

1007

United States Department of the Interior
National Park Service
National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determination for individual properties and districts. See instruction in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Hayden Ranch Headquarters

other names/site number 5LK.1340

2. Location

street & number West of U.S Highway 24 [N/A] not for publication

city or town Leadville [X] vicinity

state Colorado code CO county Lake code 065 zip code 80461

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this [X] nomination [] request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property [X] meets [] does not meet the National Register criteria. I recommend that this property be considered significant [] nationally [] statewide [X] locally. ([] See continuation sheet for additional comments.)
Signature of Certifying official/Title: [Signature] State Historic Preservation Officer
Date: August 19, 2003
Office of Archaeology and Historic Preservation, Colorado Historical Society
State or Federal agency and bureau

In my opinion, the property [] meets [] does not meet the National Register criteria. ([] See continuation sheet for additional comments.)
Signature of certifying official/Title
Date
State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:
[X] entered in the National Register [] See continuation sheet.
[] determined eligible for the National Register [] See continuation sheet.
[] determined not eligible for the National Register.
[] removed from the National Register
[] other, explain [] See continuation sheet.
Signature of the Keeper: [Signature]
Date of Action: 10.11.03

Hayden Ranch
Name of Property

Lake County/ Colorado
County/State

5. Classification

Ownership of Property

(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property

(Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

(Do not count previously listed resources.)

Contributing

Noncontributing

16	3	buildings
1	0	sites
0	0	structures
0	0	objects
17	3	Total

Name of related multiple property listing.

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register.

0

6. Function or Use

Historic Function

(Enter categories from instructions)

AGRICULTURE/animal facility/agricultural
outbuilding/processing/agricultural field/
storage
DOMESTIC/multiple dwelling/secondary
structure

Current Functions

(Enter categories from instructions)

AGRICULTURE/animal facility/storage

7. Description

Architectural Classification

(Enter categories from instructions)

NO STYLE
OTHER: log cabin

Materials

(Enter categories from instructions)

foundation
walls WOOD/weatherboard/log
roof ASPHALT; WOOD; METAL
other BRICK; METAL

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

**National Register of Historic Places
Continuation Sheet****United States Department of the Interior
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This high country farm and ranch, at an elevation of 9,180 feet, is located approximately ten miles south of Leadville, Colorado and eighteen miles north of Granite, Colorado on the portion of U.S. Highway 24 identified as the Top of the Rockies State and National Historic and Scenic Byway. The Hayden Ranch and the nearby Derry Mining Site Camp (5LK1341) are the only publicly owned agricultural viewsheds adjacent to the Byway. To the west, rolling green hills lead to mountainous peaks covered with pine trees. To the south and east are rocky outcroppings. The ranch is close to the Arkansas River and enjoys views of Mount Elbert, Colorado's highest peak (14,433 feet). A Union Pacific Railroad line runs parallel to U.S. Highway 24, east of the ranch property. This rail line was originally part of the Denver and Rio Grande Midland line, which had a siding at Hayden Ranch. Hayden Ranch is part of an important migratory route for several species, including elk, that summer in the mountain range to the west of the ranch.

The nominated Hayden Ranch Headquarters historic district is located on approximately 35 acres and consists of sixteen contributing buildings, which include various corrals, separating pens, and fences, and three non-contributing buildings (please refer to following site map). While specific dates of construction were not recorded, it is estimated that the buildings were constructed between 1880 and 1930. Three man-made ponds are located within the district boundaries as well as an unnamed tributary of the Arkansas River that flows under the large barn (Building 2). A private gravel road bisects the property and the ranch buildings are grouped on either side of this road (Buildings 3,4,5, and 6 are located on the west side of the road and Buildings 1,2,7,8,9,10,11,12,13,14,15, and 16 are located to the east of the road). As limited ranching activity still takes place on the property, some buildings are still in use.

In addition to the buildings, the district encompasses a large historic artifact concentration near the southern boundary. Once used as an apparent dumping ground, this area also includes the remains of several fallen milled lumber structures, most likely barns and a privy. Further study could be undertaken to determine the area's potential to yield important archaeological information.

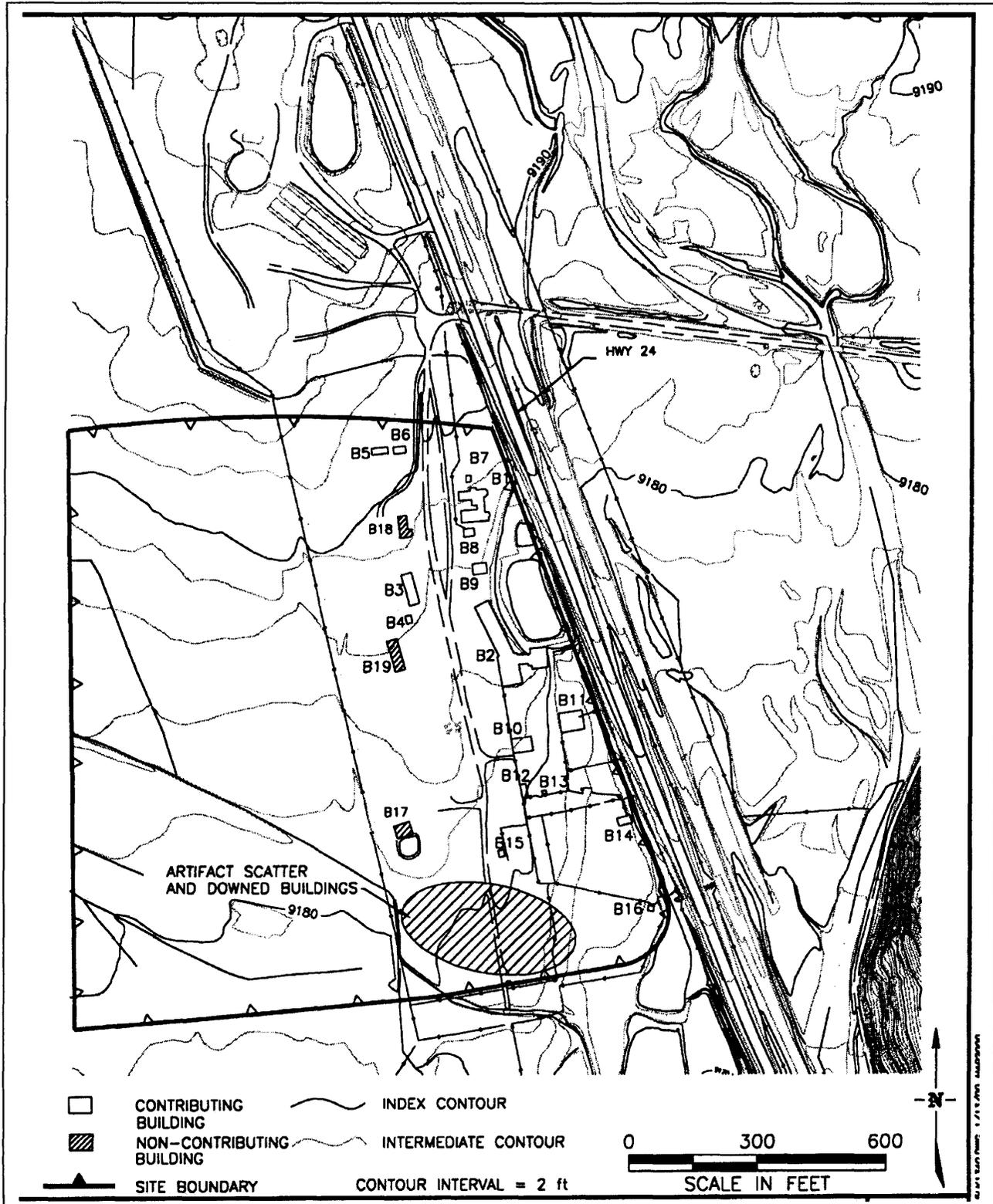
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SITE MAP



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RESOURCE COUNT- 19**Contributing Resources****Buildings – 16**

- #1 – Ranch/Bunk House
- #2 – Large Barn
- #3 – Ranch House
- #4 – Shed
- #5 – Chicken and Rabbit Coop
- #6 – Hen House/Tack Room
- #7 – Storage Shed
- #8 – Garage
- #9 – Garage/Storage
- #10 – Barn/Manger
- #11 – Horse Barn
- #12 – Shed
- #13 – Privy
- #14 – Log Cabin
- #15 – Work Shed
- #16 – Slaughterhouse

Total Contributing Resources - 16**Non-Contributing Resources****Buildings – 3**

- #17 – Industrial Building
- #18 – House
- #19 – Mobile Home

Total Non-contributing Resources - 3

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Continuation Sheet****United States Department of the Interior
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Lake County/ ColoradoSection number 7 Page 4**CONTRIBUTING BUILDINGS - 16****Building 1 – Ranch/Bunk House**

The building is a one-story, 3,444 square foot wood frame house with an irregular U-shape (please see following floor plan). It is architecturally significant as an intact example of a late nineteenth, early twentieth century, high country ranch/bunk house. The building contributes to the overall historical significance of the district.

