Washington, DC 20240

Dear Ms. Wyatt:

Enclosed for your review are three National Register Nomination Forms. They have been recommended by the Illinois Historic Sites Advisory Council and signed by the Deputy State Historic Preservation Officer. They are being submitted in a digital format on the enclosed disks, and are the true and correct copies.

Freeport City Hall - Freeport, Stephenson County
Downtown Aledo Historic District - Aledo, Mercer County
Margaret and Bird Van Leer Broadview Mansion - Normal, McLean County

Also being submitted are two additional documentation forms, and one boundary increase.

Colonel Gustavus A. Palmer House (additional doc.)
Garfield Farm and Garfield Tavern (additional doc.) (boundary increase)

Please contact me at the address above, or by telephone at 217-785-4324. You can also email me at andrew.heckenkamp@illinois.gov if you need any additional information or clarification. Thank you for your attention to this matter.

Sincerely,

Andrew Heckenkamp
National Register Coordinator

Enclosures

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: ADDITIONAL DOCUMENTATION

PROPERTY NAME: Palmer, Col. Gustavus A., House

MULTIPLE NAME:

STATE & COUNTY: ILLINOIS, McHenry

DATE RECEIVED: 4/22/16 DATE OF PENDING LIST:
DATE OF 16TH DAY: DATE OF 45TH DAY: 6/07/16
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 85001127

NOMINATOR: STATE

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 6-7-16 DATE

ABSTRACT/SUMMARY COMMENTS:

Additional Documentation Approved

RECOM./CRITERIA Accept

REVIEWER Edouard Beall

DISCIPLINE History

TELEPHONE _____

DATE 6-7-16

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.