The building is covered by a medium-pitch, cross-gable roof with gray-green asphalt shingles and galvanized metal flashing at the base. Twelve chimneys, including both brick chimneys and metal stovepipes, are located on the slopes of the roof. The majority of the house is sided with white painted, simple drop, wood cladding. The west half of the enclosed porch on the north elevation of the north wing is clad with flush, vertical boards. The east half of this porch has the typical simple drop cladding. The enclosed porch on the south elevation of the north wing is rough finished and unpainted. The west half of this porch is covered with simple drop cladding and the east half is clad with vertical lapped board. The building has no basement or foundation.

The house is divided into a north wing, south wing, east wing, and bathroom addition. The north and south wings may have originally been two separate houses. They are both rectangular in shape and roughly symmetrical. Both of these wings are oriented with their entrances facing south and once had porches spanning the length of each wing (the north wing porch has since been modified).

The east wing was most likely constructed when increased ranching activity necessitated additional living accommodations. The east wing connects the north and south wings, shifting the orientation of the main entrance to the east elevation. Both the north and the south wings have bay window additions on their east elevations. These bays are composed of three individual windows. The middle window has 16 panes arranged in a 4 over 4 pattern. The side windows are also arranged in a 4 over 4 pattern. All thirty windows in the house are single paned.

The north wing has seven additional windows: two on the south elevation facing the enclosed porch, one on the west elevation, and four on the north elevation. All are double-hung with varied pane configurations. The enclosed porch addition on the north elevation of the north wing has three windows, two of which are covered only with screening and hinged wood planks. Four doors exist in the north wing. On the south elevation, one glazed and paneled door opens into the enclosed porch area and another opens from the open-air portion of the porch into Room 5. Another glazed door exists on the north elevation of this wing, and there is a paneled door on the east elevation of the north facing porch addition. A porch located on the south (courtyard side) of the north wing has been modified to allow space for the bathroom addition to be built into the courtyard off of the north wing. The west half of the remaining porch has been enclosed to provide additional interior living space. The east half of the remaining porch is not enclosed and has an extended roof supported by 4" square wood

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posts. The overall length of the porch is 29' 4". Another porch/storage area is located in the center of the north elevation of the north wing. The enclosed area is divided into two rooms and measures 5'4" wide x 14'4" long.

In addition to the bay window, the south wing has ten other windows: seven 4 over 4, double-hung windows on the south elevation, one 4 over 4 window on the west elevation, and two on the north elevation. There are two glazed and paneled doors on the south elevation with screen doors in place. The third door is on the west elevation and is glazed and has a screen door in place. The south wing has a porch that extends along its entire south elevation. The porch is 5' wide and has milled lumber flooring. Its extended roof was originally supported by twelve 4" square, green painted wood posts. Only nine posts remain.

The east wing has two windows on the east elevation and one on the west elevation. All three are arranged in a 4 over 4 pattern. On the west elevation, there is one door opening without a door. A glazed and paneled door found lying nearby most likely fit this opening. The house's main entrance is located on the east elevation of the east wing. It has a glazed and paneled door but is missing a screen door. An 8' wide hipped roof shelters the entrance. The entranceway may have been paved with flagstone as fragments were found in the area.

Two bathrooms with indoor plumbing were added at the junction of the north and south wings. This addition has one double-hung window in a 6 over 6 pattern. A paneled door on the south elevation allows access to the bathrooms from the outside.

Other alterations include an addition (Rooms 15-18) to the north elevation of the south wing, apparent by a break in the exterior cladding and an extension of the original roof. Also, the north wall of Room 18 is constructed of rough lumber, indicating that it may have been an exterior wall.

The interior of the house is divided into twenty-three rooms: one kitchen, two bathrooms, two living rooms, six bedrooms, one study, one bedroom/study, three halls, one utility room, one pantry, one laundry area, and four storage areas. The house had electricity and phone lines, but the only plumbing in the house is in the kitchen, utility room, and bathrooms.

Interior finishes vary from room to room, including paint, wallpaper, linoleum, and wood paneling. The house has been vacant for up to thirty years and the interior has deteriorated considerably. Broken windows and missing doors have caused further deterioration.

A garage, Building 8, is located just to the south, and a small house, Building 7, is to the north. A covered well is built onto the north elevation of the south wing in the small alcove formed in the space between the bathroom addition, the east wing, and the south wing. The well is circular and stone-lined with a square wooden box frame built around it. Piping inside the well may have provided a mechanism for transporting water into the house.

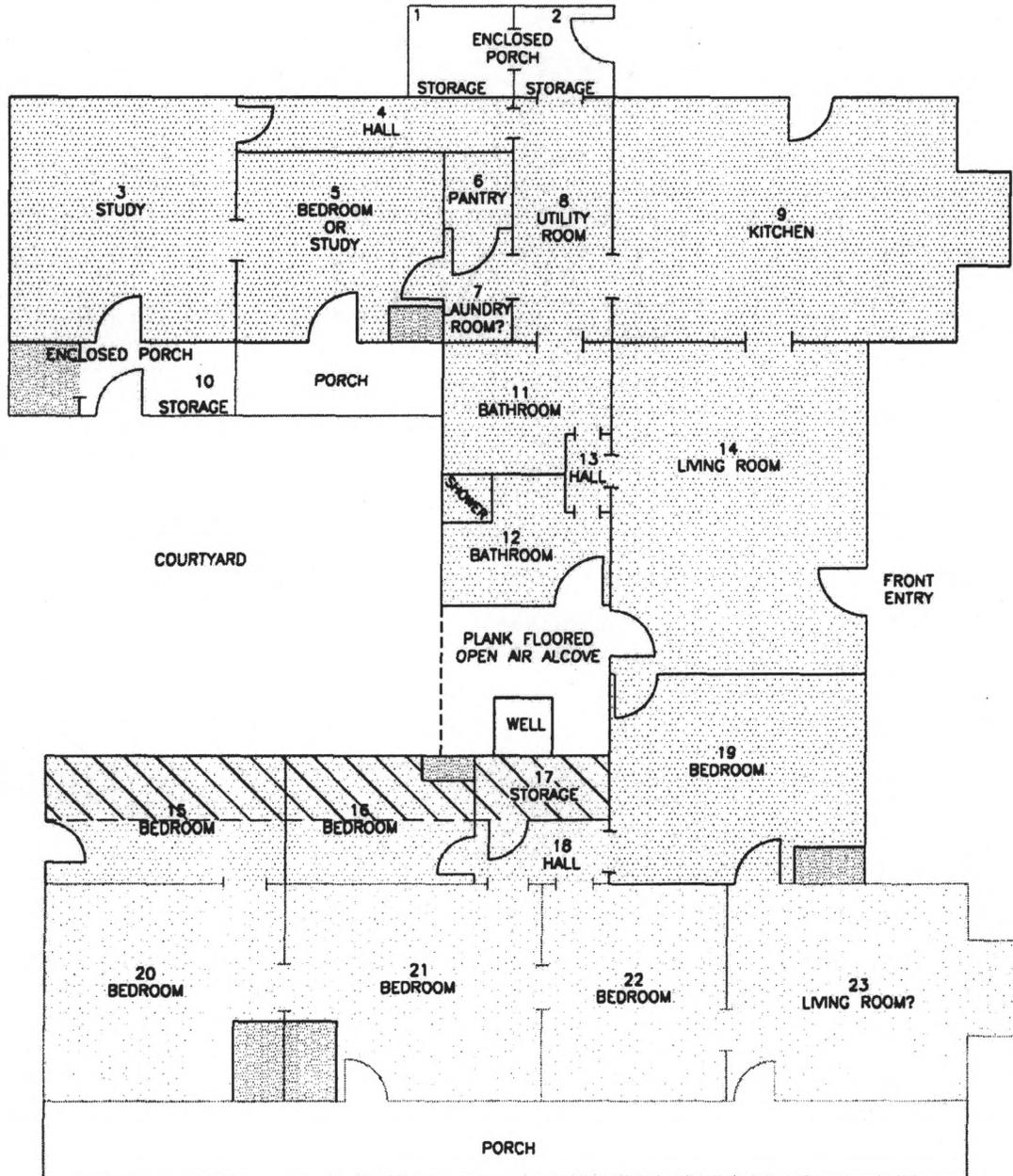
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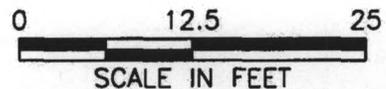
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FLOOR PLAN Building 1 - Ranch/Bunk House



KEY

- NORTH WING
- PROBABLE LATER ADDITION WITH SLOPING ROOF
- BATHROOM ADDITION
- BUILT-IN CLOSET
- EAST WING
- DOORWAY WITH DOOR
- SOUTH WING ADDITION
- DOORWAY WITHOUT DOOR
- SOUTH WING



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Lake County/ ColoradoSection number 7 Page 7**Building 2 – Large Barn**

The building is a two-story (ground floor and hayloft), wood frame, irregularly shaped barn. A stream flows under the east wing, and a large manmade pond is located to the northeast of the barn. In particular, the barn is architecturally significant due to the remnants of a water wheel and saw mill once powered by the stream flowing under the building (please see following floor plan). The east wing containing the water wheel and sawmill was constructed circa 1918, while the north and south wings were constructed earlier. The building contributes to the overall significance of the district.

The large barn (11,675 square feet) is divided into three wings based on varying construction styles. The north wing has a gambrel roof clad in milled planks and supported by a common rafter system. The south wing has a side gable roof clad in wood shingles and supported by beams of rough-cut lumber. The east wing has a side gable roof (cross gable at the intersection with the south wing) and is supported by a queen post system. It is covered with boards and wood shingles. However, additions and modifications to this wing display different roofing styles. The north and south additions to the east wing have secondary extended roofs off of the main roof, while the east addition has a shed roof.

The walls of the north wing are clad in vertical, flush, milled planks. A solid dividing wall without an interior door separates the north section into two halves. The south wing's walls consist of 1"x12" milled lumber planks placed vertically and supported by interior, horizontally set 2"x4"s. The east wing is clad in irregular widths of vertical, flush, rough-cut lumber. The east addition of the east wing has lapped board-on-board cladding with ½"x4" milled planks overlapping the gaps between the underlying planks. The barn has no foundation or basement – the entire floor is dirt. No chimneys exist.

The north half of the north wing of the barn is two-storied with a hayloft supported by 8" square beams. The south half of the north wing does not have an upper loft, but is open to the rafters. This area contains animal stalls still in use and a wood cattle-loading ramp.

The south wing of the barn meets the north wing at an angle, possibly an attempt to avoid the pond and surrounding marshy area located to the northeast. The roof is supported by twenty-four peeled, rounded logs, some set in concrete. Agricultural artifacts housed within the south wing include: bales of hay, a hay bale conveyor belt, animal pens constructed of peeled logs, metal stock gates, a livestock scale, and a tractor-drawn hay rake. There is no exterior wall on the south elevation of the south wing.

The east wing joins the northeast elevation of the south wing at nearly a right angle. A 15' interior gate separates the two wings. After a distance of 24' from the junction with the south wing, the south wall angles out to extend the width of the building by 5'. The pitch of the roof changes accordingly. To the east of the angled wall, the south wall extends an additional 8' with a secondary extended roof. Another addition was built onto the north elevation of the east wing. This 40' wide addition extends 12' from the original structure and also has a secondary extended roof. This addition has been divided into two rooms. The west room is associated

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with the sawmill and contains several sawhorses and blades. The east room of this addition is almost fully collapsed.

Another addition built onto the east elevation of the east wing was once the main processing area for the sawmill. To the east of this addition is a 15' wide area of open floor joists built over the stream. A line of rocks has been placed on the south side of the stream under these joists. South of the open joist area is a 15'x55' area sheltered by a shed-style roof. It is floored with 1"x6"-10" milled limber nailed atop 7" square wood beams. The floor is severely buckled. A rectangular excavation measuring 4 ½' wide x 11' long x 2 ½' deep is present in the center of this addition. The exact function of this excavation is unknown, although it may have served as a machinery platform. The shed roof addition to the south of the open joist area collapsed in the winter of 2002-2003.

The water wheel area is located near the center of the east wing. It is contained in a 93"x84" box on a 33" platform. A large, iron drive shaft (2 ¾" in diameter) extends 72" to the roof beams and approximately 80" to the streambed. The southeast and southwest corners of the platform are anchored on 7"x15" milled beams, while the center, northeast, and northwest corners are 6"x6" milled posts. The sides of the box are enclosed with bark slabs. Two large bent wood wheels rest on the shaft above the platform. The lower wheel is 15" wide and 24" in diameter. An iron rod, perhaps a clutch lever, located on the platform connects to a second rod/shaft that extends to the water level. Three wooden belt wheels sit on a horizontal shaft located west of the wheel. The south two wheels are 21" in diameter and 8 ½" wide, while the north wheel is 7 ½" wide. A small wheel on the shaft at the north wall has a belt that connects to another wheel located near the sawmill door. Another shaft enters the sawmill at this point. This shaft only extends through the wall to another wheel belted to the shaft at waist height. The stream channel under the wheel is lined with rocks and badly deteriorated timbers. The actual water wheel was removed at an unknown date.

Building 10, an animal manger, is located to the south and was once connected to it. Unfortunately, an effort to stabilize the connecting portion of the barn failed and this portion of the barn collapsed (pre-2000).

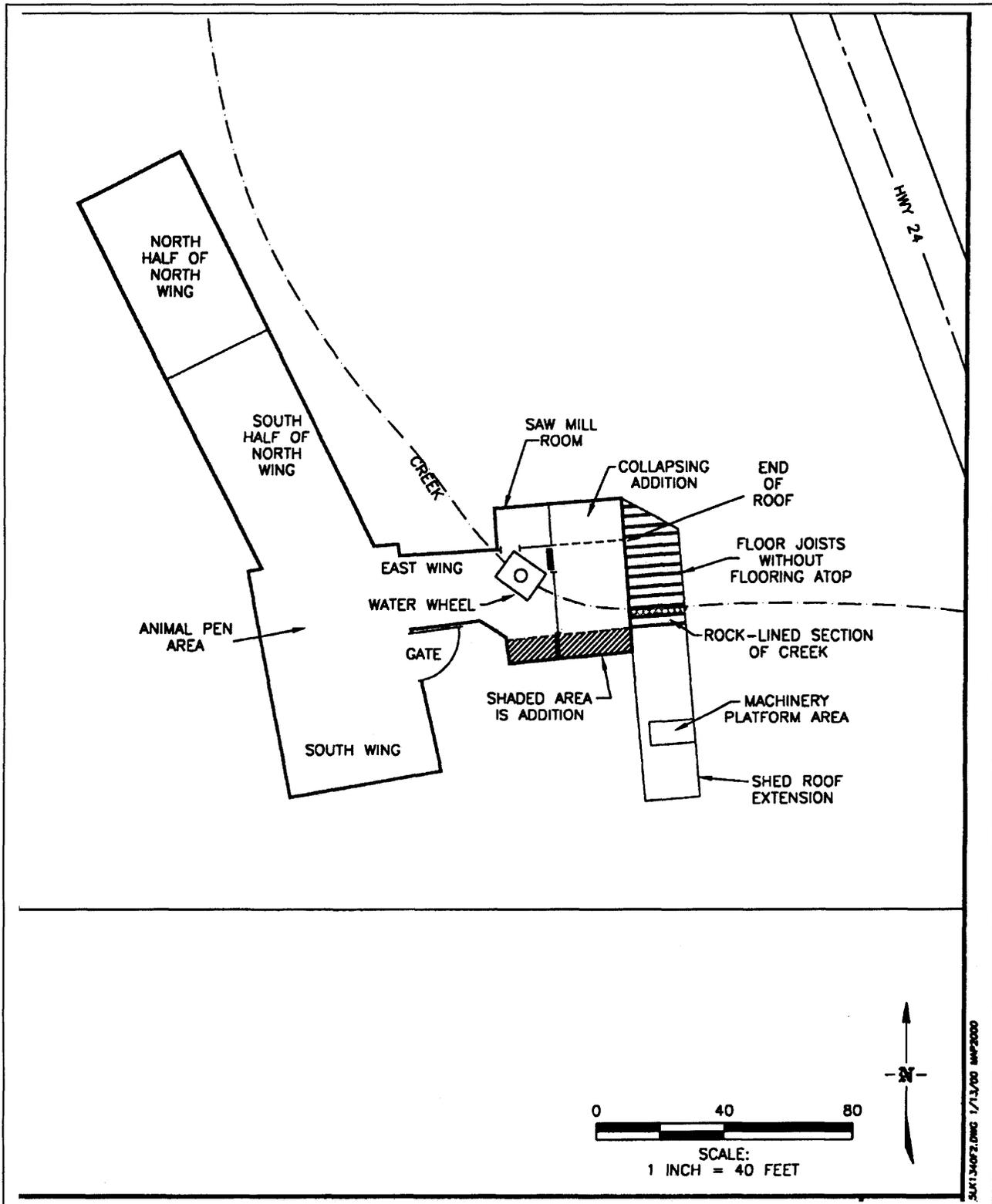
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FLOOR PLAN Building 2 – Large Barn



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Lake County/ ColoradoSection number 7 Page 10**Building 3 – Ranch House**

Building 3 is a one-story, rectangular, wood frame, 1,304 square foot ranch house with a bathroom addition on the west elevation (please see following floor plan). Although no construction date was recorded, it is estimated that the six room house was built in three stages between 1918 and 1925. The side gable roof has a medium pitch with little eave overhang. The central portion of the roof extends higher than the roofs of the north or south portions. It is covered with plain-coursed asphalt shingles. Two metal stovepipes exist on the east roof slope of the central portion of the house, and one stovepipe exists on the west roof slope of the south portion of the house. The north portion of the house is clad with vertical boards ranging in width from 6" - 12". The central portion of the house has simple drop cladding, and the south portion (original portion) has lapped, board-on-board vertical cladding. All exterior wall treatments are painted white. All porch support posts, doors, and window trim are painted green. The house has no basement or foundation. The building contributes to the overall historical significance of the district.

There are eleven single pane windows in the house. The east elevation has two 4 over 4 windows, two 6 over 6 windows, and two 6 over 3 windows. A boarded over window opening exists on the north elevation. The south elevation has one 4 over 4 window and the west elevation has one 3 over 3 window. The bathroom addition has two windows, one each on the north and south elevations.

Five doors enter the house. The west elevation door is boarded over and cannot be used. The east elevation has three doors, one each providing access to the north, central, and south portions of the house. The north door is wood plank, the central door is wood plank with four inset panes of glass and a screen door, and the south door also has a screen door. Sheltered by a small, shed roof porch, the south elevation's wood plank door has a single, inset glass pane.

A porch runs the entire length of the east (main) elevation. It extends off the roof of the north and central portions of the house, but is dropped below the roof of the south portion of the house. Based on this junction with the roof, it is probable that the porch was added after all three stages of the house were constructed. Nine 4" square wood posts support the porch. Most of these posts are further supported by smaller 2"x4" braces attached to the porch roof and the main supports by a king post support system. The porch is 66" wide and is floored with milled lumber. A walkway of three 2"x8" milled boards extends from the front gate to the front of the house at the middle doorway. The south end of the porch has been enclosed by a simple 1/4" plywood door attached to the building by metal and leather hinges.

The interior of the house is floored with linoleum in the kitchen and bathrooms and carpet over plywood in the remainder of the house. Wall treatment varies from room to room and includes wood paneling, linoleum, and painted fiberboard squares. An electric heating stove remains in Room 2. Piping through a hole in the wall transferred heat from this stove to Room 1.

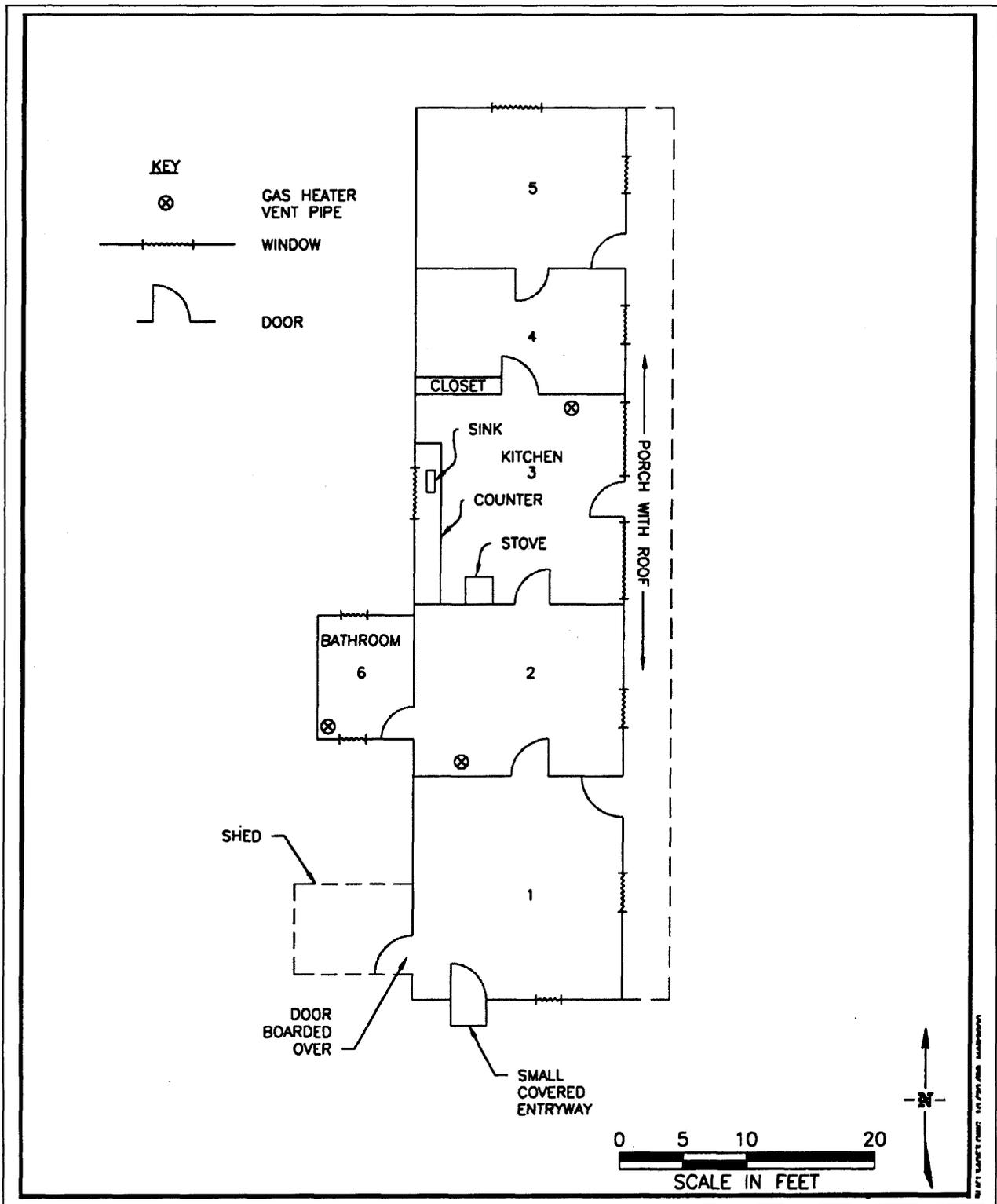
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FLOOR PLAN Building 3 – Ranch House



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Lake County/ ColoradoSection number 7 Page 12**Building 4 - Shed**

The building is a one-story, rectangular, wood frame, 205 square foot shed. The shed's steeply pitched gable roof is covered with asphalt shingles. One metal stovepipe extends from the west slope of the roof. The walls are clad with vertical, lapped board-on-board siding. All boards are unpainted, rough finished, and fastened with round nails. The shed has no foundation or basement. The building contributes to the overall historical significance of the district.

The shed has two windows – one on the east elevation and one on the north elevation. Both are single pane, 4 over 4 and measure 59 ½" x 31 ¼". There is one, single plank door with no lock on the south elevation. A 59" wide porch extends from the south elevation and is supported by three railroad ties. The porch's floorboards run perpendicular to the building.

The shed was at one time electrically wired and heated with a stove. The interior floor is covered with linoleum and the walls are papered. This indicates that the shed had been used for living quarters.

A snow fence extends from the northeast corner of the shed to a nearby electrical pole. Building 4 is located to the south. To the east of the shed is a circular depression (26" diameter) infilled with large round cobbles. Extending 41" from the south elevation of Feature 4 is an area outlined in flagstone. This area extends along the south elevation to the "porch" area.

Building 5 – Chicken and Rabbit Coop

This one story, rectangular, wood frame chicken coop measures 475 square feet. Its side-gable, medium pitch roof is covered with asphalt shingles with a metal edging. The walls are clad with vertical, lapped board-on-board siding. There is no basement or foundation and no chimney. This building contributes to the overall historical significance of the district.

The coop has two single pane, three over three windows on the south elevation. As the glass is missing from these windows, they are covered with chicken wire, wood planks, and/or a snow fence. The south elevation has two doors. Each doorway has an attached doorframe on the west side of the opening, but the actual doors are missing.

The interior of the coop has a closet extending the length of the west elevation with a built-in feed storage bin. Two rabbit hutches exist inside as well as a chicken nesting area.

The building is enclosed by a fence that extends 16' 7" south of the building, forming a pen. The pen is divided by another fence that runs south from the building about 90" from the east wall. There is a large rabbit cage (68"x65") on the east side of the divided pen.

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The hen house/tack room is a one-story, rectangular, wood frame building measuring 401 square feet. It has an exterior chicken coop extending 68" along the east elevation. This building contributes to the overall historical significance of the district.

The side-gable roof is covered with asphalt shingles with a metal edging. The walls are clad with vertical, flush placement boards. There is no basement or foundation and one metal stovepipe on the roof's south slope.

The hen house has four windows: two single-pane, 3 over 3 on the east portion of the south elevation and two windows on the east elevation (one is a circular window at the peak of the gable, and the other measures 28"x34 1/4" and has a mesh screen). The west elevation has a 38 1/4"x96 1/4" opening close to the ground. This opening is covered with chicken wire and wooden "bars" and was once covered by plastic sheeting. One door exists on the south elevation.

The interior is divided by a hall. The western room was originally used as a tack room and has a series of large nails in the walls. The east room was added later to house chickens. It is divided into north and south halves, each with a door to exterior chicken coops.

Building 7 – Storage Shed

The building is a one-story, wood frame, rectangular, 145 square foot shed located just north of Building 1. It is located within Building 1's fencing and has an electrical hook-up to the ranch/bunk house. There is a circular depression on the north side near the entrance, perhaps once part of a garden. The shed contributes to the overall historical significance of the district.

The building has a shed roof clad in wood planks covered by corrugated roofing tin. Evidence of asphalt shingles is found beneath the tin. The shed's walls are covered with both horizontal and vertical wood planks. There is no foundation or basement, and there is no visible chimney. However, there is a stovepipe opening cut into the ceiling. Of the three windows, one each on the north, east, and west elevations, two are single pane, 2 over 2, while a hinged plank shutter covers the west elevation window opening. There is one, single plank door in the east elevation. This shed was built in two phases, as indicated by differing construction techniques. The north half of the interior floor is dirt and the south half is covered with 4" milled lumber.

Building 8 – Garage

This garage is a one-story, wood frame, rectangular building with 392 square feet. It is located directly south of Building 1 and contributes to the overall historical significance of the district.

The medium-pitched, front gable roof is clad with asphalt shingles. Exposed rafters peek out from the eaves. The walls are clad with flush, white painted, vertical wood planks. There is no

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foundation or basement and no chimney. Two windows on the east elevation are single-pane, 2 over 2. The garage has a double-door opening on the west elevation. The doors swing out and are attached to the wall with two hinges each. An additional door on the north elevation is sheltered by a small gable roof.

Building 9 – Garage/Storage

Building 9 is a one-story, wood frame, rectangular building measuring 832 square feet and is located between Buildings 8 and 2. It contributes to the overall historical significance of the district.

The garage has a front gable roof covered by asphalt shingles with one metal stovepipe. The walls are clad with white painted, 1"x5" lapped board-on-board siding. There is no foundation or basement, but the dirt floor is covered with 2" thick boards. On the north elevation, there is one single pane, 4 over 4 window measuring 34"x63". Two additional 4 over 4 windows exist on the south elevation. Large double doors on the main elevation opens out on hinges and is closed with a metal latch.

Unlike Building 8, Building 9 does not have exposed rafters. Rather, it has a finished ceiling and an attic accessed by ladder. The interior of the attic is finished with plank floors and stained plank wall paneling.

Building 10 - Barn/Manger

Building 10 is a two-story (second story hayloft), rectangular, wood frame structure measuring 1,551 square feet. It contributes to the overall historical significance of the district.

The side gable roof is clad with wood shingles and supported by a queen post system. The walls are clad with unfinished, non-uniform wood planks. There is no basement or foundation, but rough-hewn planks cover the dirt floor. No chimney exists.

The south elevation has one window on the hayloft level. One set of swinging, wood, hinged double doors exists on the east elevation. Another set of double doors swings out on the west elevation. These doors are not evenly split. A third double door on the east elevation is evenly split.

Building 10 was once part of the large barn complex (Building 2). An attempt made to stabilize the connecting portion failed. The newly exposed wall was planked over sometime after the collapse, but the gable end remains open. The building is still used as a horse and livestock feeding and grooming area, and there are eleven interior animal stalls.

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Building 11 – Horse Barn

Building 11 is a two-story, rectangular, wood frame horse barn with a combined total of 5,152 square feet. There is a fenced corral off the barn's south and east elevation. The horse barn is located south of Building 2 and has an estimated construction date of 1920. It contributes to the overall historical significance of the district and is also architecturally significant as an excellent example of a vernacular horse barn.

The front gable roof of the barn is clad with wood shingles and corrugated metal sheeting. Vertical board-on-board planks cover the walls. The barn has no foundation/basement or chimney. A second-story overhang on the west (main) elevation extends 84".

One window exists on the west elevation - a second-story, multi-paned window with no glass. The south elevation has two second-story windows (30"x24") and three first story windows (49"x30", 4 over 4 with protruding metal bars). The east elevation has one second-story window identical to the windows on the second story of the south elevation. Two first-story windows on the east elevation are identical to the first-story, south elevation windows. Two openings on the north elevation were cut from the wall. The removed wall material serves as shutters and is attached to the opening with hinges.

The west elevation has a sliding door on rollers under the overhang area. The door measures 82"x76". A metal gate separates the first-story open space created by the overhang from the yard. On the south elevation, an 80"x36" door opens out on metal hinges. The east elevation has a 78"x52" outward-opening door on the main section and another door on the shed roof addition measuring 77"x49".

The interior of the first floor is divided into stalls and tack/feed rooms. The floor is wood plank. Stairs provide access to the second story hayloft. A shed roof addition on the north elevation, constructed at an unknown date, has the same finishes as the original structure. The barn is still in use in its original capacity.

Building 12 – Shed

Building 12, located directly adjacent to the corral, is a one-story, rectangular, wood frame building measuring 378 square feet. The shed contributes to the overall historical significance of the district.

The side gable roof is clad with both horizontal and vertical planks. There is one metal stovepipe on the east slope of the roof. Walls are clad in vertical, lapped board-on-board siding. Under the window on the east elevation there is horizontal flush siding. No foundation or basement exists.

One window on the east elevation is arranged in a 2 over 2 pattern and measures 35"x33". A window on the south elevation measures 76"x33". A third window measures 17"x24" and has a mesh screen. A door on the east elevation swings out and is attached by metal hinges and

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fastened by a chain. Another east elevation door measures 74"x32" and is constructed of vertically aligned, flush planks. This door swings inward on interior hinges. A single plank door (74"x30") on the west elevation also opens on interior hinges.

The shed was built in two stages. An internal wall divides the north and south portions of the building and there is no interior access between the two sides. Once used for storage, it is currently vacant.

Building 13 – Privy

Building 13 is a one-story, rectangular, wood frame, four-seat privy measuring 51 square feet. It is located south of Building 10 and east of Building 12. The building contributes to the overall historical significance of the district.

The steeply pitched, side gable roof is clad with boards. Walls are unpainted, vertical, lapped board-on-board siding. Interior walls are finished with milled lumber. There is no foundation, but the privy is built atop two stacked 2"x4"s. Flooring is 1"x8" lumber nailed onto the 2"x4"s.

As the building is a privy, there are no windows. One 29"x75 1/2" door on the north elevation has an unusual "security system" – a length of wire is fastened to the door by nail. The door can be fastened on the inside by wrapping the wire around another nail on the inside of the doorframe.

Building 14 – Log Cabin

This one-story, rectangular, log frame building measures 252 square feet. A three-sided, 202 square foot shelter addition is located only 2' west of a stagnant stream, causing the ground on which the addition is built to be very unstable. West of the cabin is a 30' wooden cattle chute. To the south is a 34'X12' pen made of round logs. The cabin contributes to the overall historical significance of the district.

The medium pitch gabled roof is clad with boards. There is no chimney. On the original structure, the walls are peeled, interlocking, square notched logs. In some areas, the walls are chinked with bits of wood. In other areas, rough-hewn lumber has been nailed to the logs to seal any cracks. Some gaps on the west and north elevations have been chinked with cement. The gable ends are clad with lapped board-on-board siding. Walls on the addition are clad with unpainted, vertical, rough hewn, overlapping board-on-board siding. A built-in trough runs the entire length of the addition's east wall. The cabin has a dirt floor throughout.

Building 15 – Work Shed

This one story, rectangular, wood frame shed measures 192 square feet. It is located southwest of Building 12 and within a few feet of a collapsed corral to the west of the standing corral currently in use. The shed contributes to the overall historical significance of the district.

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The shed has an arched roof with 1"x12" planks spanning the width. Although no stovepipe is evident, there is a round opening in the northwest corner of the roof. The walls are clad with horizontal tongue and groove planks. Vertical runners spaced 11" apart appear to have held up tarpaper. The floor is raised off the ground by various sized beams and lumber, resulting in a final resting position ranging between 12" and 18" above the ground.

A 32"x23" window opening in the west elevation is covered with a screen. The east elevation has two windows – one measuring 31"x22 ½" and the other 19"x13". The smaller window is covered by a metal sheet and the larger is screened over. An asymmetrically positioned door measures 71"x41". An unattached screen door is located within the shed. The structure is currently vacant. It was raised up sometime in the 1950s or 1960s for an unknown reason.

Building 16 – Slaughterhouse

Building 16 is a one-story, square, wood frame building measuring 145 square feet. A stream flows to the east of the building, and a corral and holding pen are located to the north. The slaughterhouse contributes to the overall historical significance of the district. Its original function was vital to the operation of the ranch.

The roof of the slaughterhouse is a low pitch gable with two layers of horizontal, flush planks. The walls are clad with vertical, flush, 1"x8" planks. The walls are not weatherproofed in any way. There is one chimney and no foundation, however, a non-uniform wood floor exists in the interior. The building has no windows, but it has two exterior doors. A door on the south elevation measures 80"x38". The north elevation door opens to the animal pen attached to the north side of the structure.

NON-CONTRIBUTING BUILDINGS – 3**Building 17 – Industrial Building**

Building 17 is a one-and-one half story, rectangular, wood frame building. It is located adjacent to a man-made pond west of Building 15. The building has a gable roof with exposed rafter tails. The roof is clad with asphalt sheeting. Building 17 has a poured concrete foundation. Walls are clad with rough-hewn, horizontal planks. There are no window openings. The south elevation faces the pond and has an opening covered with corrugated plastic sheeting. The east and west elevations have similar openings. The entrance is located in a shed roof addition on the north elevation. Estimated date of construction is the 1970s or '80s.

Building 18 – House

Building 18 is a one-story, wood frame, L-shaped house. It is located north of Building 3 and west of Building 1. It has a front-gable roof that intersects with the end-gable ell. The roof is clad with green asphalt shingles. A brick chimney extends from the west slope of the roof.

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Walls are clad with white painted board and batten siding with horizontal siding near the base. There is no foundation. The entrance on the east, or main elevation, is sheltered by a shed roof porch supported by a wooden post. Also on the east elevation are four double-hung windows with screens brown and painted decorative shutters. The north elevation has a brown painted wood door with fixed glass panes. A vent exists under the gable. The west elevation has three double-hung windows with screens. A door opening, perhaps once with sliding patio doors, appears to have been modified. A small satellite dish is attached to the wall. The south elevation has three double-hung windows with screens. A vent exists under the gable. Estimated date of construction is the 1960s.

Building 19 – Mobile Home

Building 19 is a one-story, metal, rectangular mobile home located west of Building 2. A wood frame gable roof clad with asphalt sheeting has been added to the mobile home. There is no foundation – the mobile home rests on blocks. The main entrance is located on the west elevation and is accessed by two wood steps with wood handrails. The wood door is painted red. There are four window openings on the west elevation. One of these openings was created by infilling an original door opening. The south elevation has one window opening and a trailer hitch. There are no openings in the north elevation. The east elevation has four window openings. The mobile home is currently occupied.

Hayden Ranch
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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey
- # _____
- recorded by Historic American Engineering Record
- # _____

Areas of Significance

(Enter categories from instructions)

AGRICULTURE
ARCHITECTURE

Periods of Significance

1872-1947

Significant Dates

1893

1918

1939

Significant Person(s)

(Complete if Criterion B is marked above).

N/A

Cultural Affiliation

N/A

Architect/Builder

HAYDEN, FRANCIS (builder)

WEIR, JOHN (builder)

Primary location of additional data:

- State Historic Preservation Office
- Other State Agency
- Federal Agency
- Local Government
- University
- Other

Name of repository:

Colorado Historical Society

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Lake County/ ColoradoSection number 8 Page 19**SIGNIFICANCE**

Hayden Ranch is located ten miles south of Leadville, Colorado along the former Twin Lakes Toll Road, now a portion of U.S. Highway 24. This property is eligible for inclusion in the National Register under Criterion A in the area of Agriculture and Criterion C in the area of Architecture. Hayden Ranch is an intact example of an early high country agricultural operation. The property exhibits a high degree of integrity in terms of location, design, setting, materials, workmanship, feeling, and association.

Hayden Ranch was one of the earliest high country farms established in the northeastern portion of Territorial Lake County, Colorado. As such, it contributed to the growth and development of the area. Located in the Upper Arkansas River Valley at the base of Mount Elbert, Colorado's highest peak, the rich soil of the valley's alluvial flats was ideal for crops with a short growing season, such as hay and grains. Hayden Ranch produced hay necessary to support the area's livestock, horses, and mules. At its peak, Hayden Ranch supplied feed to over 2,000 head of working stock. The cattle raised on the ranch were an important source of food for the region as well. Products from Hayden Ranch supported the mining industry that shaped the region's history and character. In addition, the early owners of Hayden Ranch made significant contributions to the history of Leadville and Lake County.

Hayden Ranch reputedly served as a stagecoach stop along the former Twin Lakes Toll Road, a historically significant transportation route. Later, the ranch had a Denver and Rio Grande railroad siding. A school operated at the ranch from 1888 until at least 1936. A water-powered sawmill was constructed in the large barn in 1918. The mill provided the lumber for all of the subsequent structures built on the ranch, as well as houses and commercial buildings in the area. In 1939, a horse-breeding program was established at the ranch in conjunction with the United States Army Remount Service.

The sixteen contributing buildings and the contributing site composing the Hayden Ranch Headquarters property, accurately reflect historic types and methods of construction, as well as the functions associated with a high country farming and ranching operation, during the period of significance, beginning with Hayden ownership in 1872 through the sale by the Callahan Construction Company in 1947. These log and wood frame buildings include various living quarters, barns, sheds, garages, slaughterhouse, chicken coop/rabbit hutch, tack house, manger, log cabin, corrals, privy, and separating pens. The construction dates of the individual buildings span the period of significance. Most alterations occurred during the period of significance and reflect the changing and expanding functions of the ranch/farm operations.

The ranch's architectural significance is reflected in the specialized function of each building. Although some of the buildings may lack individual architectural distinction, several of them are especially important as outstanding representative examples of their type. One of the most architecturally significant buildings is a large barn (Building 2) built over an unnamed tributary of the Arkansas River. This small creek provided the power to operate a 1918 sawmill and a stationary hay baler once located inside the barn. Portions of the water wheel and belts still remain. The Colorado Historical Society's *Colorado Mountains Historic Context* states,

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“because of the small number of early lumbering complexes presently recorded and likely to be adequately recorded and identified through documentary research, each complex should be considered significant” (Mehls, 1984, p. 77). Building 1 (Ranch/Bunk House) and Building 11 (Horse Barn) also are architecturally important as intact examples of their type.

Chronology of Ownership

The ranch was first cited as early as 1859 and was known as Elkhorn Ranch under the ownership of Benson and Company. A search of Book A (1861) of Lake County Grantor/Grantee records does not indicate when ownership of the ranch was transferred to a John Foster. However, a May 9, 1864 transaction shows a transfer of ownership from John Foster to Reverend John L. Dyer. In 1868, John Dyer sold a 1/2 undivided interest in the ranch property to his son, Elias F. Dyer. A year later, the younger Dyer sold his interest to Willard B. Felton, who in turn sold it back to Elias Dyer four months later. In March 1871, Dyer sold the property to Charles Mater. Mater sold the ranch, then commonly referred to as the Dyer and Harrington Hay Ranch (the Harringtons were a prominent ranching family in the region), to Olive A. Hayden in November 1872. Francis Edward Hayden received a Cash Entry Patent for additional acreage in 1878. The ranch, known from that point on as the Hayden Ranch, eventually encompassed 3,500 acres and remained in the Hayden family until it was sold to W.E. Callahan in 1933. The Callahan Construction Company owned and managed the ranch until 1947. The ranch subsequently changed hands several times before the City of Aurora purchased it in 1998. Limited ranching activity still takes place on the property.

Historical Background of Hayden Ranch

The placer gold rush in the California Gulch began in 1860, a year before the Colorado Territory was officially established. Miners streamed into the region and set up temporary camps. Reverend John Dyer toured the area on foot and horseback, preaching anywhere he was given the opportunity. In early 1864, Dyer accepted the position of mail carrier to supplement the limited amount of money he collected as a result of his mission. Previously, most of the miners left the California Gulch during the harsh winters. However, by the winter of 1863-1864, enough miners remained in the region to warrant mail service. Reverend Dyer was offered eighteen dollars per week to deliver the mail from Buckskin Joe to Cash Creek, a distance of eighteen miles. Father Dyer performed this task on “snow shoes” (actually Norwegian style skis). His adventures in these early years formed the basis of his book, *The Snowshoe Itinerant* (1890). Dyer’s record of the conditions of early mining camps provides invaluable insight into the history of early Lake County. In addition to his religious duties, Dyer also engaged in prospecting and ranching on the land, from 1864 until 1868.

Dyer’s son, Elias, was associated with the property from 1868 until 1871. Elias Dyer, a probate judge, was assassinated during the Lake County War. This “war” began in the California Gulch when tensions flared between two factions of Lake County ranchers. One group, the Committee of Safety, was established in response to the alleged illegal activities of an organization dubbed “The Regulators.” This group had been organized to obtain personal gains for its members through coercion, bribery, and force.

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The Committee of Safety soon evolved into a vigilante group, which employed coercive tactics of their own to flush out suspected "traitors." Judge Dyer was among this group of suspects and members of the Committee of Safety pressured him to resign his judgeship. Refusing, he traveled to Denver to elicit the support of territorial officials. Although residents of Lake County were living under a reign of terror, officials were reluctant to take sides in the dispute and encouraged Dyer to remain in office. In an attempt to put an end to the conflict, Judge Dyer made the risky decision to issue warrants for the arrest of those vigilantes who acted outside the boundaries of the law. When the hearing took place on July 3, 1875, no witnesses were willing to jeopardize their well-being by testifying against the members of the Committee of Safety. After Judge Dyer was forced to dismiss the charges against the accused, the crowd left the courthouse and the judge returned to his office. He was followed there by five men and shot to death. Although several people witnessed the murderers enter the judge's office, no one would testify at the inquest. Consequently, no one was ever indicted for the murder of Judge Elias Dyer.

Charles Mater, a German immigrant, was an early California Gulch settler who opened a general store in Granite in 1870. His mercantile empire eventually encompassed six separate stores in the region. He was an avid proponent of the construction of the Poncha Pass wagon road and a founding member of the Leadville Chamber of Commerce. Mater also had extensive mining interests, was a major stockholder in the First National Bank of Leadville, and served as a Lake County Commissioner. After Elias Dyer's death, Mater owned the ranch for a year before selling it to Olive A. Hayden in 1872.

Beginning in 1872, members of the Hayden family oversaw the intensive development of the ranch. Initially, the Hayden family primarily used the ranch for the production of hay. The ranch was granted five water rights from the Arkansas River, totaling 50 cubic feet per second. The first appropriation dates - 1877, 1878, 1879, 1880 - are fairly early for Lake County. The final water right was appropriated in 1897. Hay production proved to be very lucrative for the Haydens. In the early years, they were able to produce 3,000 tons of hay on 2,000 acres. However, after the Panic of 1893, the price of hay fell dramatically. Many of Leadville's mines closed as a result of the economic crisis and the demand for hay diminished significantly. To further exacerbate the situation, the hay meadows were no longer producing the same amount or quality of hay. It was later discovered that this decrease in productivity was caused by tailings from the mines in California Gulch. These tailings contaminated Arkansas River water - water that flowed into the ditches that irrigated the Hayden's hay meadows.

By 1918, management of the struggling ranch was turned over to John Weir, Francis Hayden's son-in-law. Weir's strong work ethic and keen business sense contributed to the ranch's continued vitality. He built and installed an undershot water wheel in one of the main barns (Building 2). (Francis Hayden had built one of the earliest lumber mills in Lake County in the town of Granite in 1869.) Weir's water wheel powered a sawmill that was used to cut the lumber that was used in the construction of later ranch buildings. Trees were harvested on a ridge located to the west of Hayden Ranch.

The water wheel also powered a stationary hay baler. Farm workers hauled hay from

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haystacks in the meadows into the barn where the water wheel and baler were located (Building 2). Because the market for hay in Lake County was still depressed, Weir loaded his baled hay onto railroad cars at the ranch's Denver and Pacific Railroad siding. (This railroad siding was in use through 1977 – material for the Frying Pan/Arkansas Conduit was transported to the ranch by train, unloaded, and hauled to site.) From the ranch, the hay was delivered to markets throughout Colorado.

Weir was also responsible for the ranch's first major attempt at raising livestock. He purchased two-year-old steers each spring, pastured them through the summer, and then shipped them to market in Denver in the fall. Unemployment in the Leadville area was high, and the Hayden ranching and farming operations provided work for many area men. The ranch/bunk house (Building 1) was added on to during this period of expansion.

Weir and his wife, Nellie Hayden Weir, operated the ranch until 1933, when it was sold to the Callahan Construction Company. The Callahans focused their efforts on establishing a Hereford cow/calf ranching operation. The Callahan Construction Company obtained United States Forest Service grazing allotments for use as cattle range. These allotments, combined with continued hay production, enabled the ranch to support approximately 500 head of cattle annually. The ranch never sold the calves, but rather kept them over the winter and sold them as long yearlings the following spring.

In 1936, the Callahan Construction Company hired a graduate of Colorado A&M's School of Forestry to manage the ranch. The new foreman employed many innovative animal husbandry techniques, such as seasonally breeding the cows to ensure that all calves were primarily the same age and size. When such long yearlings were presented for sale, they often commanded a higher price. Conscientious efforts were also made to avoid overgrazing.

Beginning in 1939, Hayden Ranch participated in the United States Army Remount Service. The program was intended to provide the U.S. Army with choice horses for their cavalry. Building 11, the Horse Barn, was used extensively during this program. The ranch had the unlimited use of an Army stallion, provided the Army was given first choice of any offspring. The ranch's program was short-lived for two reasons. First, the advent of World War II proved the obsolescence of mounted cavalry in modern warfare. Secondly, the first year's foals were born with a condition known as *osteochondrosis desiccans*, a disease that caused degenerative changes in the ossification centers of bones. The foals were born with extremely large, stiff joints that prevented them from standing. Unable to nurse, many of the foals died. After the first unsuccessful year, the mares were moved off the pastures along the Arkansas River to Cash Creek Park. Grazing there, they received no hay from meadows irrigated by the Arkansas River. The foals born to mares that lived in Cash Creek Park were healthy. Once again, water polluted by mine tailings was suspected of causing environmental and biological damage.

During World War II, the ranch struggled with a labor shortage. Hay production continued to decrease, and the Callahan Construction Company sold the ranch in 1947. Thereafter, the ranch was used to support seasonal grazing and many of the buildings eventually fell into

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disuse and neglect. After changing hands several times in the ensuing years, the ranch was sold by Moore and Company to the City of Aurora in 1998, primarily for its water rights.

Throughout its seventy-five years of significance, the Hayden Ranch had a considerable impact on the development of the Leadville area. It provided hay and livestock to the area's mining camps, served as a railroad siding, and provided work for many unemployed area residents. In addition, classes reported to have been held on the ranch offered an educational opportunity for the relatively isolated children of farm and ranch employees.

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Lake County/ ColoradoSection number 9 Page 24**BIBLIOGRAPHY**

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Hayden Ranch
Name of Property

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10. Geographical Data

Acreage of Property 35

UTM References

(Place additional UTM references on a continuation sheet.)

1. See Continuation Sheet- Page 25

Zone Easting Northing

2.

Zone Easting Northing

3.

Zone Easting Northing

4.

Zone Easting Northing

[X] See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Sarah Zaske, Historic Preservation Specialist (updated 7/2003- Chris Geddes)

organization A-E Design Associates with Foothill Engineering Consultants date 2/18/2000

street & number 526 S. College Ave. telephone (970) 407-9970

city or town Fort Collins state CO zip code 80524-3002

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional Items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name City of Aurora

street & number 15151 E. Alameda Pkwy. 5th Floor telephone (303) 739-7010

city or town Aurora state CO zip code 80012

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*)

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

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GEOGRAPHICAL DATA

VERBAL BOUNDARY DESCRIPTION

The boundary is as indicated on the following map.

BOUNDARY JUSTIFICATION

The boundaries for the Hayden Ranch Historic District were selected to encompass the buildings historically related to the operation of the ranch/farm, as well as an approximately 20 acre portion of historically relevant meadow/pasture located to the west of the ranch buildings.

PLSS

UTMS

A 13 386120 4331900
B 13 386180 4331900
C 13 386230 4331680
D 13 386380 4331680
E 13 386580 4331390
F 13 386140 4331520

6th PM, T10S, R80W, S34 E $\frac{1}{2}$, SW $\frac{1}{4}$, SW $\frac{1}{4}$, SE $\frac{1}{4}$; SE $\frac{1}{4}$, NW $\frac{1}{4}$, SW $\frac{1}{4}$, SE $\frac{1}{4}$

6th PM, T11S, R80W, S3 E $\frac{1}{2}$, NE $\frac{1}{4}$, NW $\frac{1}{4}$, NE $\frac{1}{4}$; NW $\frac{1}{4}$, NE $\frac{1}{4}$, NE $\frac{1}{4}$; N $\frac{1}{2}$, SW $\frac{1}{4}$, NE $\frac{1}{4}$, NE $\frac{1}{4}$;
W $\frac{1}{2}$, SE $\frac{1}{4}$, NE $\frac{1}{4}$, NE $\frac{1}{4}$

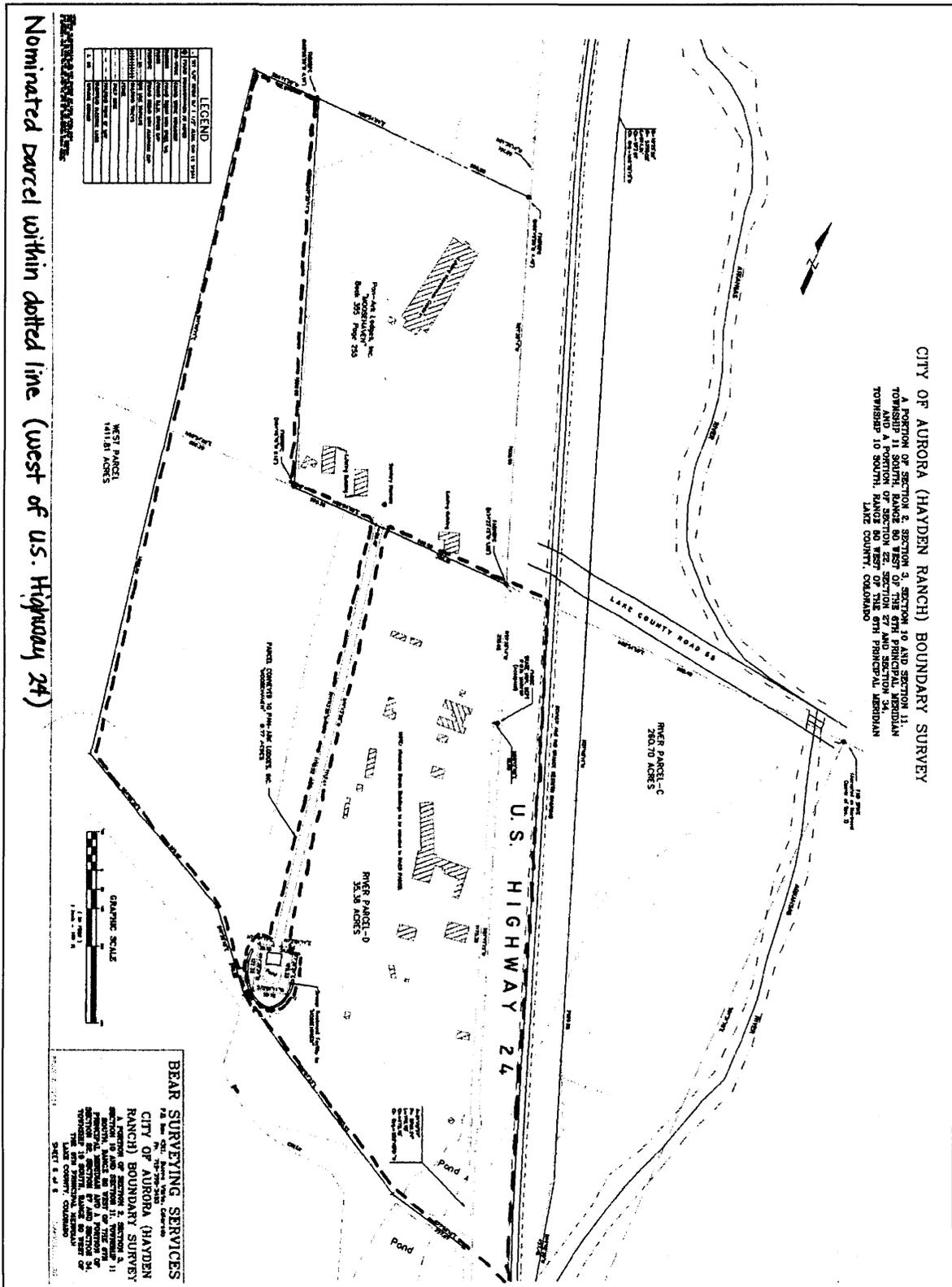
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BOUNDARY MAP



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PHOTOGRAPH LOG

The following information pertains to photograph numbers 1-31 except as noted:

Name of Property: Hayden Ranch
 Location: Lake County, Colorado
 Photographer: Sarah Hansen
 Date of Photographs: June 2003
 Negatives: Office of Archaeology & Historic Preservation

Photo No.	Photographic Information
1	Northeast elevation of Building 2, camera facing southwest
2	Interior of north wing of Building 2, camera facing southwest
3	North elevation of Building 2, camera facing south
4	South elevation of south wing of Building 2, camera facing north
5	East wing of Building 2, camera facing west
6	East wing of Building 2, camera facing southwest
7	Remains of water wheel, Building 2, camera facing northeast
8	West elevation of Building 2, camera facing southeast
9	South elevations of Buildings 12, 10, 13, camera facing northwest
10	North elevation of Building 10, camera facing southeast
11	South elevation of Building 11, camera facing north
12	West elevation of Building 11, camera facing east
13	East and south elevations of Buildings 10 & 11, camera facing northwest
14	East elevation of Building 1, camera facing west
15	South elevation of Building 1, camera facing north
16	Detail of well, Building 1, camera facing northeast
17	West elevation of Building 1, camera facing east
18	East elevation of Building 3, camera facing west
19	West elevation of Building 3, camera facing southeast
20	West elevation of Building 5, camera facing east
21	North elevations of Buildings 5 & 6, camera facing south
22	West elevation of Building 4, camera facing east
23	South elevation of Building 4, camera facing north
24	South elevation of Building 9, camera facing north
25	East elevation of Building 9, camera facing west
26	North and west elevations of Building 8, camera facing southeast
27	East elevation of Building 12, camera facing west
28	North elevation of Building 13, camera facing south
29	South and east elevations of Building 15, camera facing northwest
30	North elevation of Building 14, camera facing southeast
31	South and west elevations of Building 16, camera facing northeast

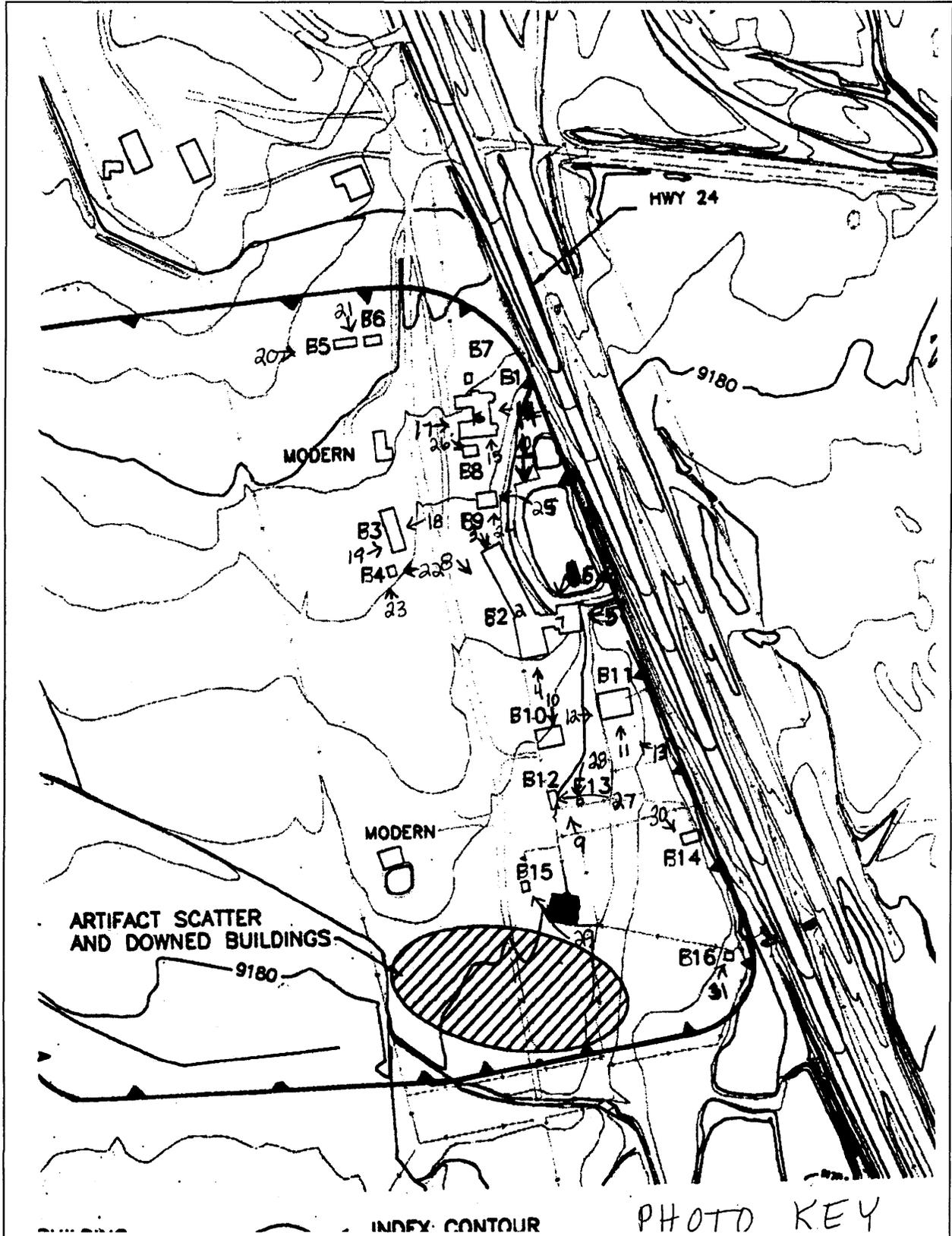
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PHOTOGRAPHIC KEY



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USGS TOPOGRAPHIC MAP
Leadville South Quadrangle, Colorado
7.5 Minute Series

Elevation: 9187 feet

Target is UTM 13 386450E 4331462N - **LEADVILLE SOUTH** quad [Quad Info]

